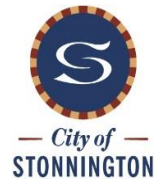


Objector map



1:2257

20/09/2017

17001 33-35 HUNTINGTOWER ROAD : ARMADALE

- TP000 COVER PAGE
- TP001 SITE ANALYSIS PLAN
- TP002 DESIGN RESPONSE PLAN
- TP003 EXISTING & DEMOLITION PLAN
- TP004 GARDEN AREA PLAN
- TP005 BASEMENT PLAN
- TP006 GROUND FLOOR PLAN
- TP007 FIRST FLOOR PLAN
- TP008 ROOF PLAN
- TP009 EAST ELEVATION
- TP010 WEST ELEVATION
- TP011 NORTH & SOUTH ELEVATIONS
- TP012 SECTIONS
- TP013 SECTIONS AND SCREENING DETAILS
- TP014 RESCODE SETBACKS DIAGRAM
- TP015 SHADOW DIAGRAMS 9AM
- TP016 SHADOW DIAGRAM 10AM
- TP017 SHADOW DIAGRAM 12PM
- TP018 SHADOW DIAGRAM 2PM
- TP019 SHADOW DIAGRAM 3PM
- TP020 SITE CONTEXT PERSPECTIVE PHOTOS
- TP021 EXTERNAL MATERIALS AND FINISHES



REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PROJECT
 17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
 COVER PAGE

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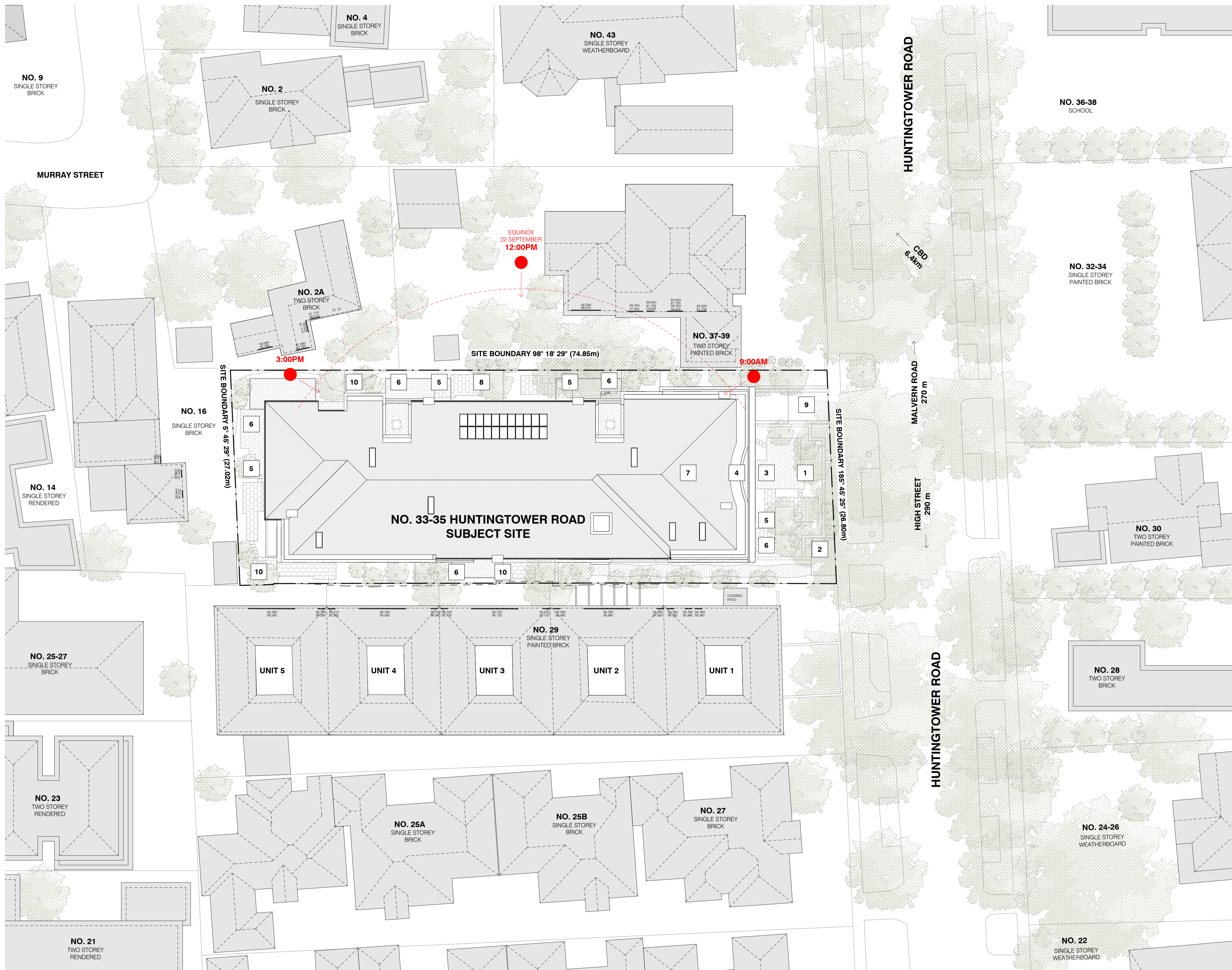
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PLANNING SUMMARY	
CLAUSE 55 STONNINGTON PLANNING SCHEME	
SITE AREA	2001.2sqm
SITE COVERAGE (B8 - 60% OF SITE AREA)	1200.72sqm
BASEMENT MAX. COVERAGE (75% OF SITE AREA)	1500.9sqm
BASEMENT PROPOSED COVERAGE	1270sqm
BASEMENT PROPOSED COVERAGE %	63.5%
PROPOSED SITE COVERAGE	1256.7sqm
PROPOSED SITE COVERAGE %	62.8%
PERMEABILITY (B9 -20%)	400.24sqm
PROPOSED PERMEABILITY	476sqm
PROPOSED PERMEABILITY %	23.8%
LANDSCAPING (B13 PLUS 1 CANOPY TREE)	
AMENDMENT VC110 "GARDEN AREA" (35% OF SITE EXCL. DRIVEWAY) 2001.2 x .35	700.42sqm
PROPOSED GARDEN AREA	704sqm (35.18%)
FRONT SETBACK	9m-10m
SIDE AND REAR SETBACKS (B17 PLUS 2m SETBACK FROM ONE BOUNDARY & 1m FROM OTHER)	

DESIGN RESPONSE

1. The front setback responds to the two adjacent properties' setbacks, which not only integrates the proposed building into the streetscape it also creates a large front garden for the front apartment and reflects the domestic feel of the neighbourhood
2. To enhance the domestic feel of the proposed building, the front fence steps in to create a wide pedestrian entry area.
3. The ground floor façade is articulated with deep arches, creating a sophisticated sculptured aesthetic that also has a romantic softness. The arches are traditional, having classical proportions, with a textured finish.
4. Level 1 is setback to reduce visual bulk, prevent overlooking, sit within the 9m height limit for the site and increase solar access. It also creates a sense of identity for the future inhabitants, whereby the ground and first floor apartments can be clearly defined from the streetscape as they have different architectural language allowing each future inhabitant to have ownership of their residence.
5. The proposed design focuses on the Garden and has generous setbacks from all boundaries to allow for significant landscaping. The basement walls align with the walls on ground floor, maximising the area of deep soil for planting canopy trees.
6. The garden concept has been extended further into outdoor loggia spaces, which create useable external spaces for dining and enjoying the private open spaces. This also creates a connection between the interior and exterior spaces, making the outdoor space an extension of the occupant's living space.
7. There is a domestic scale to the proposed design, being two levels and having a pitched roof.
8. Site orientation has been carefully considered when designing the product mix and apartment layouts to make sure the majority of the apartments have habitable windows and living areas facing north and east, with only 2 apartments facing west and only 2 apartments facing south.
9. Vehicle entry to secure parking on Northern side of the property
10. Privacy screening to North, West and South facing windows to prevent overlooking.

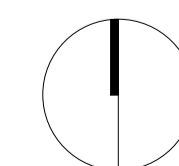
1 CONTEXT PLAN - SITE
SCALE 1 : 250

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17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
DESIGN RESPONSE PLAN

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TS

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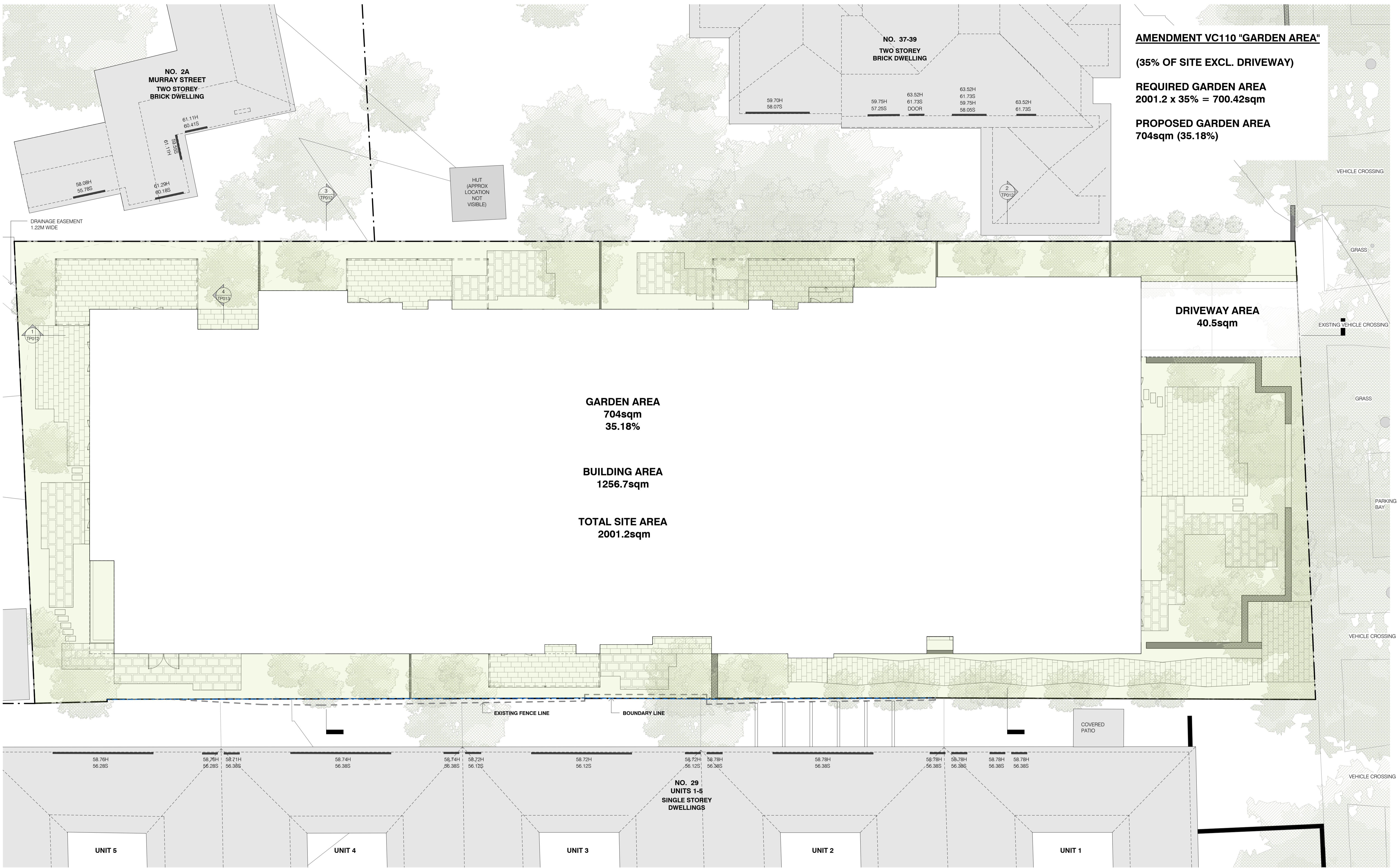
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SCALE
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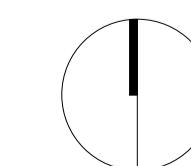


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PROJECT
 17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
 GARDEN AREA PLAN

DRAWN
 TS

SCALE
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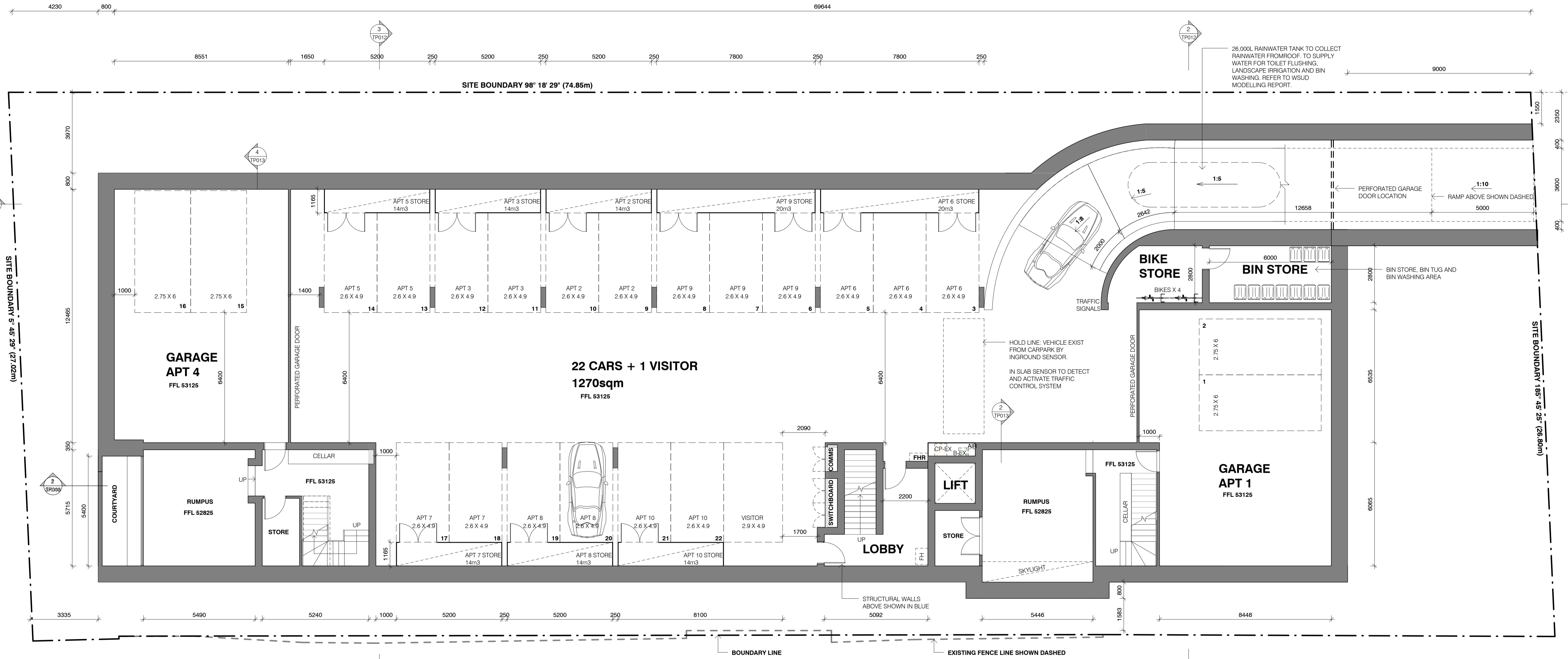
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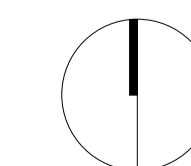


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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
BASEMENT PLAN

DRAWN
TS

SCALE
1 : 100 @ A1

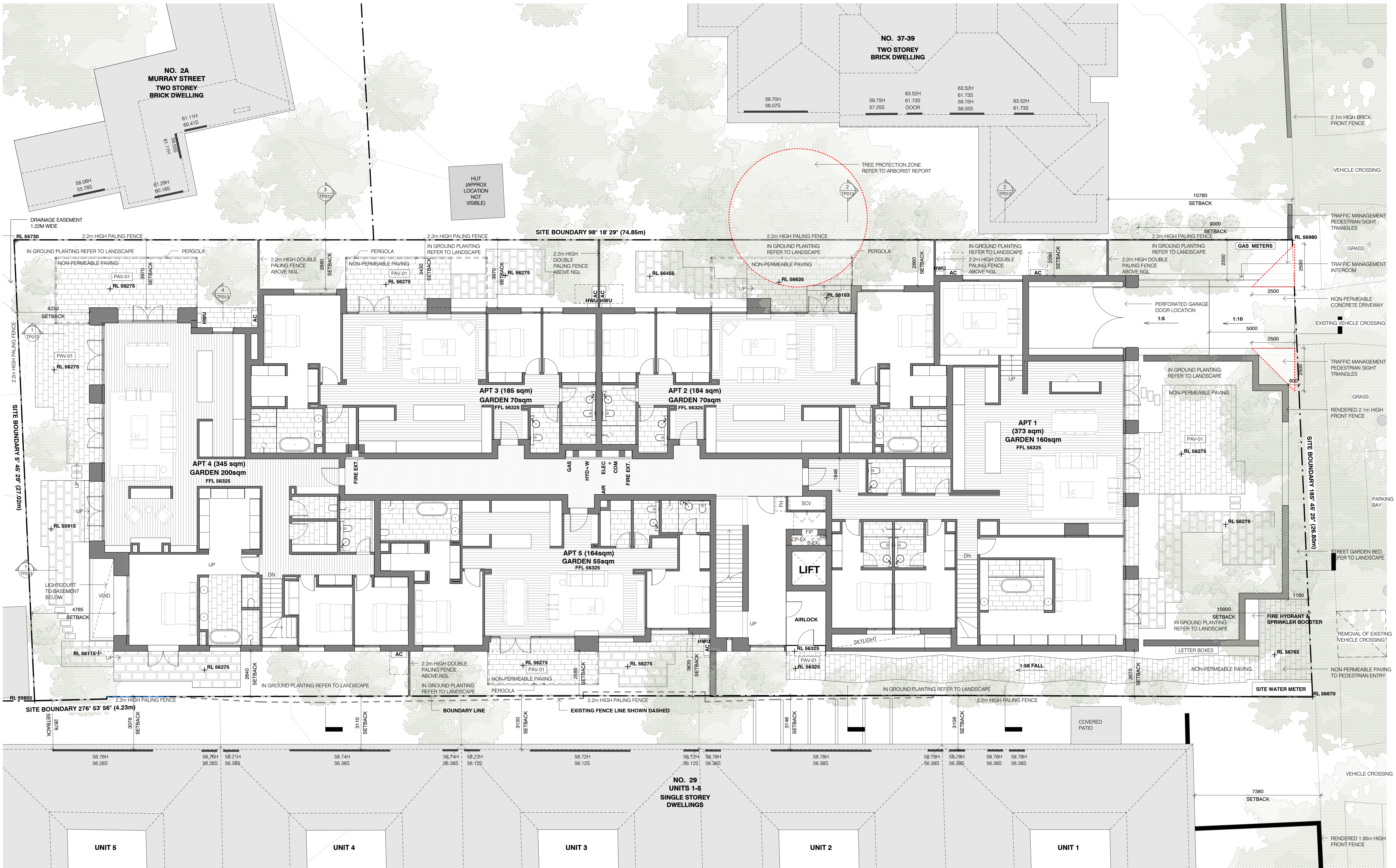
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TP005

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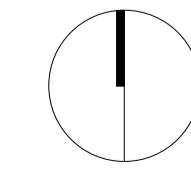


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PROJECT 17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE GROUND FLOOR PLAN

DRAWN TS

SCALE 1 : 100 @ A1

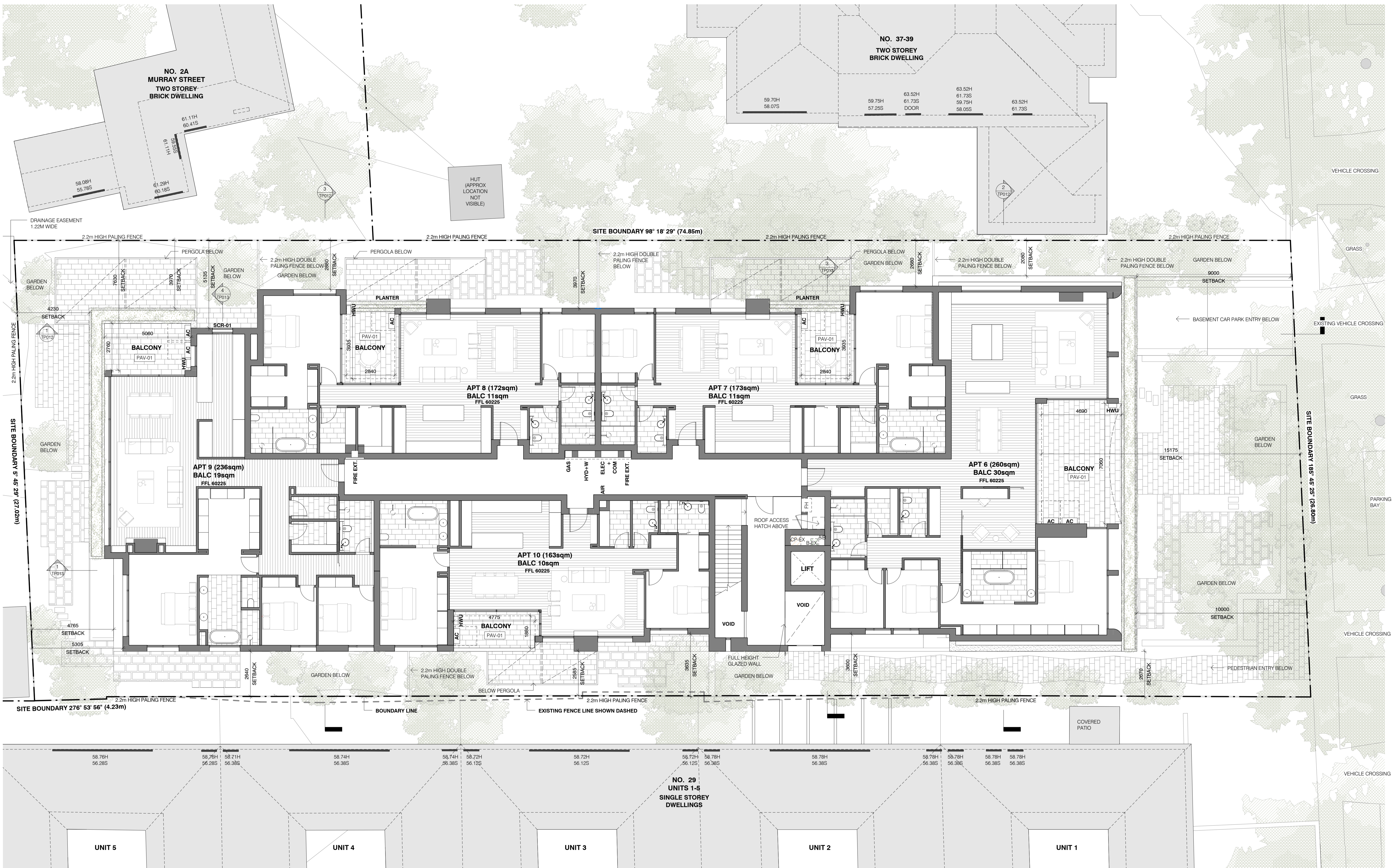
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REVISION TP1

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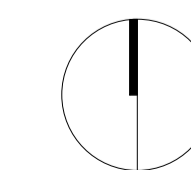


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PROJECT
 17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
 FIRST FLOOR PLAN

DRAWN
 TS

SCALE
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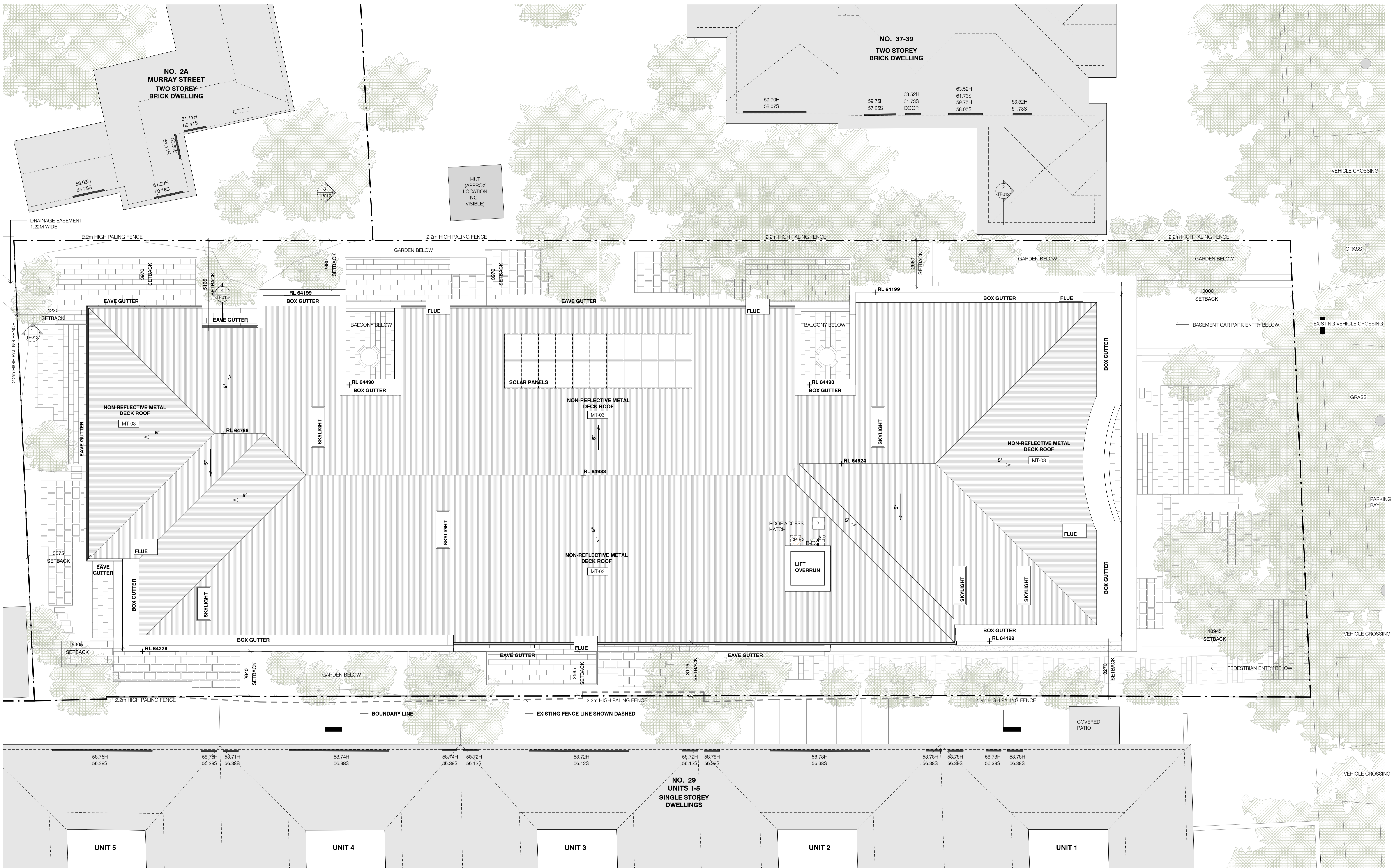
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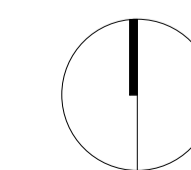


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 17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
ROOF PLAN

DRAWN
TS

SCALE
1 : 100 @ A1

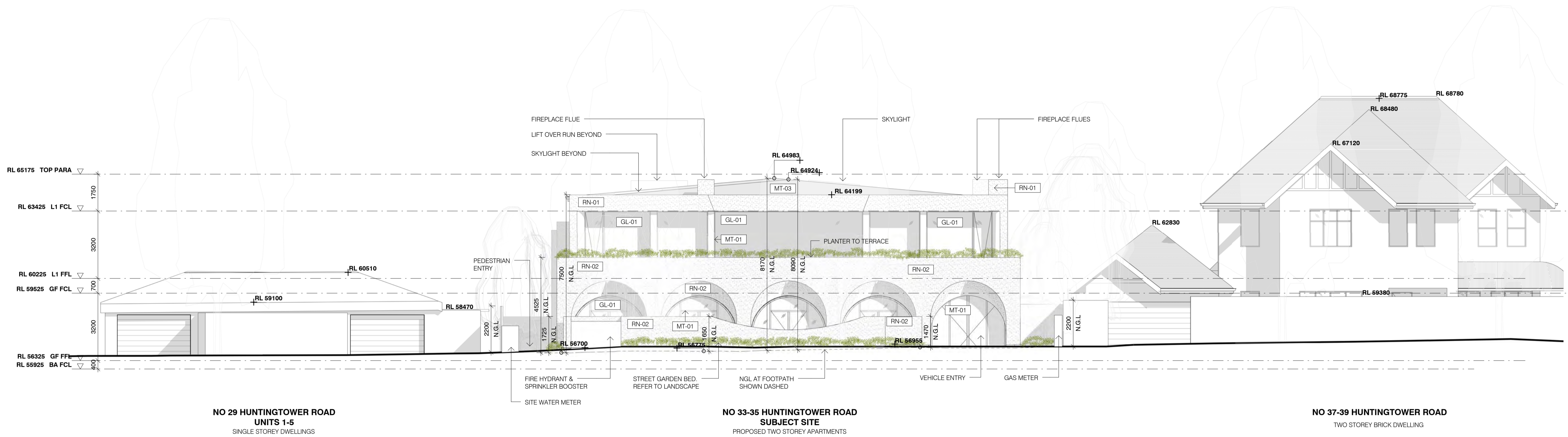
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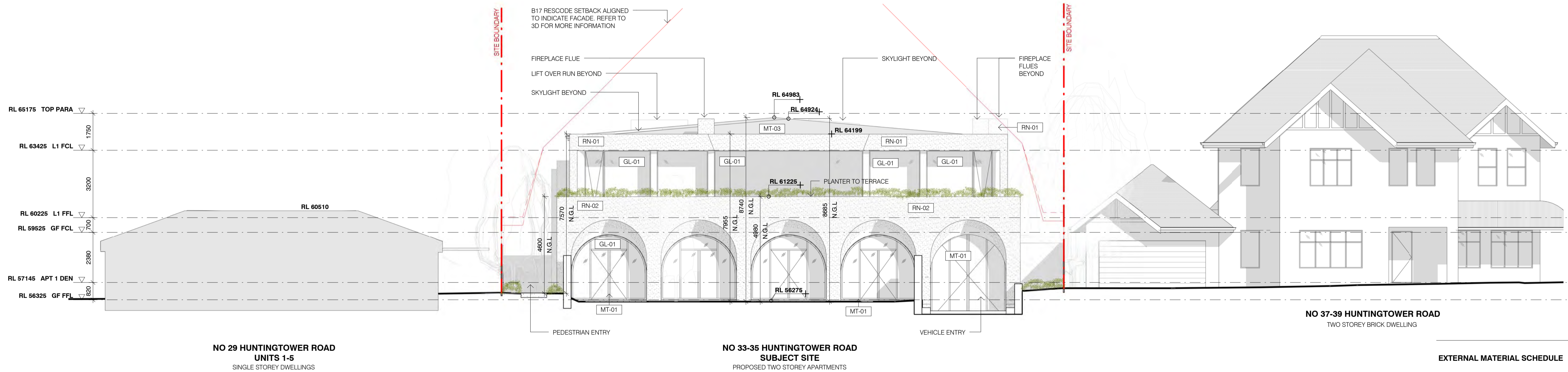
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TP008

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TP1

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1 ELEVATION - EAST STREETSCAPE
SCALE 1 : 100



2 ELEVATION - EAST WITH HIDDEN FENCE
SCALE 1 : 100

EXTERNAL MATERIAL SCHEDULE

GL-01	GLASS - CLEAR GLAZING (TO ALL GLAZING)
MT-01	TEXTURED POWDERCOAT - BLACK (WINDOW FRAMES)
MT-02	METAL CLADDING - BLACK
MT-03	NON-REFLECTIVE METAL DECK ROOF
PA-01	NEUTRAL SOFT GREY/BEIGE PAVER
PF-01	PAINIT FINISH TO MATCH RN-01
RN-01	RENDER FINISH - CREAM/ BEIGE (SMOOTH)
RN-02	RENDER FINISH - CREAM/ BEIGE (ROUGH)
SCR-01	PERFORATED ALUMINIUM PRIVACY SCREEN (WINDOWS)

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW/TS	PLANNING SUBMISSION

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
EAST ELEVATION

DRAWN
TS

SCALE
As indicated @ A1

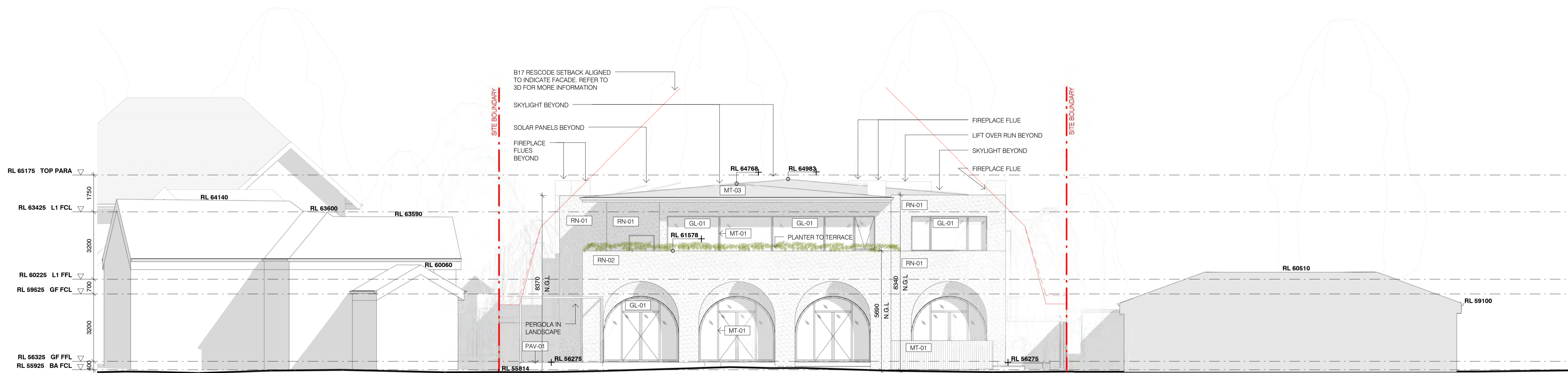
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TP009

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1 ELEVATION - WEST
SCALE 1 : 100

NO 2A MURRAY STREET
TWO STOREY BRICK DWELLING

NO 33-35 HUNTINGTOWER ROAD
SUBJECT SITE
PROPOSED TWO STOREY APARTMENTS

NO 29 HUNTINGTOWER ROAD
UNITS 1-5
SINGLE STOREY DWELLINGS

EXTERNAL MATERIAL SCHEDULE

GL-01	GLASS - CLEAR GLAZING (TO ALL GLAZING)
MT-01	TEXTURED POWDERCOAT - BLACK (WINDOW FRAMES)
MT-02	METAL CLADDING - BLACK
MT-03	NON-REFLECTIVE METAL DECK ROOF
PA-01	NEUTRAL SOFT GREY/BEIGE PAVER
PF-01	PAINT FINISH TO MATCH RN-01
RN-01	RENDER FINISH - CREAM/ BEIGE (SMOOTH)
RN-02	RENDER FINISH - CREAM/ BEIGE (ROUGH)
SCR-01	PERFORATED ALUMINIUM PRIVACY SCREEN (WINDOWS)

REV	DATE	ISSUED BY	DESCRIPTION
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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
WEST ELEVATION

DRAWN
Author

SCALE
As indicated @ A1

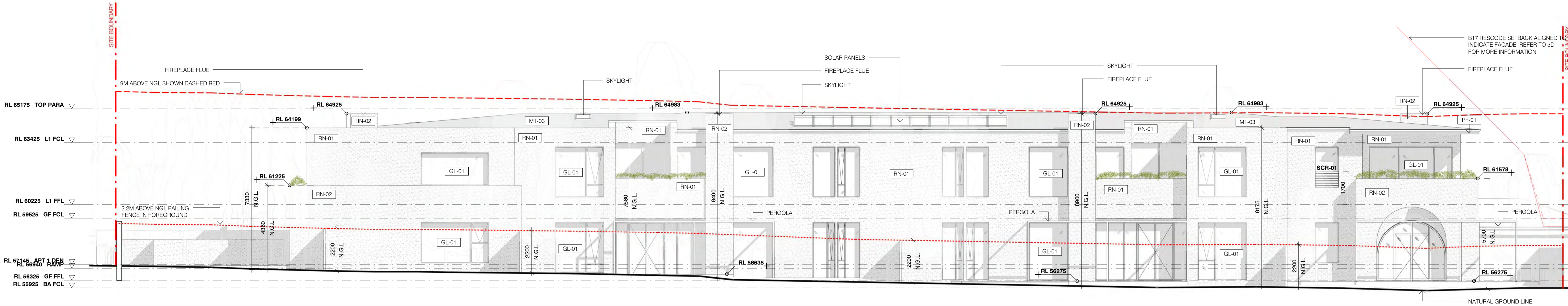
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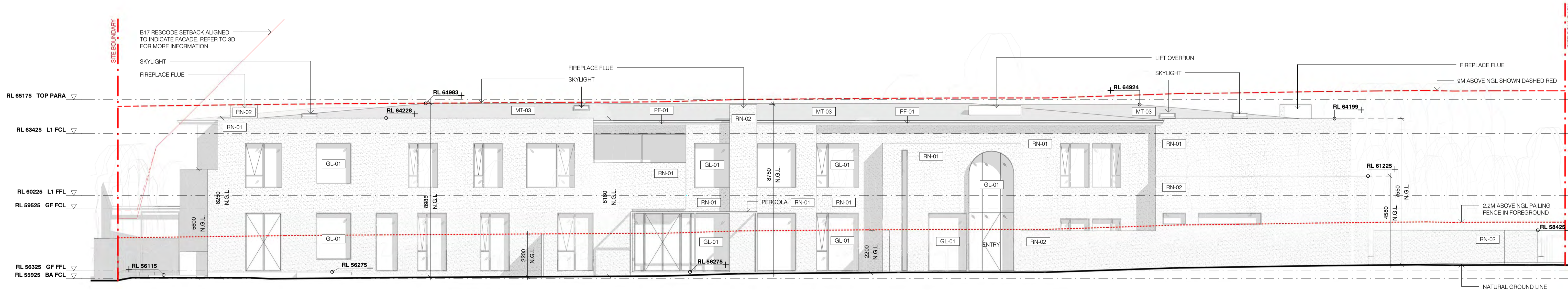
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REVISION
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1 ELEVATION - NORTH
SCALE 1 : 100



2 ELEVATION - SOUTH
SCALE 1 : 100

EXTERNAL MATERIAL SCHEDULE

GL-01	GLASS - CLEAR GLAZING (TO ALL GLAZING)
MT-01	TEXTURED POWDERCOAT - BLACK (WINDOW FRAMES)
MT-02	METAL CLADDING - BLACK
MT-03	NON-REFLECTIVE METAL DECK ROOF
PA-01	NEUTRAL SOFT GREY/BEIGE PAVER
PF-01	PAINT FINISH TO MATCH RN-01
RN-01	RENDER FINISH - CREAM/ BEIGE (SMOOTH)
RN-02	RENDER FINISH - CREAM/ BEIGE (ROUGH)
SCR-01	PERFORATED ALUMINIUM PRIVACY SCREEN (WINDOWS)

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
NORTH & SOUTH ELEVATIONS

DRAWN
TS

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MW

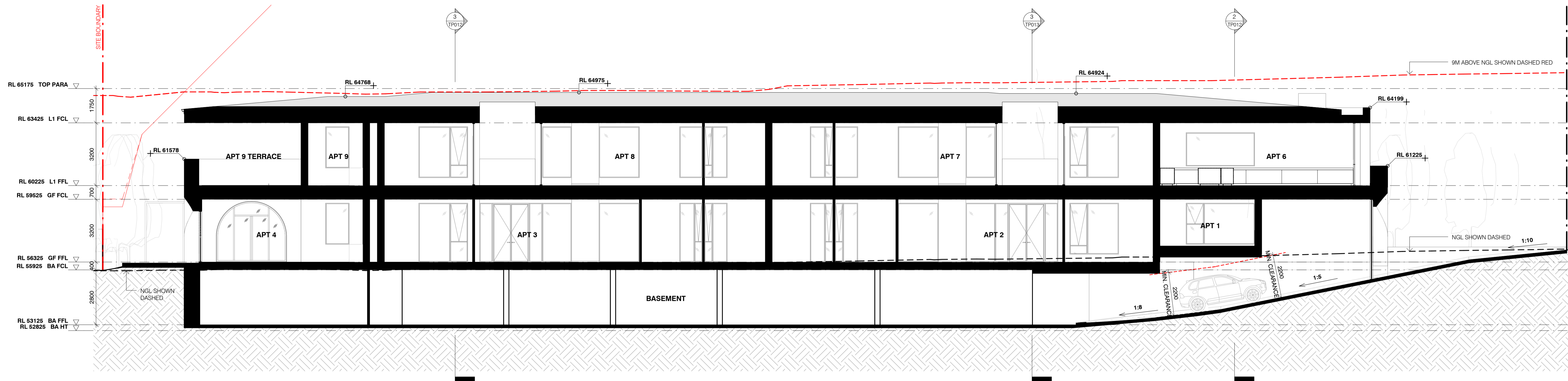
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SCALE
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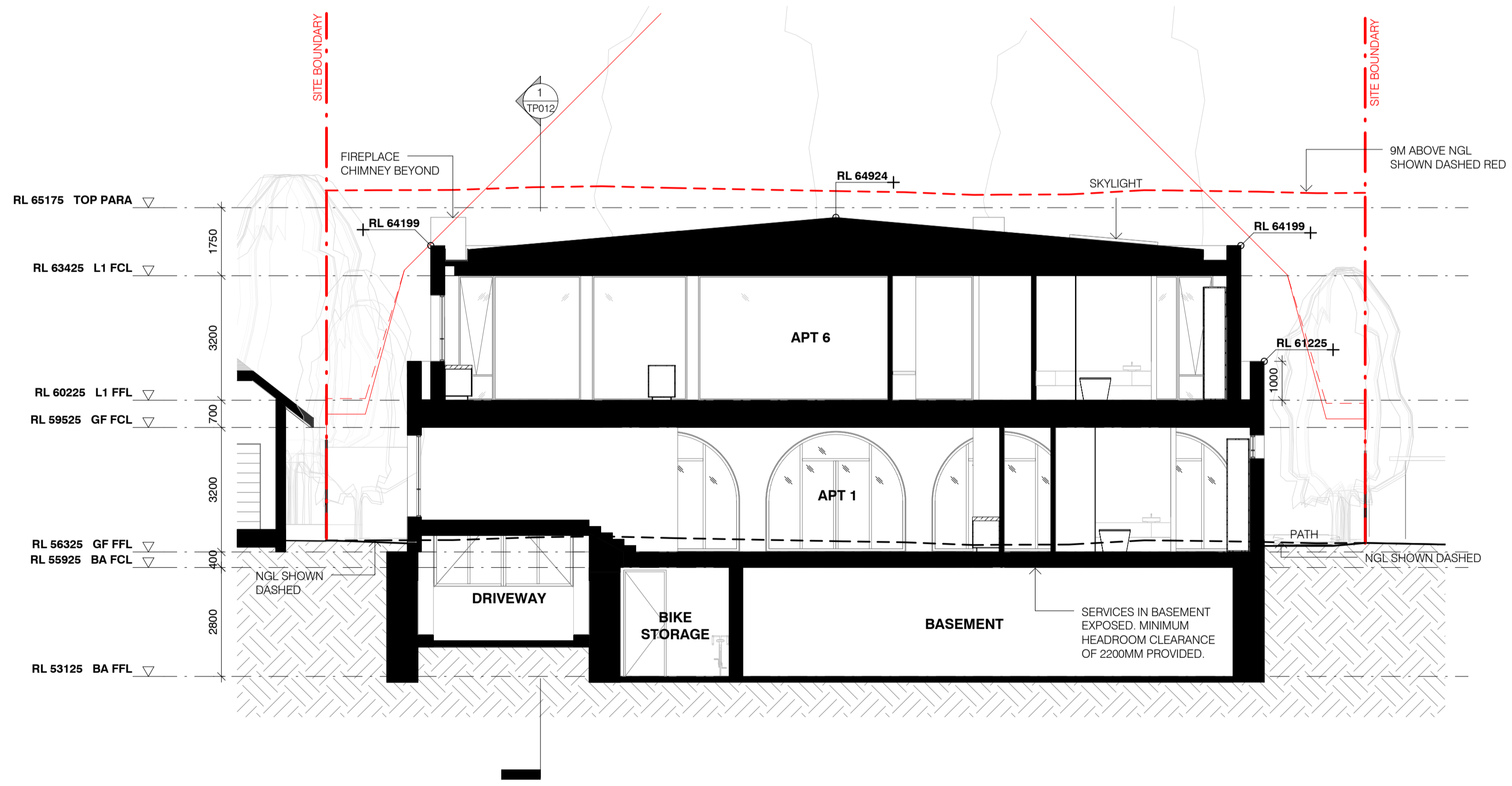
DATE
23|06|17

REVISION
TP1

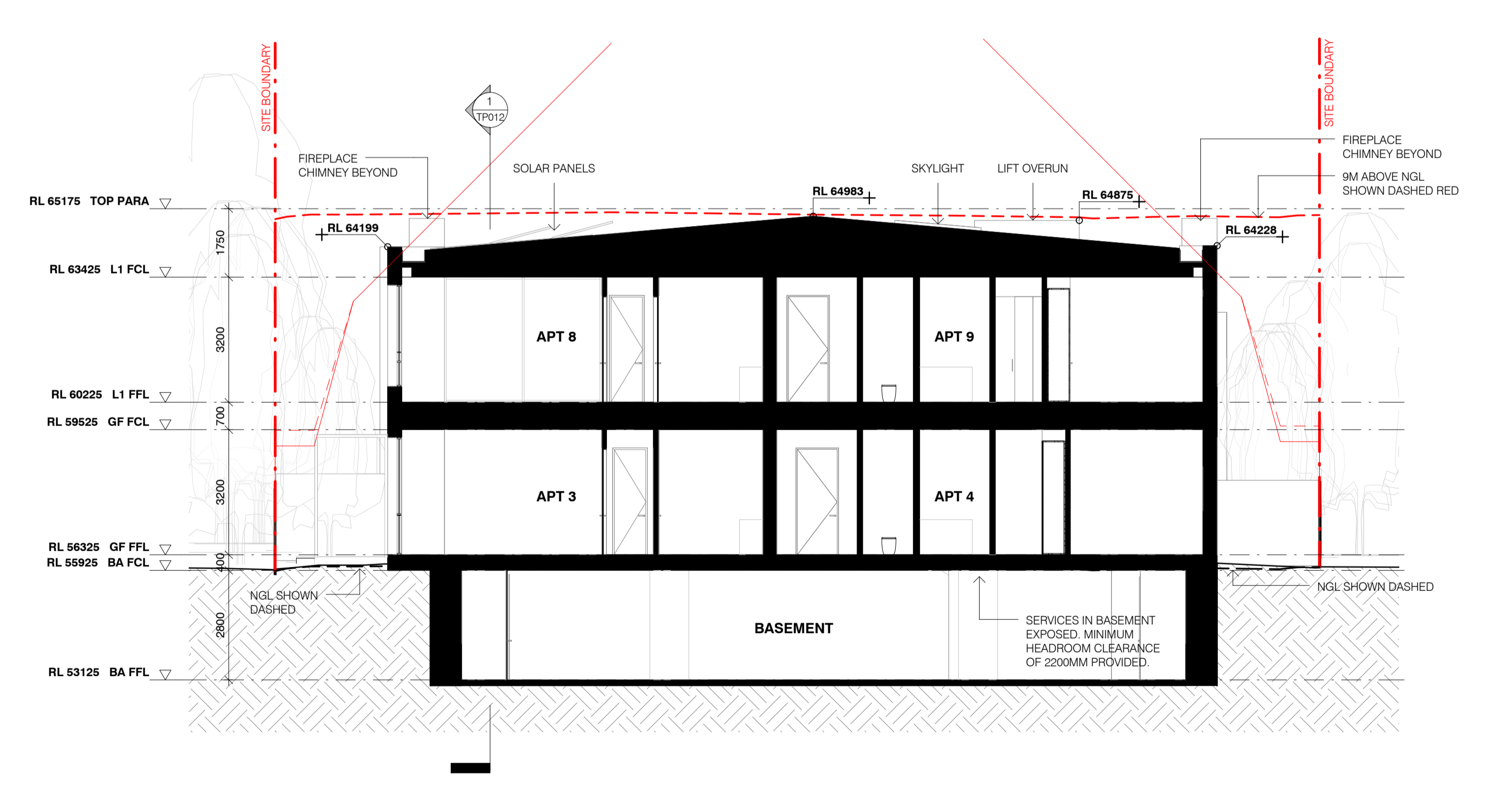
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1 LONG SECTION - 01
TP004 SCALE 1 : 100



2 CROSS SECTION - 01
TP004 SCALE 1 : 100



3 CROSS SECTION - 02
TP004 SCALE 1 : 100

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TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SECTIONS

DRAWN
TS

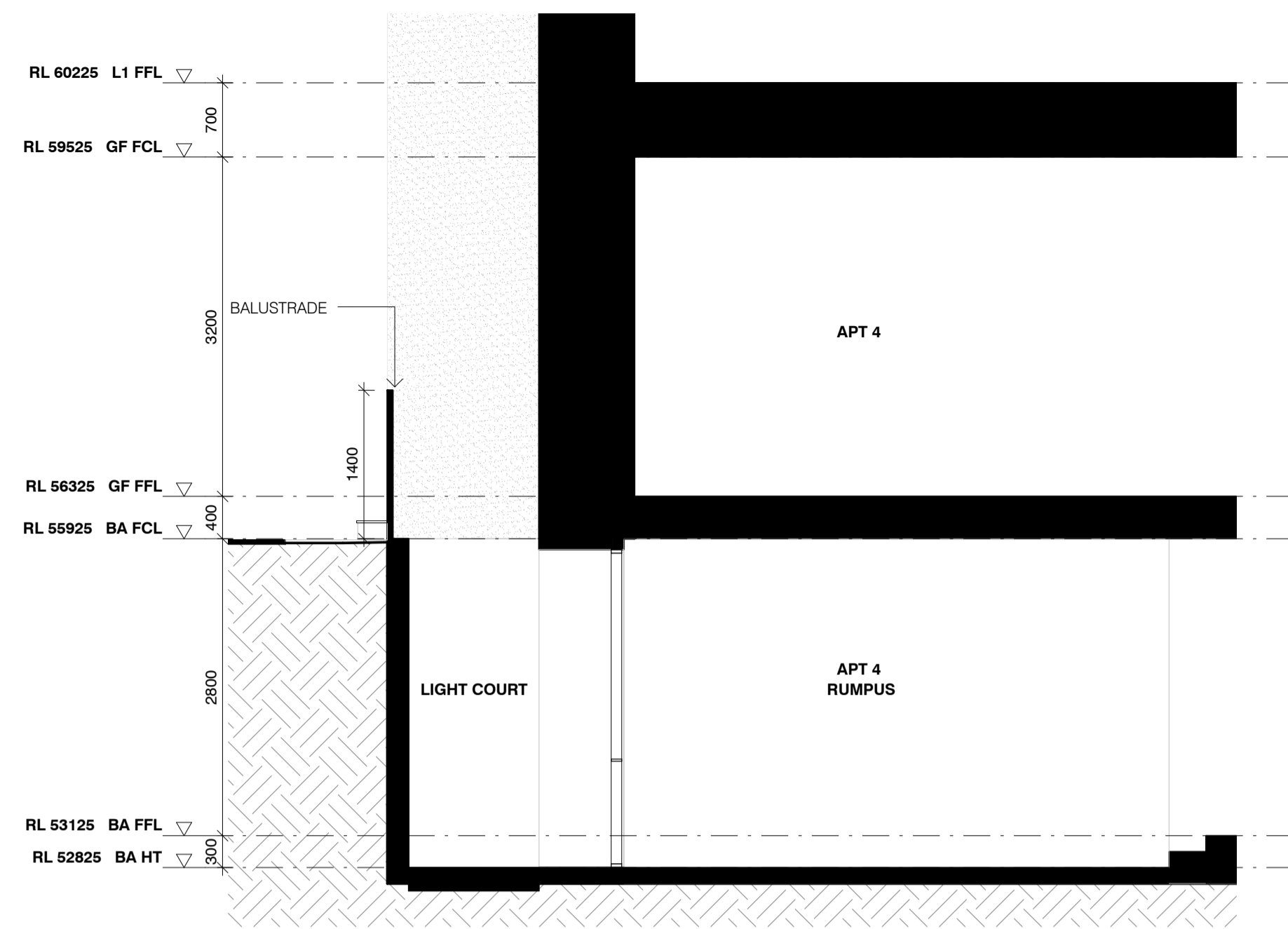
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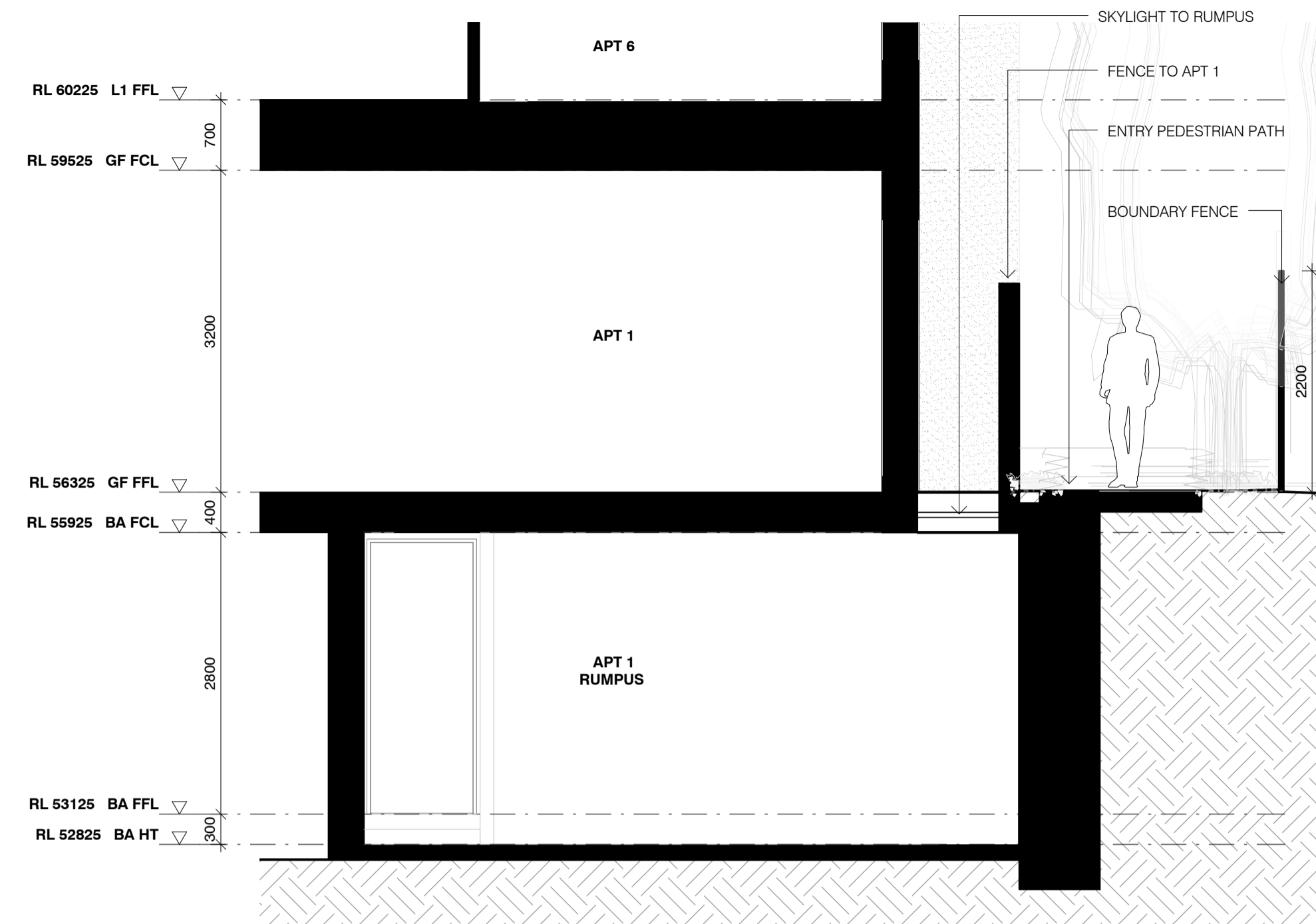
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23|06|17

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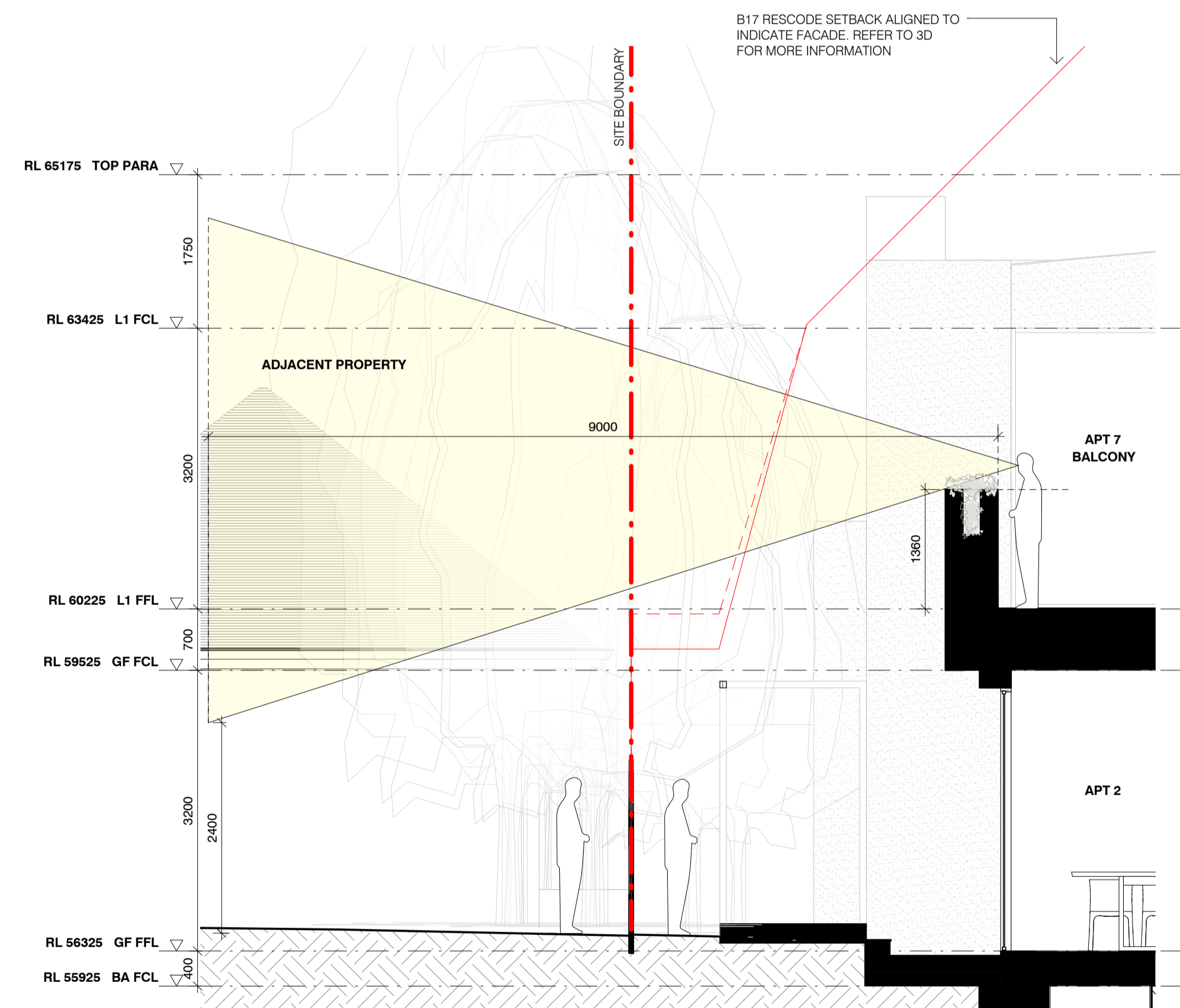
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TP1



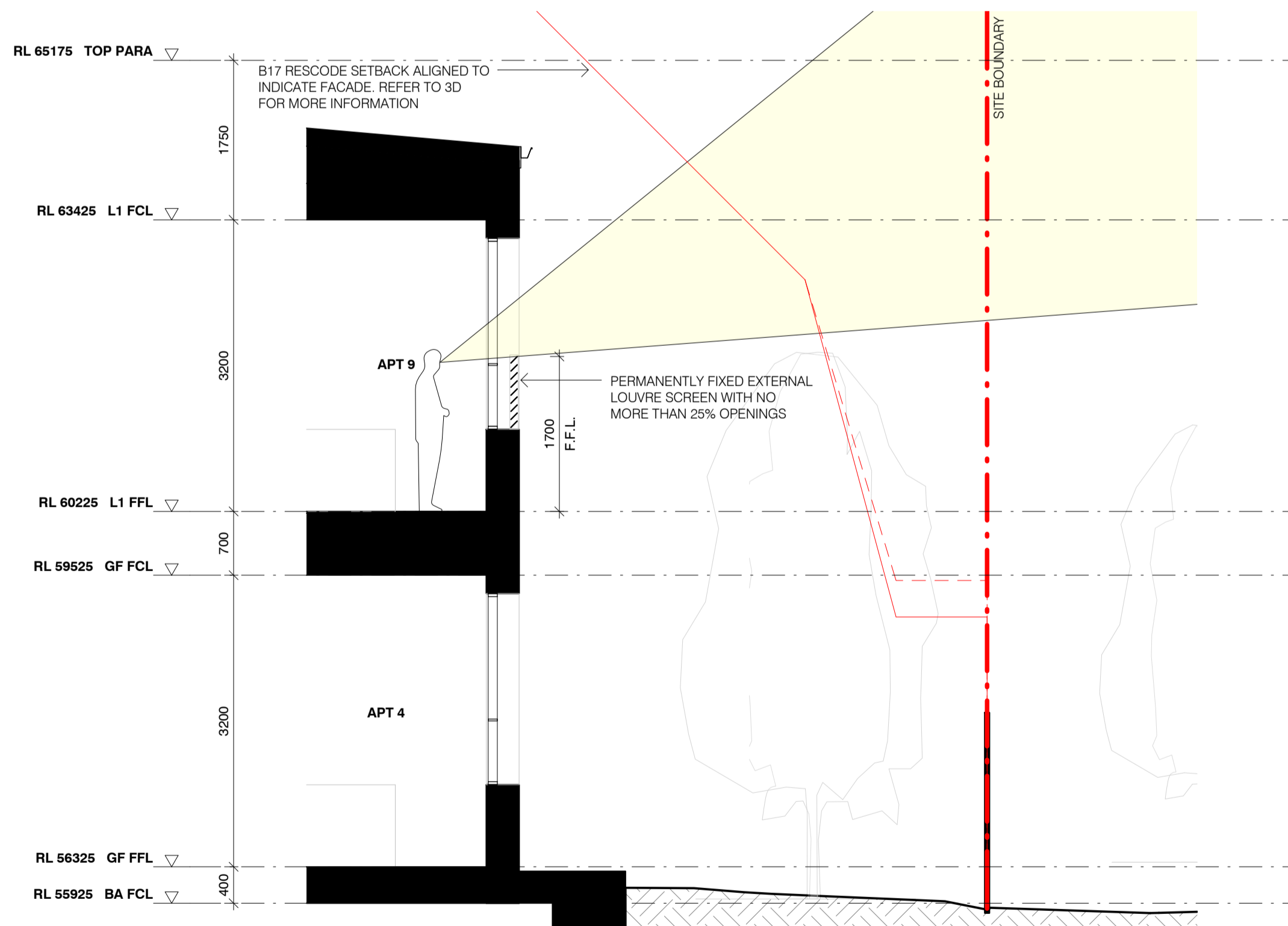
1 SECTION DETAIL - APT 4 HOME THEATRE
TP005 SCALE 1 : 50



2 SECTION DETAIL - APT 1 HOME THEATRE
TP005 SCALE 1 : 50



3 TYPICAL DETAIL SECTION - OVERLOOKING FROM BALCONY
TP007 SCALE 1 : 50



4 TYPICAL DETAIL SECTION - OVERLOOKING W/SCREEN
TP004 SCALE 1 : 50

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SECTIONS AND SCREENING DETAILS

DRAWN
TS

CHECKED
MW

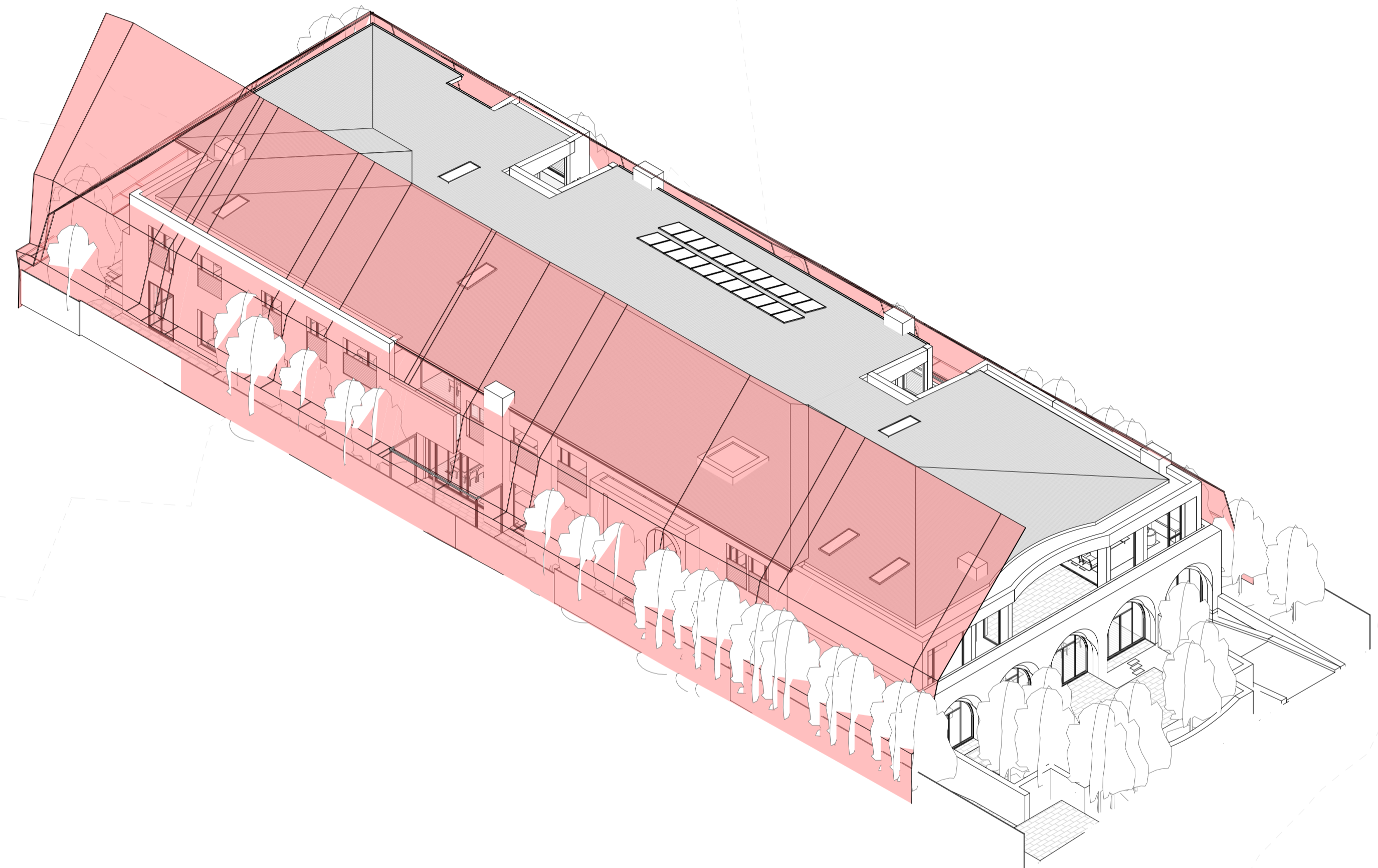
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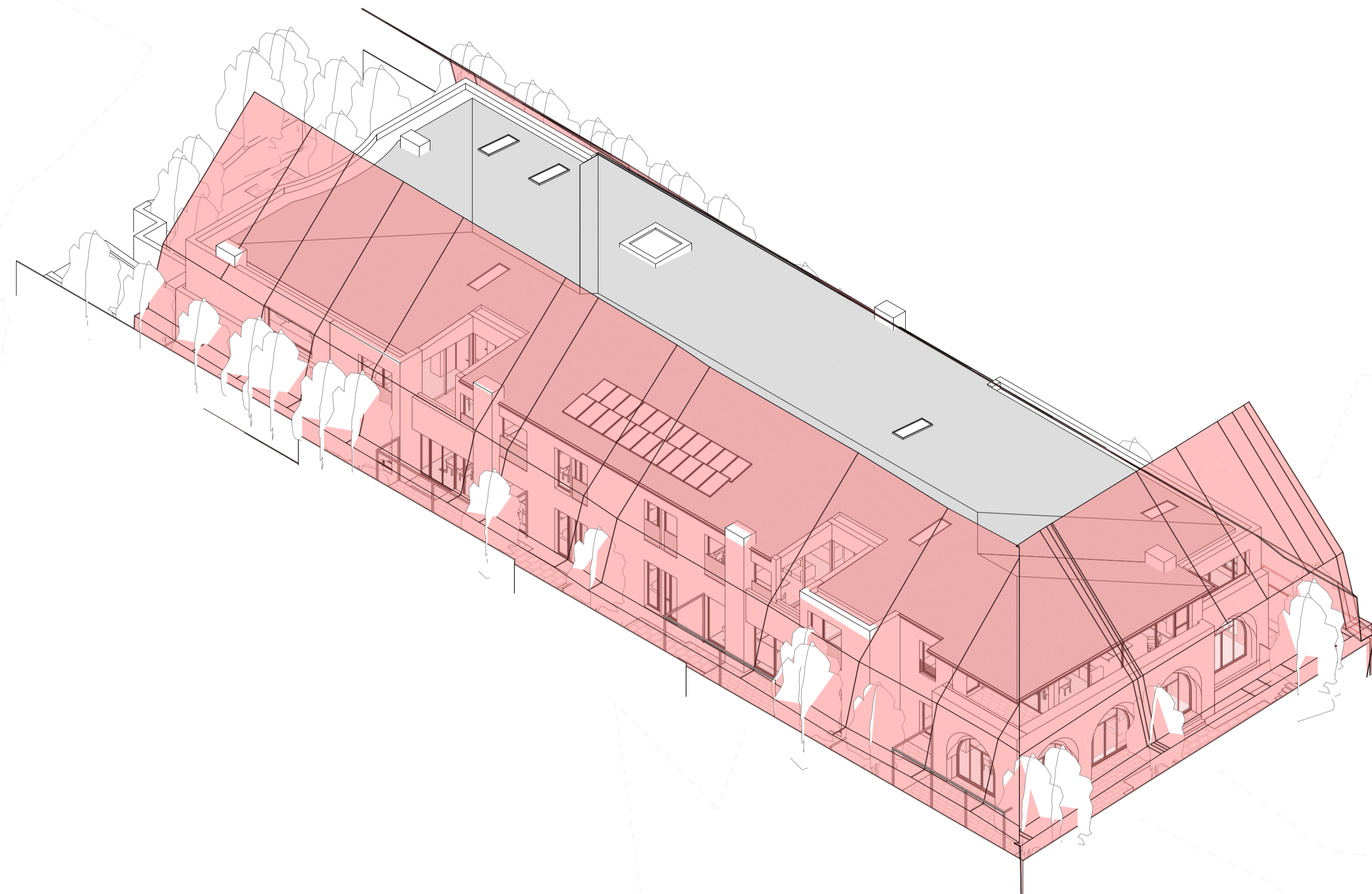
DATE
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1 3D - SOUTH EAST RESCODE SETBACKS
SCALE



2 3D - NORTH WEST RESCODE SETBACKS
SCALE

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
RESCODE SETBACKS DIAGRAM

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TS

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SCALE
@ A1

DATE
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TP014

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RN-01



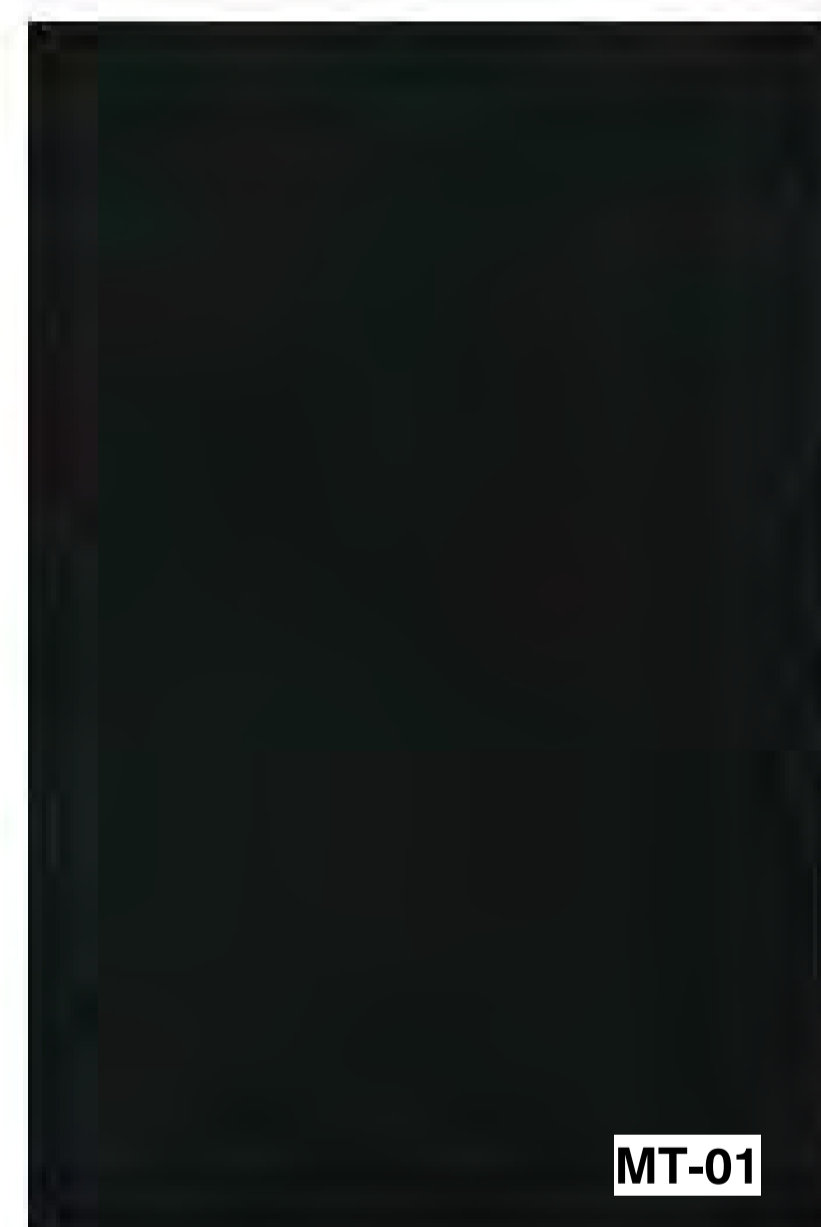
GL-01



PF-01



RN-02



MT-01



MT-02



PAV-01

EXTERNAL MATERIAL SCHEDULE

GL-01	GLASS - CLEAR GLAZING (TO ALL GLAZING)
MT-01	TEXTURED POWDERCOAT - BLACK (WINDOW FRAMES)
MT-02	METAL CLADDING - BLACK
MT-03	NON-REFLECTIVE METAL DECK ROOF
PA-01	NEUTRAL SOFT GREY/BEIGE PAVER
PF-01	PAINT FINISH TO MATCH RN-01
RN-01	RENDER FINISH - CREAM/ BEIGE (SMOOTH)
RN-02	RENDER FINISH - CREAM/ BEIGE (ROUGH)
SCR-01	PERFORATED ALUMINIUM PRIVACY SCREEN (WINDOWS)

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23 06 17	MW TS	PLANNING SUBMISSION

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PLANNING

PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
EXTERNAL MATERIALS AND FINISHES

DRAWN
TS

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MW

SCALE
1 : 50 @ A1

DATE
23|06|17

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TP021

REVISION
TP1

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Underground Services

Underground services are plotted using their visible surface markers and/or plotted from service authority records. Services with layer prefix "DBYD" are not proven. Additional unsighted services may exist.

Prior to any design, excavation or construction upon the site, the relevant authority should be consulted to verify locations of all surveyed services and check for the existence of any unsighted services.

Ver	Revision	Date
3	Aerial Photo	15/03/17
4	Additional Information	05/05/17
5	Revised Option 2 - Southern Boundary	08/05/17

TGM Group
765 Glenferrie Road (PO Box 2304)
Heavenly VIC 3122
T 03 9862 8333
F 03 9819 4909
www.tgmgroup.com

JAS:ANZ Accredited Quality ISO 9001 - CMES AS/NZS 4801 - Environment ISO 14001

NOTE: All boundary facing windows are habitable, unless noted otherwise. 'ON' denotes fence is on title boundary.

Level Notations	Level	Level
FL: Floor level	TR: Top of Trellis	
W: Window sill		
C: Cluttering		
RP: Roof line		
IN: Invert of kerb		
LP: Lip of kerb		
CL: Centre Line		
TK: Top of Kerb		
TF: Top of Fence/Wall		
CH: Chimney		

Legend	Legend
Electricity Cable	Electricity Pole with Light
Electricity Cable (Overhead)	Light Pole
Telephone cable	Communications Pit
Gas pipe	Sign
Water pipe	
Sewer pipe	

Warning Note About Fencing

Where fencing does not accord with title position but has stood unchallenged for a minimum continuous period of 15 years, the occupier may acquire rights of possession for the occupied portion of land.

This can potentially alter the land available for design or construction. Consideration should therefore be given to the recognition of acquired rights of possession.

General Notations

This plan is prepared for the purposes of title re-establishment, site evaluation, and planning. It should not be used for any other purpose. Plotted position of occupation is exaggerated for clarity. Detail within adjacent properties is obtained by indirect methods, subject to validation by direct measurement.

All notes are an integral part of the plan, if the plan is copied, these notes are to accompany the copy.

Level, Co-ordinate and Bearing Datums

Levels on this plan are to: Australian Height Datum based upon: PM 205 With R.L. 55.266
located at: Corner Malvern & Kooyung Roads
Co-ordinate origin for this drawing is: MGA84 ZONE 55 based upon: GNSS OBSERVATIONS located at: ...
Bearing datum is: MGA84 ZONE 55 based upon: GNSS OBSERVATIONS
For title bearings: Subtract 5°49'25"

Certificate by Licensed Surveyor for Plan

I, Brent Kevin O'Grady of TGM Group Pty Ltd, 765 Glenferrie Road Hawthorn certify that this plan has been prepared from a survey made under my direction and supervision in accordance with the Surveying Act 2004 and completed on 15/02/2017, that this plan is accurate and correctly represents the adopted boundaries and that the survey accuracy accords with that required by regulation 7(1) of the Surveying (Cadastral Surveys) Regulations 2015.

Licensed Surveyor (Surveying Act 2004) Date

Site Description

Last plan reference: Lot 1 Plan TP 208803 P
Title Description: Vol. 9023 Fol. 705
County: BOURKE
 Parish: FRASERHAM AT GARDNER
 Crown Description: CROWN PORTION 3(PART)
Municipality: City of STONNINGTON

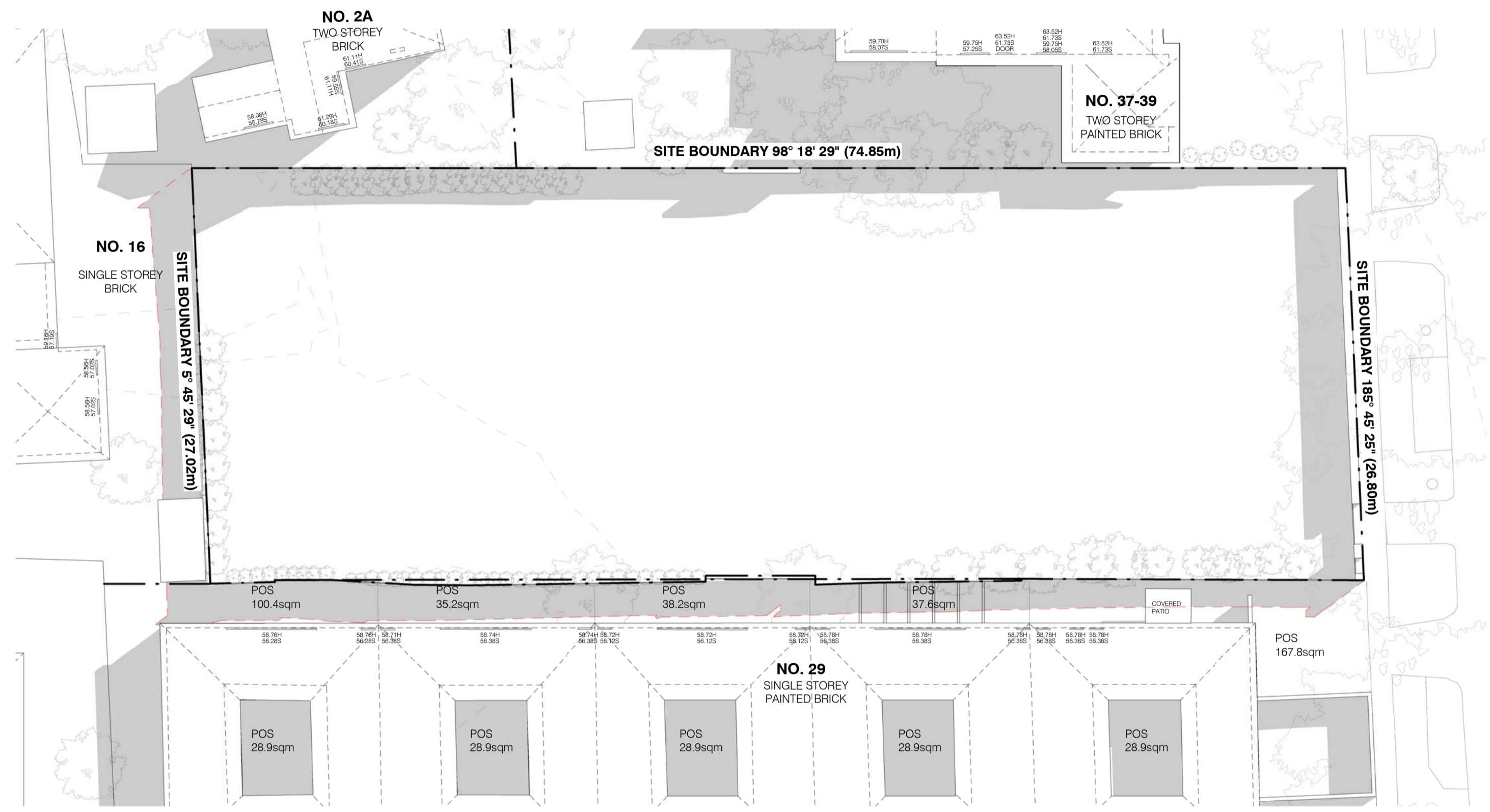
PLAN OF EXISTING TITLE RE-ESTABLISHMENT

33-35 HUNTINGTOWER ROAD
ARMADALE

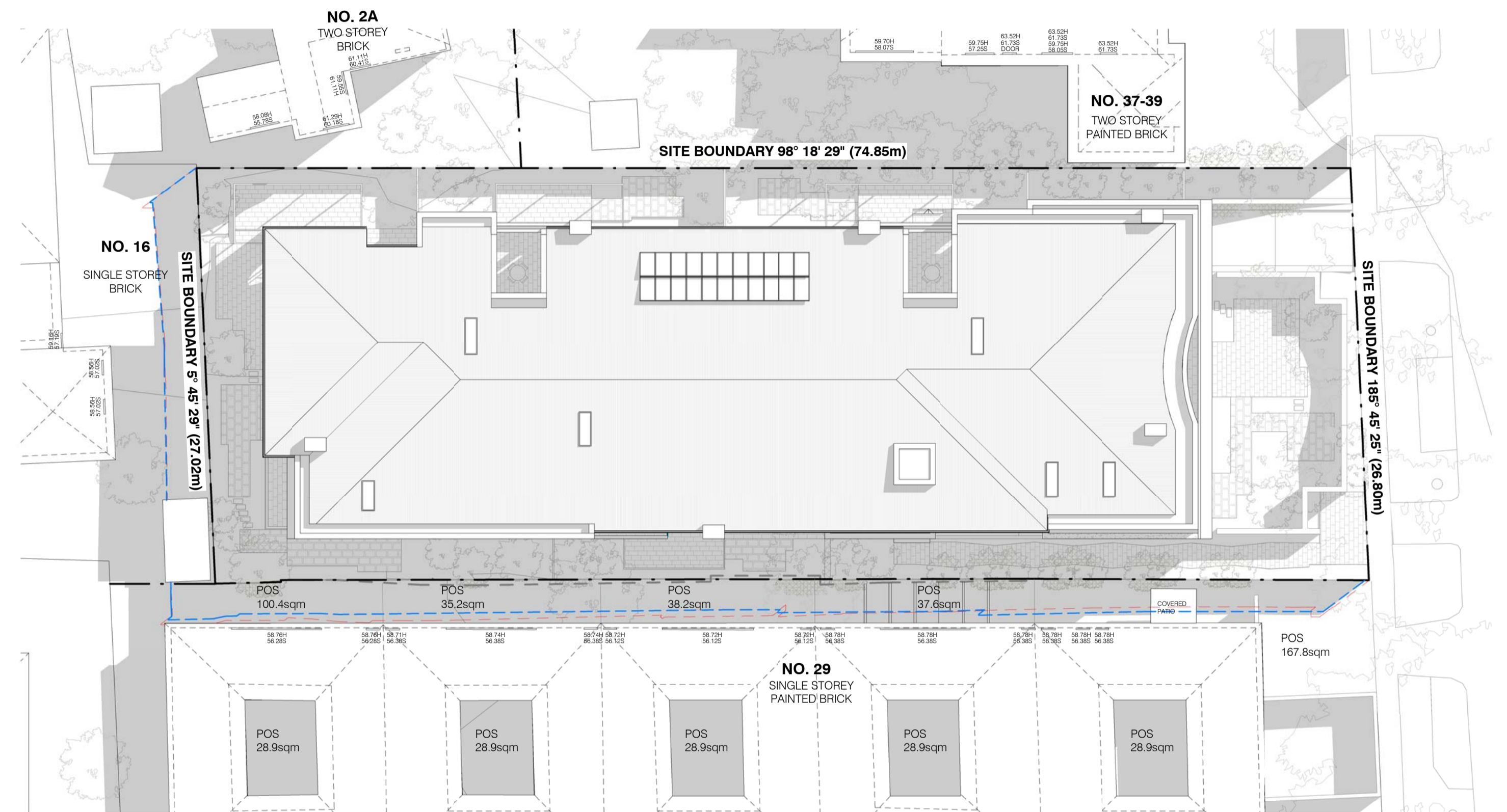
Job Number : 16458-01	Sheet : 1 of 1	Date of Issue : 23/02/2017
Scale : 1:100	At Size : A0	
Survey: BS, DE	Drawn: BS	Checked: BOG
DWG: 16458-01	VERSION: 5	



NOTE: PLAN PREPARED FOR DISCUSSION PURPOSES SURROUNDING THE OCCUPATION ALONG THE SOUTHERN BOUNDARY.



1 EXISTING CONTEXT PLAN - SHADOW DIAGRAM 9AM
SCALE 1 : 250



2 CONTEXT PLAN - SHADOW DIAGRAM 9AM
SCALE 1 : 250

--- PROPOSED FENCE LINE
--- EXISTING FENCE LINE

SHADOW ANALYSIS OF POS TO UNITS 1-5 NO. 29 HUNTINGTOWER

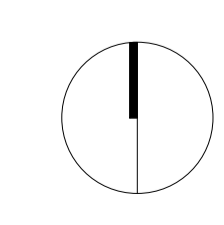
UNIT	POS (1ST)	POS (2ND)	SUNLIGHT FOR POS (1ST)				
			9AM	10AM	12PM	2PM	3PM
1	28.9sqm	167.8sqm	-	9.2sqm	16.8sqm	11.8sqm	3sqm
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3	28.9sqm	38.2sqm	-	8sqm	17.6sqm	10.4sqm	1.6sqm
4	28.9sqm	35.2sqm	-	7.4sqm	17.9sqm	10.1sqm	1sqm
5	28.9sqm	100.4sqm	-	7sqm	18.7sqm	9.2sqm	-

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23/06/17	MW/TS	PLANNING SUBMISSION
TP2	17/08/17	MW/TS	COUNCIL RFI - SHADOWS

ORCHARD PIPER



PLANNING



PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SHADOW DIAGRAMS 9AM

DRAWN
TS

SCALE
As indicated @ A1

CHECKED
MW

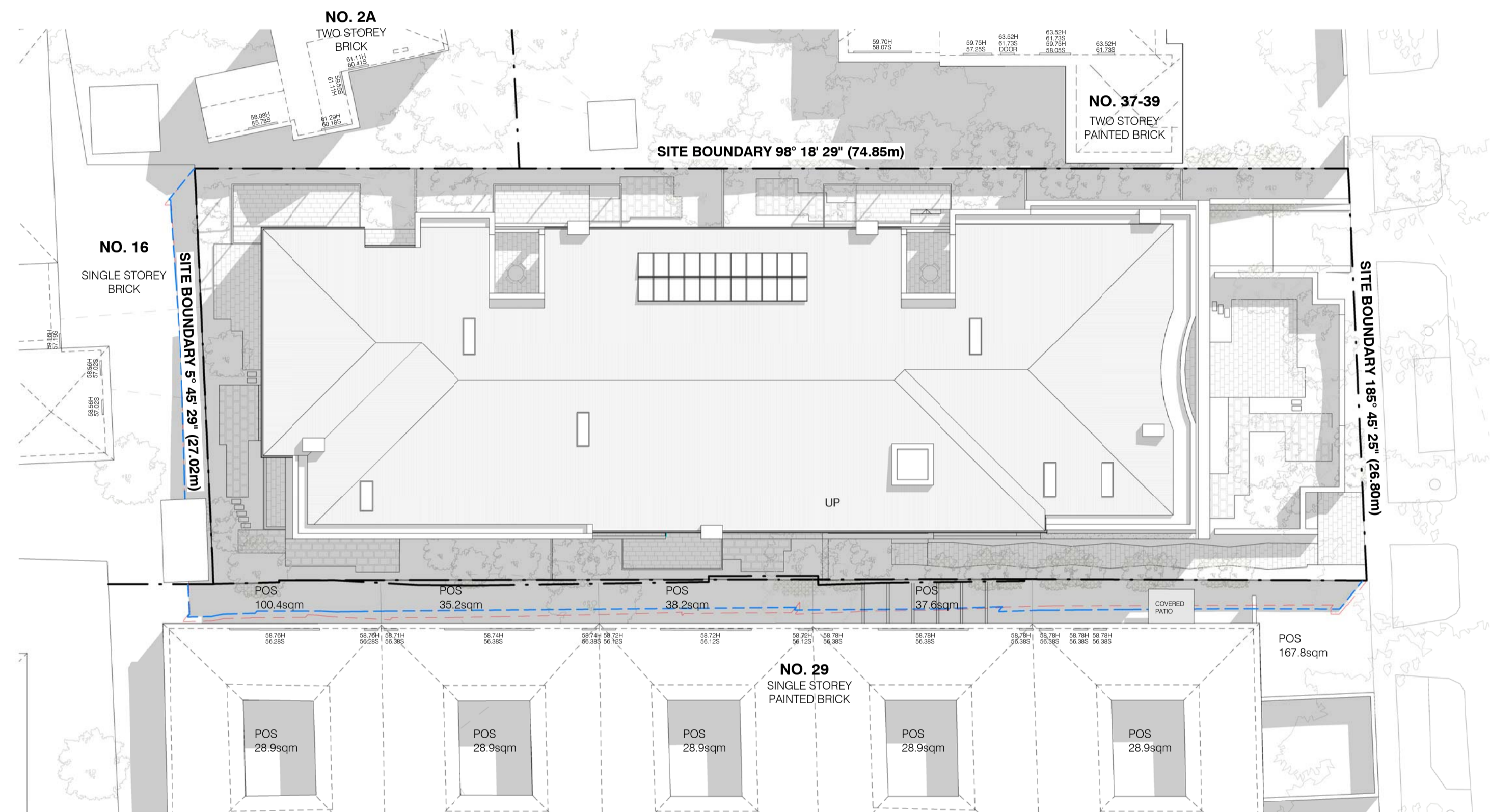
DATE
17/08/17

DRAWING NO.
TP015

REVISION
TP2



1 EXISTING CONTEXT PLAN - SHADOW DIAGRAM 10AM
SCALE 1 : 250



2 CONTEXT PLAN - SHADOW DIAGRAM 10AM
SCALE 1 : 250

--- PROPOSED FENCE LINE
--- EXISTING FENCE LINE

SHADOW ANALYSIS OF POS TO UNITS 1-5 NO. 29 HUNTINGTOWER

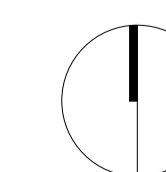
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REV	DATE	ISSUED BY	DESCRIPTION
TP1	23/06/17	MW/TS	PLANNING SUBMISSION
TP2	17/08/17	MW/TS	COUNCIL RFI - SHADOWS

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SHADOW DIAGRAM 10AM

DRAWN
Author

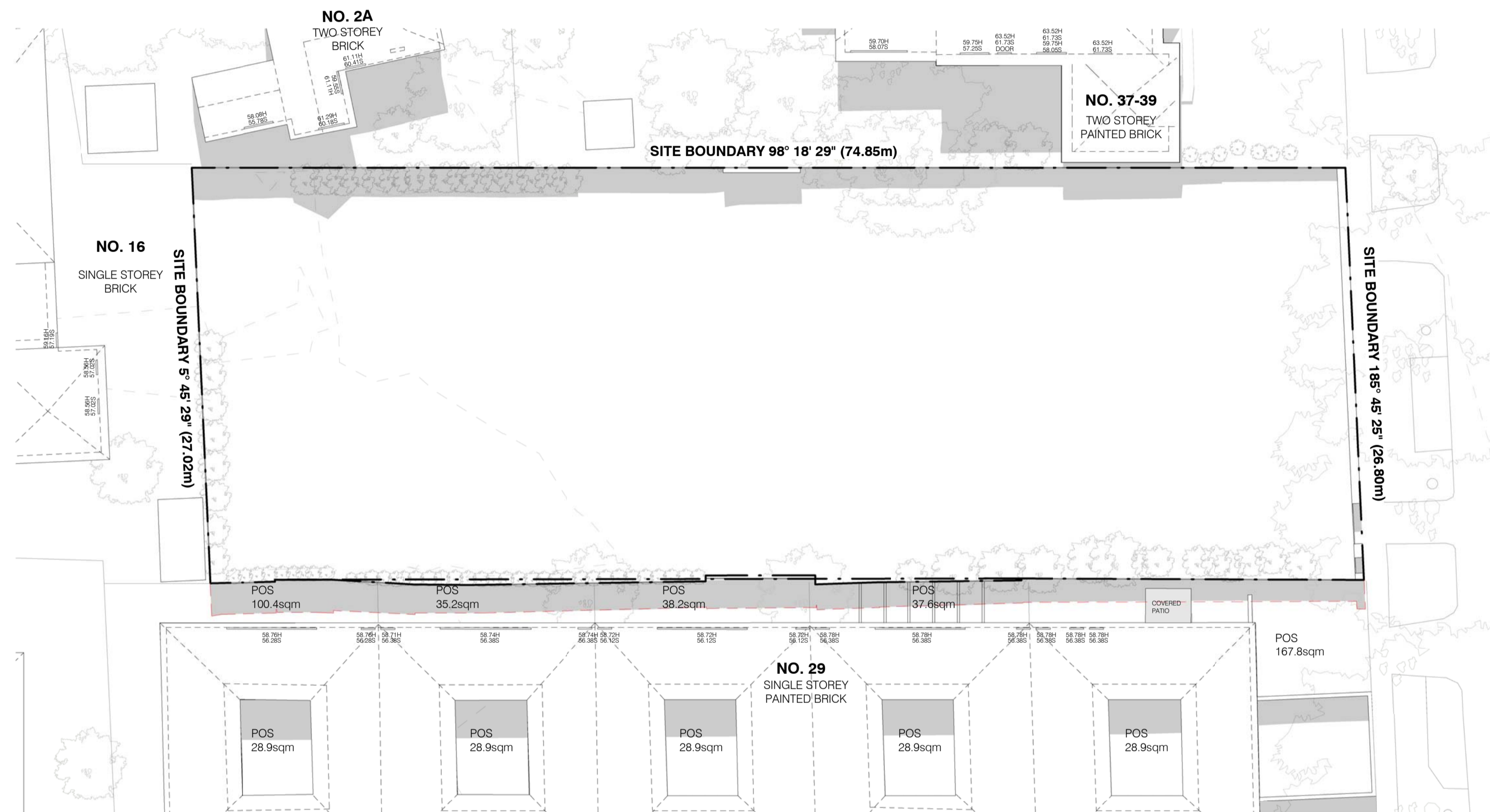
SCALE
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CHECKED
Checker

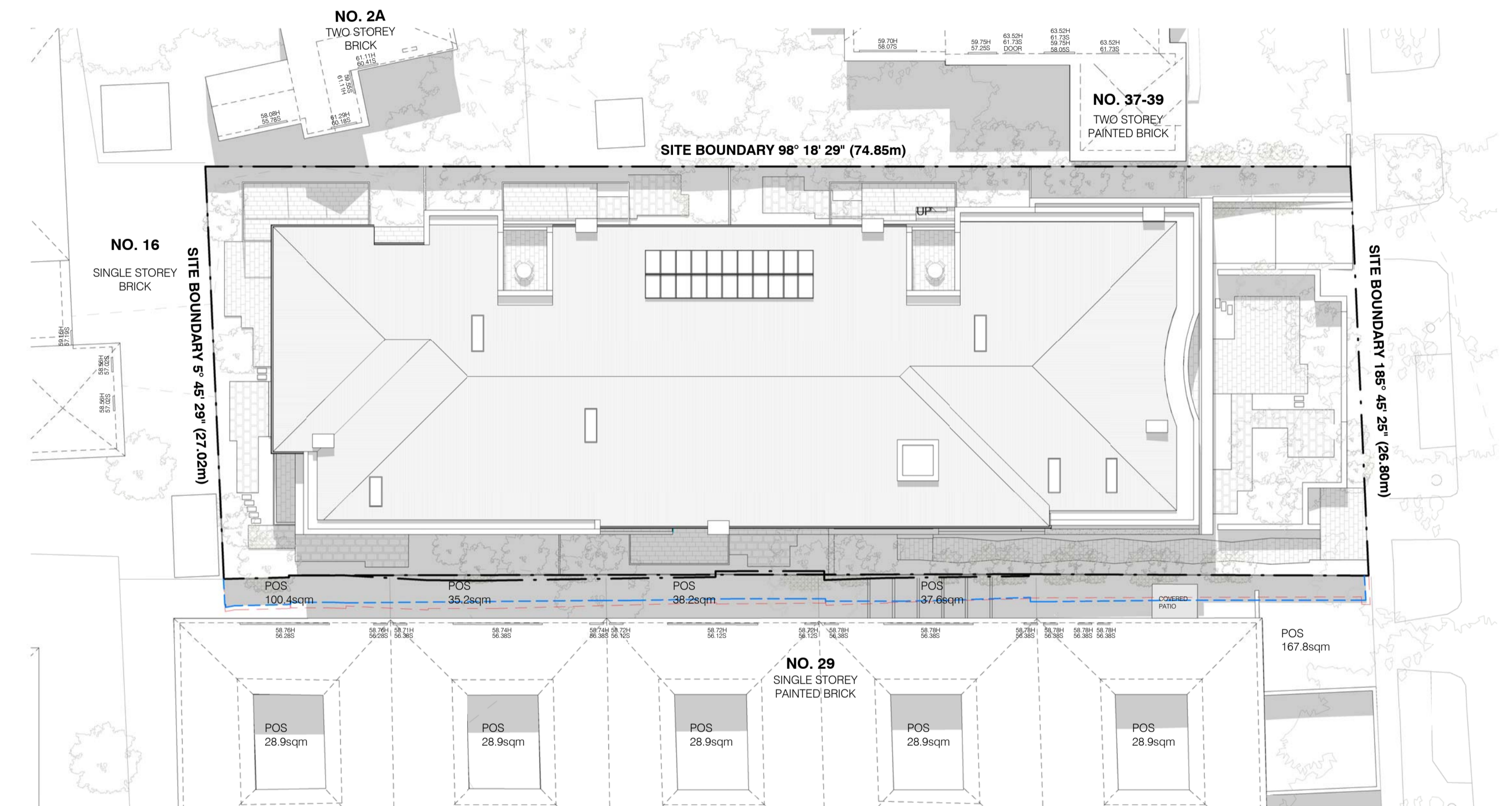
DATE
17|08|17

DRAWING NO.
TP016

REVISION
TP2



1 EXISTING CONTEXT PLAN - SHADOW DIAGRAM 12PM
SCALE 1 : 250



2 CONTEXT PLAN - SHADOW DIAGRAM 12PM
SCALE 1 : 250

--- PROPOSED FENCE LINE
--- EXISTING FENCE LINE

SHADOW ANALYSIS OF POS TO UNITS 1-5 NO. 29 HUNTINGTOWER

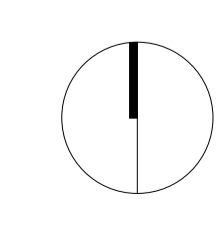
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REV	DATE	ISSUED BY	DESCRIPTION
TP1	23/06/17	MW/TS	PLANNING SUBMISSION
TP2	17/08/17	MW/TS	COUNCIL RFI - SHADOWS

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PLANNING



PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SHADOW DIAGRAM 12PM

DRAWN
TS

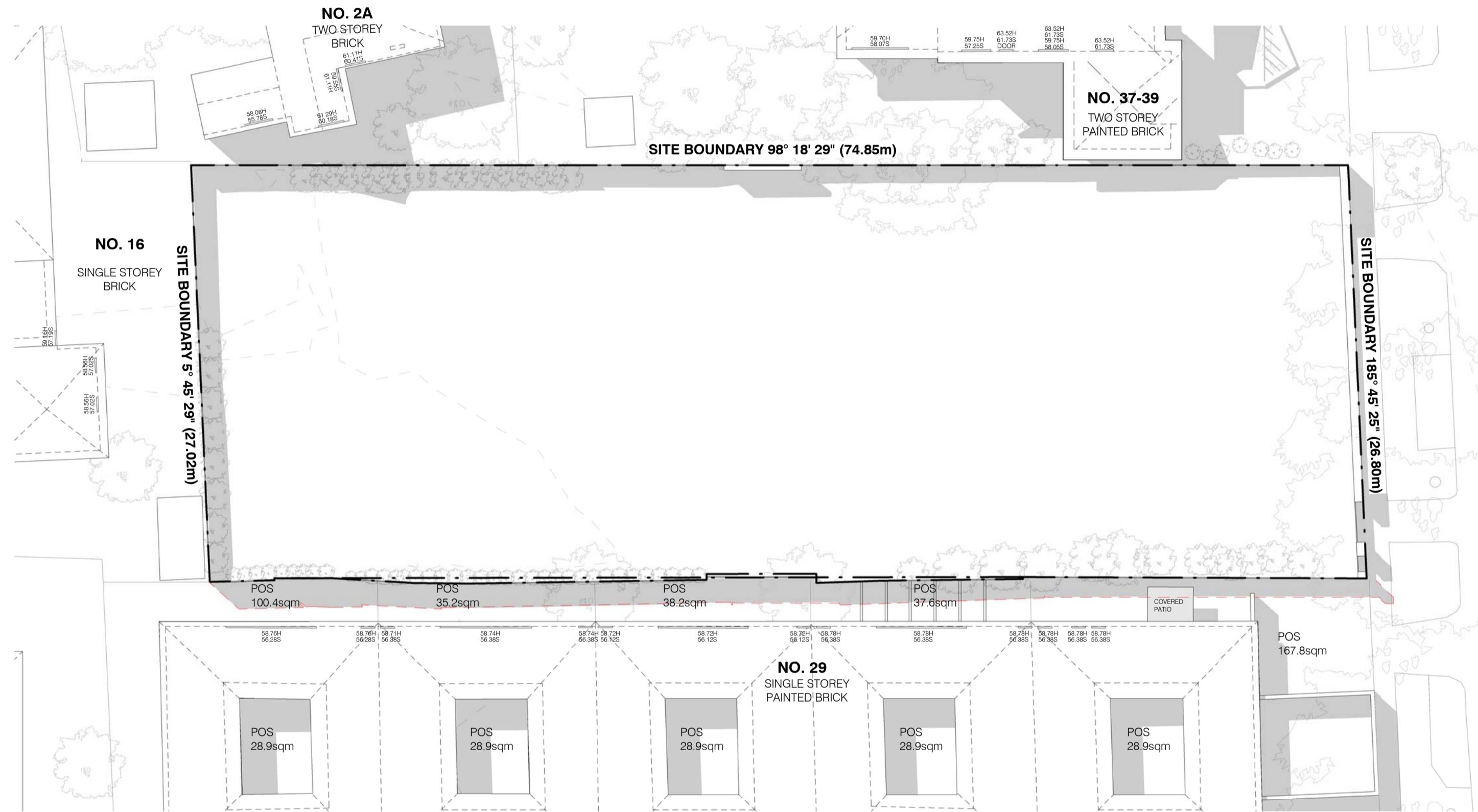
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CHECKED
MW

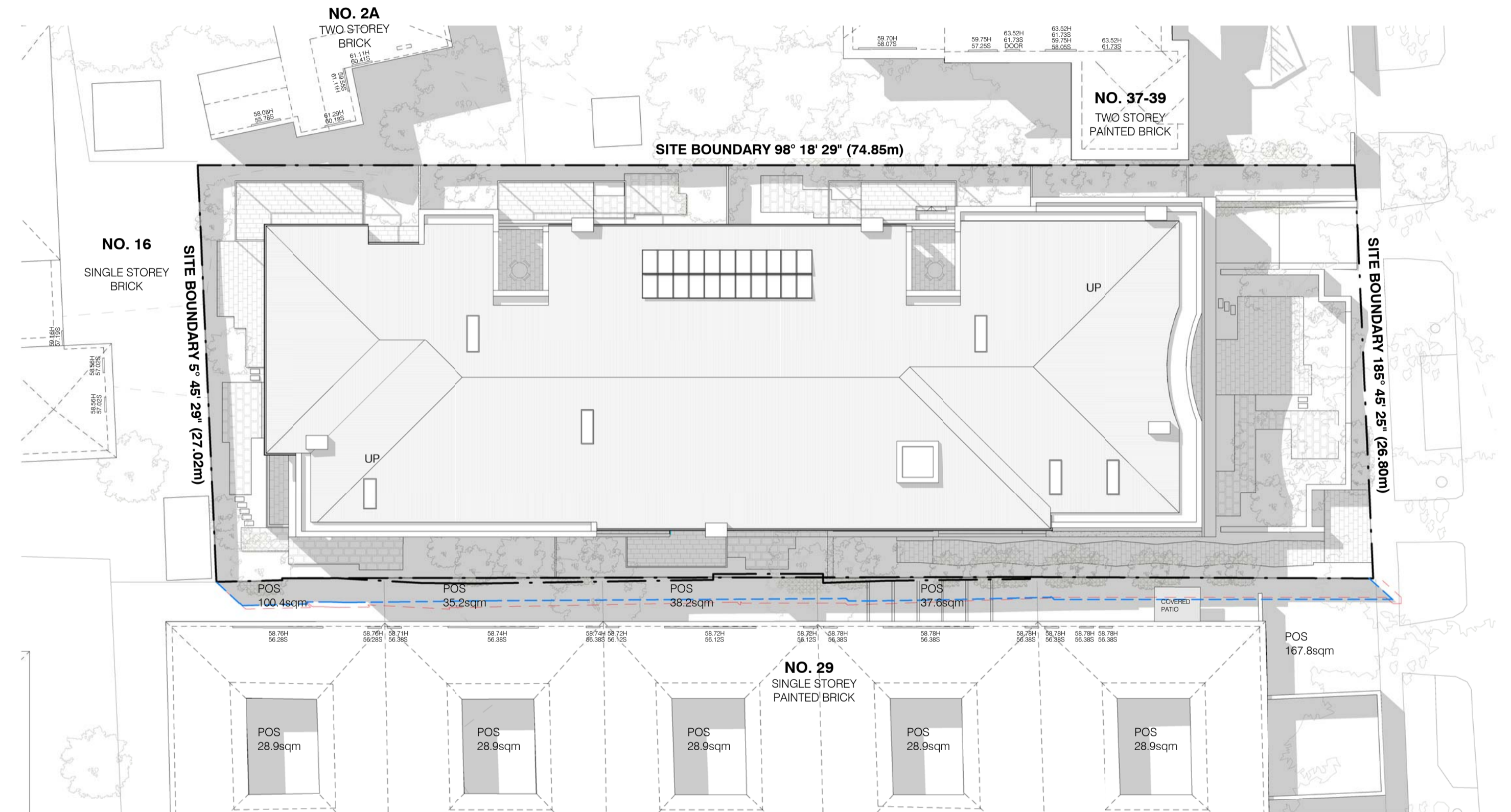
DATE
17|08|17

DRAWING NO.
TP017

REVISION
TP2



1 EXISTING CONTEXT PLAN - SHADOW DIAGRAM 2PM
SCALE 1 : 250



2 CONTEXT PLAN - SHADOW DIAGRAM 2PM
SCALE 1 : 250

--- PROPOSED FENCE LINE
--- EXISTING FENCE LINE

SHADOW ANALYSIS OF POS TO UNITS 1-5 NO. 29 HUNTINGTOWER

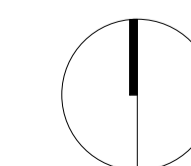
UNIT	POS (1ST)	POS (2ND)	SUNLIGHT FOR POS (1ST)				
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REV	DATE	ISSUED BY	DESCRIPTION
TP1	23/06/17	MW/TS	PLANNING SUBMISSION
TP2	17/08/17	MW/TS	COUNCIL RFI - SHADOWS

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SHADOW DIAGRAM 2PM

DRAWN
Author

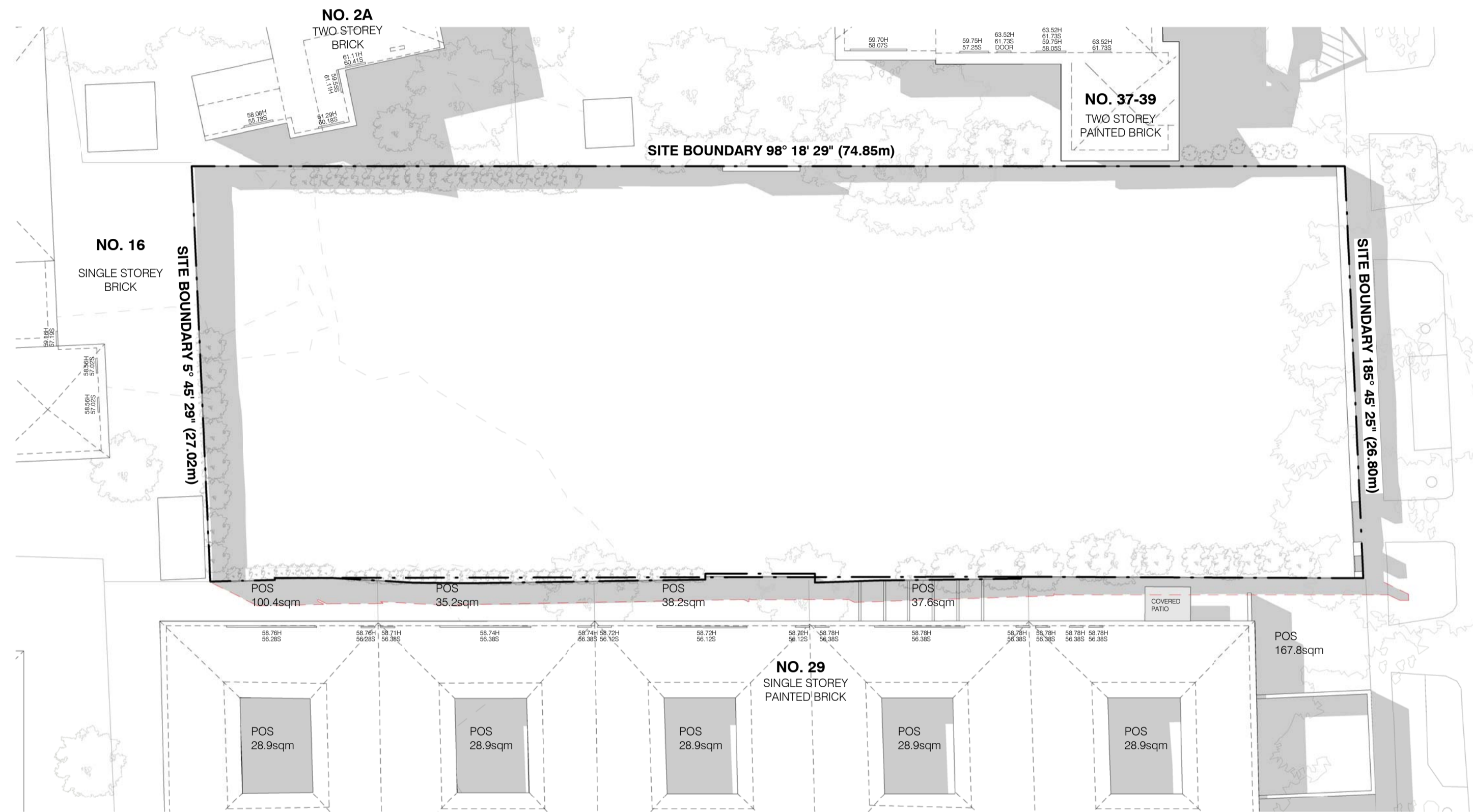
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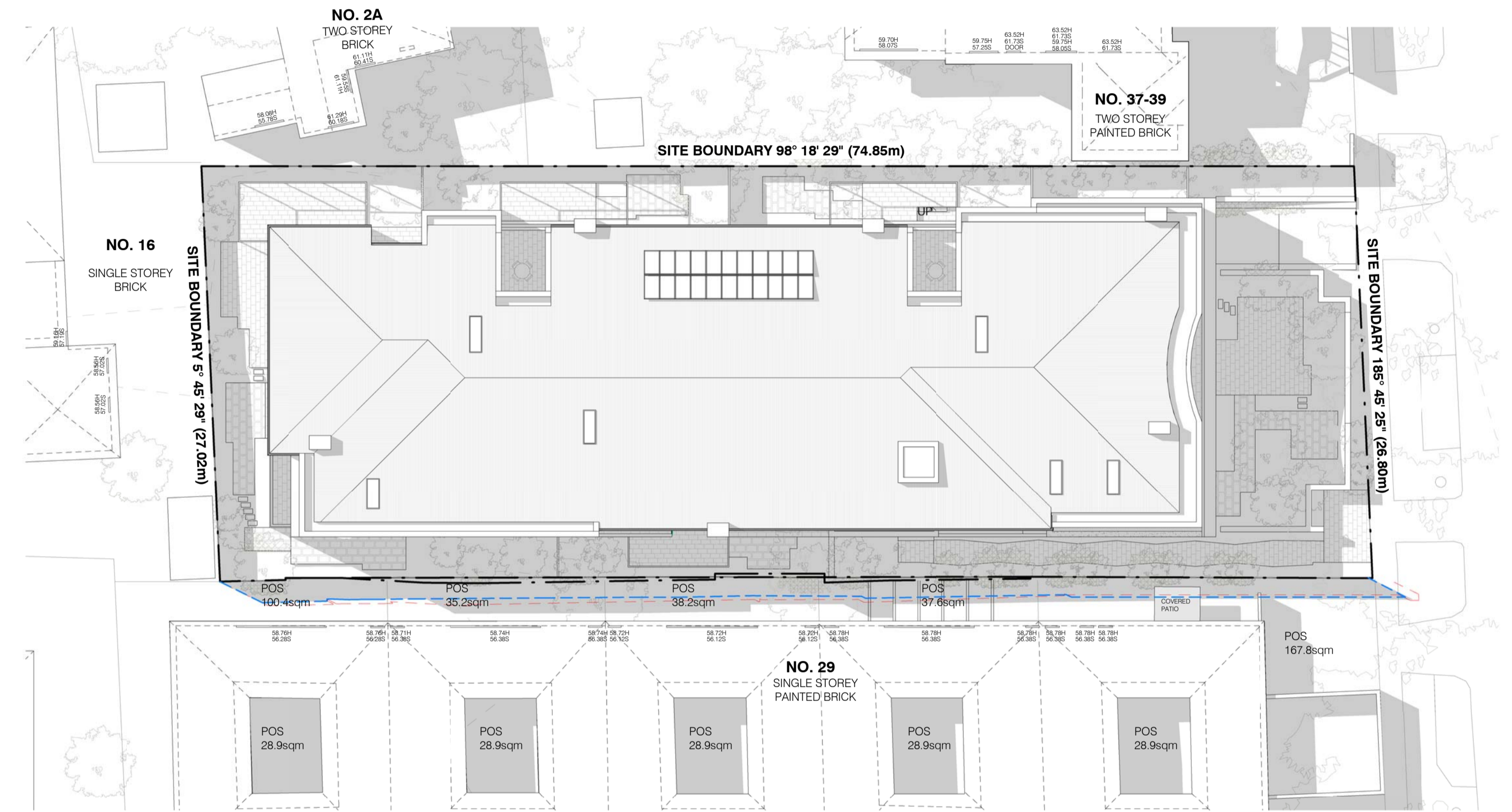
DATE
17/08/17

DRAWING NO.
TP018

REVISION
TP2



1 EXISTING CONTEXT PLAN - SHADOW DIAGRAM 3PM
SCALE 1 : 250



2 CONTEXT PLAN - SHADOW DIAGRAM 3PM
SCALE 1 : 250

SHADOW ANALYSIS OF POS TO UNITS 1-5 NO. 29 HUNTINGTOWER

UNIT	POS (1ST)	POS (2ND)	SUNLIGHT FOR POS (1ST)				
			9AM	10AM	12PM	2PM	3PM
1	28.9sqm	167.8sqm	-	9.2sqm	16.8sqm	11.8sqm	3sqm
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5	28.9sqm	100.4sqm	-	7sqm	18.7sqm	9.2sqm	-

--- PROPOSED FENCE LINE

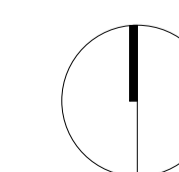
--- EXISTING FENCE LINE

REV	DATE	ISSUED BY	DESCRIPTION
TP1	23/06/17	MW/TS	PLANNING SUBMISSION
TP2	17/08/17	MW/TS	COUNCIL RFI - SHADOWS

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PROJECT
17001 33-35 HUNTINGTOWER ROAD : ARMADALE

TITLE
SHADOW DIAGRAM 3PM

DRAWN
TS

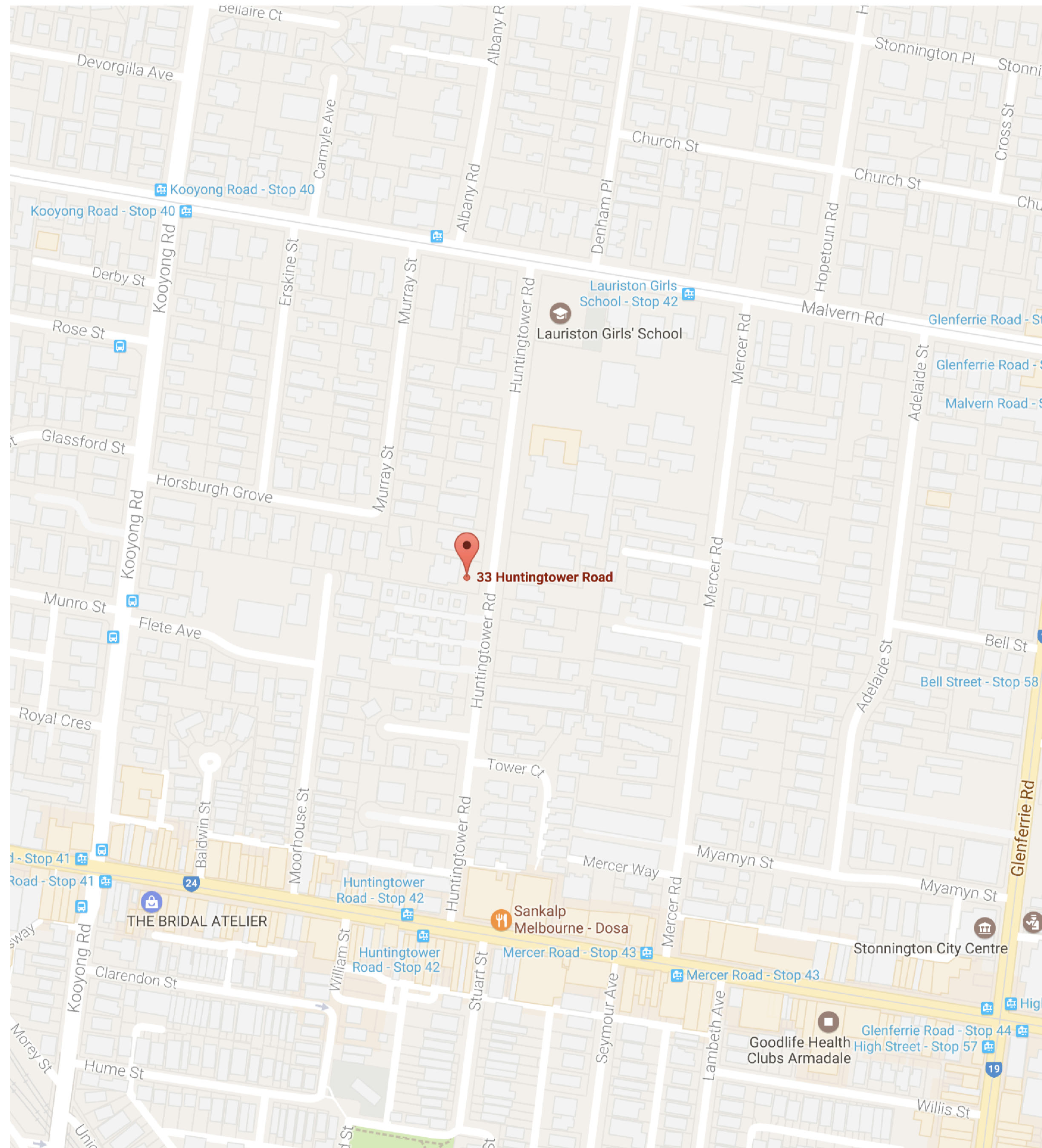
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As indicated @ A1

CHECKED
MW

DATE
17/08/17

DRAWING NO.
TP019

REVISION
TP2



LOCATION PLAN
GOOGLE MAPS | NTS

DRAWING SCHEDULE

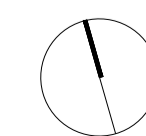
MBD_JAR_01	COVER PAGE
MBD_JAR_02	LANDSCAPE PLAN
MBD_JAR_03	TYPICAL SECTION & LANDSCAPE PLAN

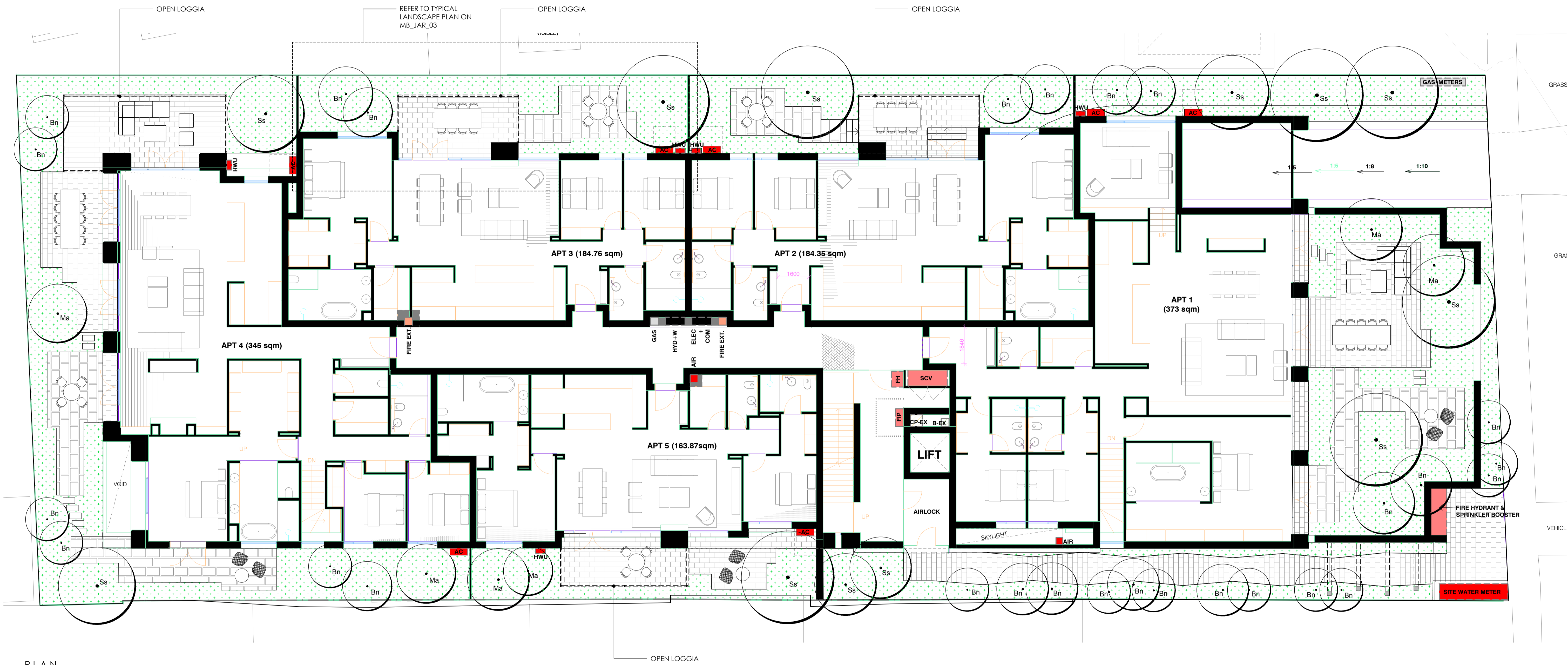
NOTES

- ALL LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S AND ADDITIONAL CONSULTANT'S DRAWINGS, SPECIFICATIONS AND REPORTS.
- ALL PUBLIC UTILITY SERVICES ARE TO BE LOCATED ON SITE BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORKS. THE LOCATION, PRESENCE AND EXTENT OF SERVICES SHOWN ARE NOT GUARANTEED COMPLETE OR CORRECT.
- NO TREES PROTECTED UNDER THE LOCAL COUNCIL'S TREE PRESERVATION ORDER ARE TO BE REMOVED UNLESS APPROVED BY DEVELOPMENT CONSENT OR PERMIT OBTAINED FROM COUNCIL.
- ALL STEEL EDGING TO BE MILD STEEL PLATE, 3mm X 200mm. THE TOP EDGE OF THE PLATE IS TO BE FLUSH WITH THE LEVEL OF THE LAWN.
- ALL PAVING IS INDICATIVE, TO BE TO FUTURE SPECIFICATION, AND SET OUT ON SITE.
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE LOCAL COUNCIL'S APPROVAL, STANDARDS AND CODES.
- THE CONTRACTOR IS TO ENSURE THAT ALL THE WORKS ARE CARRIED OUT IN ACCORDANCE WITH THE WORK HEALTH AND SAFETY ACT.

PLANT SCHEDULE

TREES		
BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Betula nigra	TROPICAL BIRCH	7 m
Michelia alba	WHITE CHAMPACA	6 m
Sapium sebiferum	CHINESE TALLOW	6 m
SHRUBS		
BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Fatsia japonica	JAPANESE ARALIA	2.0 - 2.5 m
Gardenia augusta	FRAGRANT GARDENIA	1.5 m
Hydrangea quercifolia 'Snowflake'	OAK LEAF HYDRANGEA	1.5 - 2 m
Osmanthus delavayi	DELAVAY'S OSMANTHUS	1.0 - 1.5 m
Sarcococca confusa	SWEET BOX	1.6 m
Viburnum odoratissimum	SWEET VIBURNUM	2.5 - 3 m
PERENNIALS		
BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Acanthus mollis	OYSTER PLANT	0.3 - 0.8 m
Alpinia nutans	DWARF CARDAMOM	1.0 - 1.5 m
Ligularia reniformis	TRACTOR SEAT LIGULARIA	0.5 - 1 m
GROUNDCOVERS		
BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Pachysandra terminalis	JAPANESE SPURGE	0.15 - 0.30 m
Polystichum acrostichoides	CHRISTMAS FERN	0.3 - 0.5 m
CLIMBERS		
BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Hedera helix	COMMON IVY	
Pandorea jasminoides	BOWER OF BEAUTY	
Stephanotis floribunda	MADAGASCAR JASMINE	





PLAN
SCALE 1:100

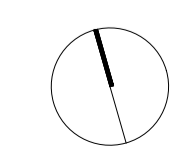
PLANT SCHEDULE

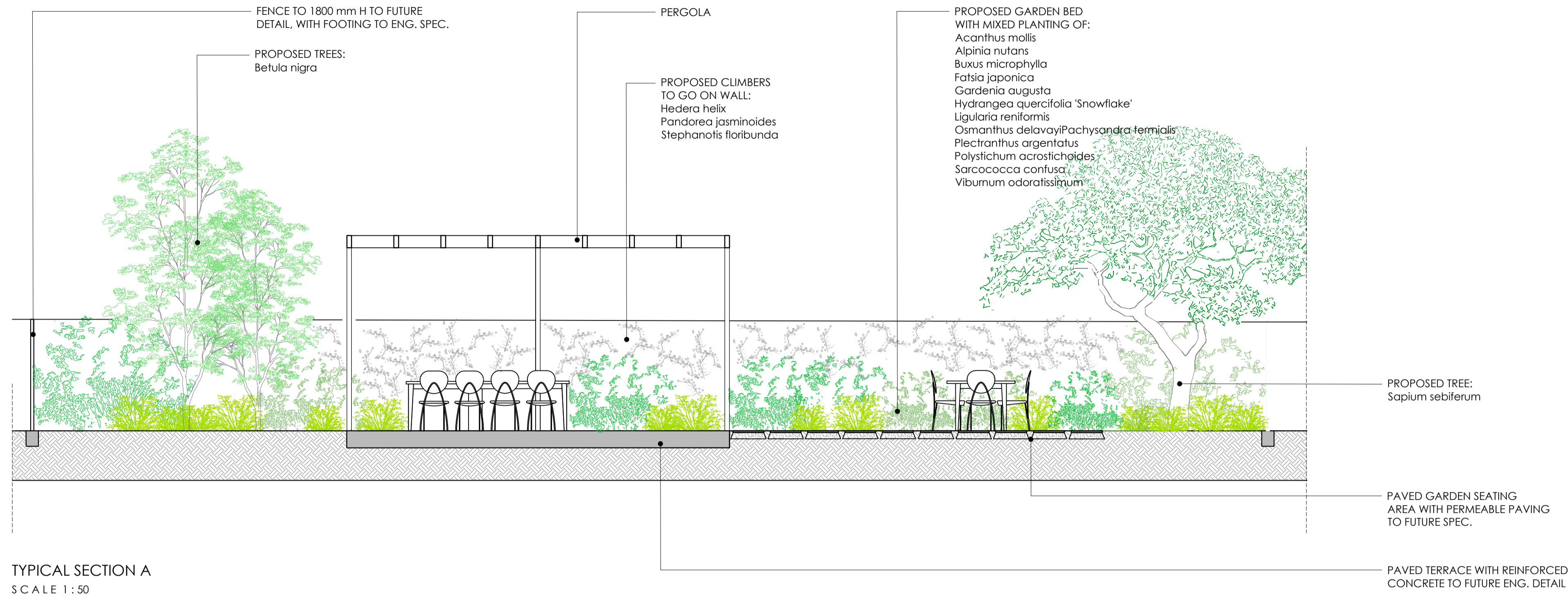
CODE	BOTANIC NAME	COMMON NAME	MATURE HEIGHT
Bn	Betula nigra	TROPICAL BIRCH	7 m
Ma	Micheleia alba	WHITE CHAMPACA	6 m
Ss	Sapium sebiferum	CHINESE TALLOW	6 m

LEGEND

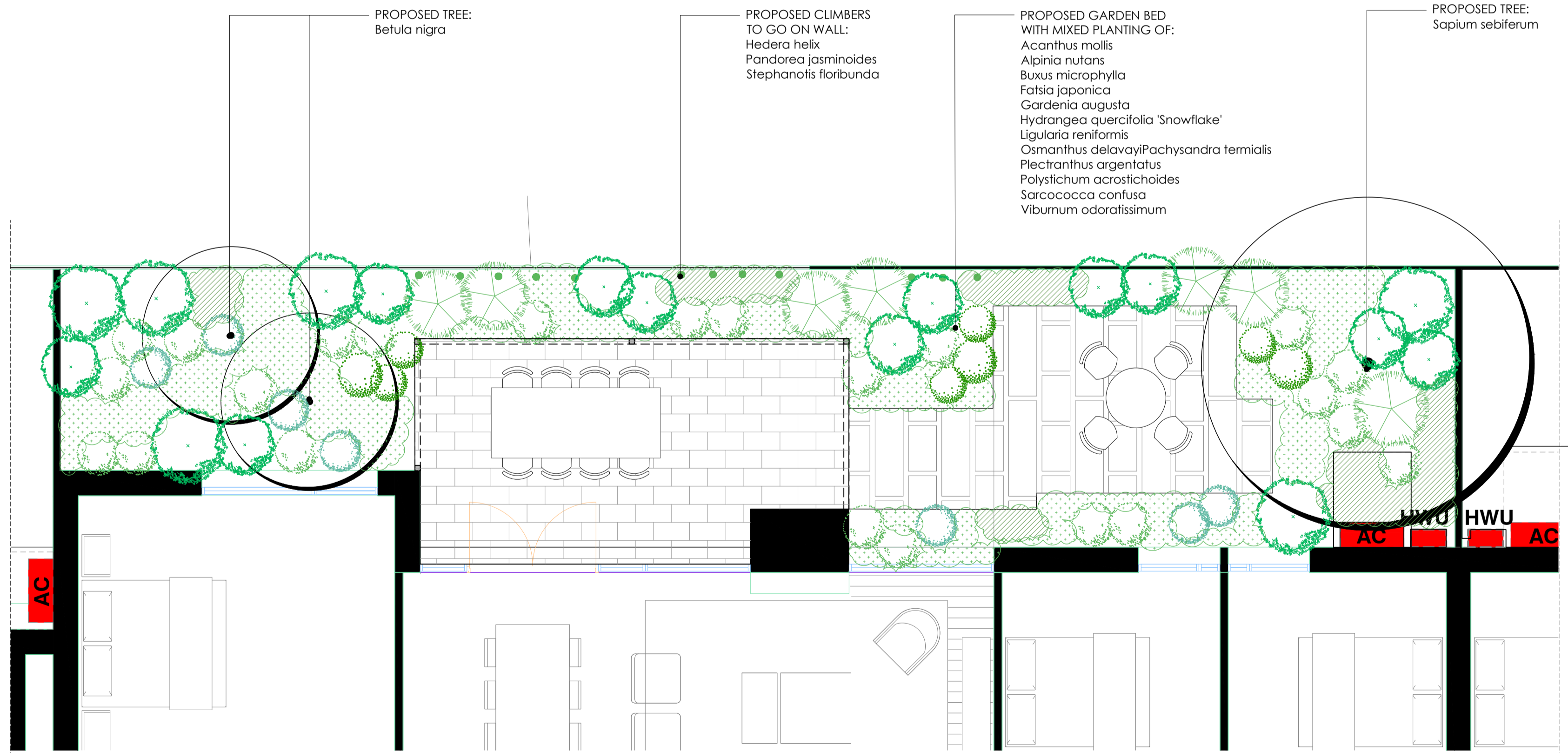
- EXISTING TREE
- PROPOSED TREE
- GARDEN PLANTING
- IMPERMEABLE PAVING
- PERMEABLE PAVING

PRELIMINARY



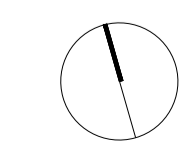


TYPICAL SECTION A
SCALE 1:50



TYPICAL LANDSCAPE PLAN
SCALE 1:50

- LEGEND
- PROPOSED TREE
 - PROPOSED SHRUB
 - PROPOSED SMALL SHRUB
 - PERENNIAL
 - LOW PERENNIAL / GROUND COVER
 - IMPERMEABLE PAVING
 - PERMEABLE PAVING



TREES



Betula nigra



Michelia alba



Sapium sebiferum

SHRUBS



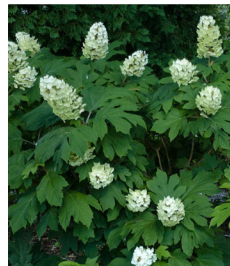
Fatsia japonica



Sarcococca confusa



Gardenia augusta



Hydrangea quercifolia



Osmanthus delavayi



Viburnum odoratissimum
'Emerald Lustre'

PERENNIALS AND GROUNDCOVERS



Acanthus mollis



Pachysandra terminalis



Alpinia nutans



Polystichum acrostichoides



Ligularia reniformis

CLIMBERS



Hedera helix



Stephanotis floribunda



Pandorea jasminoides alba



MYLES BALDWIN DESIGN

The Stable, 105 Lawrence St, Alexandria, NSW, 2015, Australia
Ph 02 9565 5529 | www.mylesbaldwin.com

PLANT IMAGES
ORCHARD PIPER | ARMADALE