



# NOTICE PAPER PLANS ATTACHMENTS

Monday 24 June 2019

# Plans Attachments

1	<b>PLANNING APPLICATION 0738/18 - 64 ARMADALE STREET, ARMADALE - CONSTRUCTION OF TWO DWELLINGS ON A LOT IN A GENERAL RESIDENTIAL ZONE AND SPECIAL BUILDING OVERLAY AND A REDUCTION IN THE CAR PARKING REQUIREMENT.</b>	
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Item 1

Attachment 1 PA - 738-18 - 64 Armadale Street  
Armadale - Attachment 1 of 1



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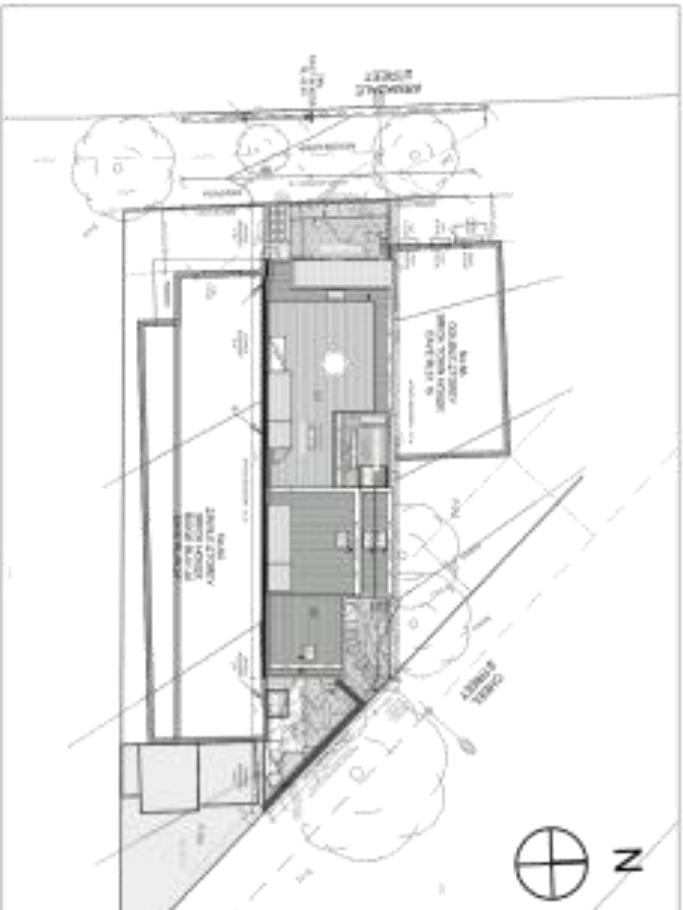
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**64 Armadale Street, Armadale**

★ **Objector properties**

Date printed: 7/02/2019  
Scale: 1:1285



CS

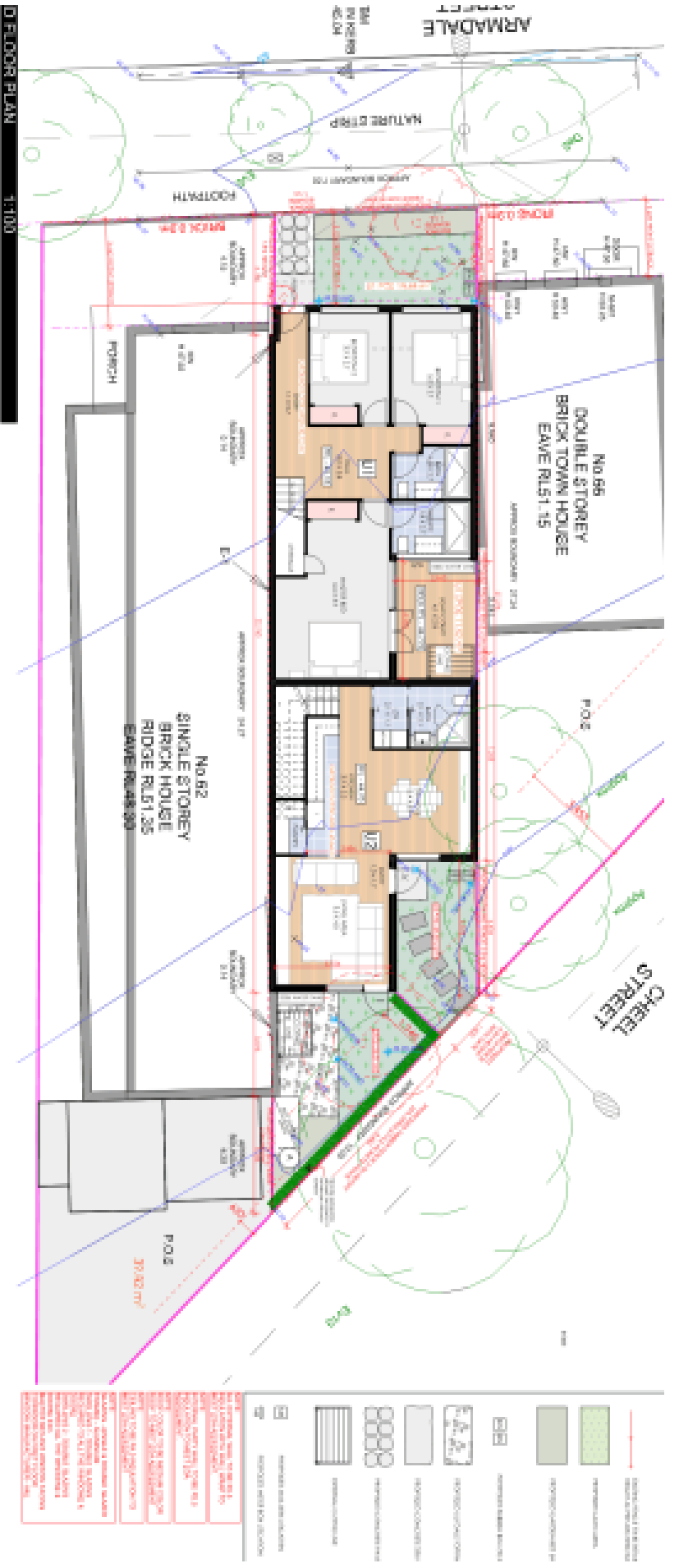
Client: [Redacted]  
 Project: [Redacted]  
 Date: [Redacted]

Item	Description	Quantity	Unit
1	ARMADALE STREET		
2	PROJECT		
3	64 ARMADALE ROAD		
4	ARMADALE		
5	PROJECT		

Development Proposal /  
 Streetscape Elevation

DATE: [Redacted]  
 DRAWN BY: [Redacted]





**CS**

CS Environmental Services  
 100/102 Armadale Street  
 Armadale, WA 6112  
 Tel: (08) 9447 1111  
 Fax: (08) 9447 1112  
 Email: info@csenv.com.au  
 Website: www.csenv.com.au

**Site Plan/Ground Floorplan**

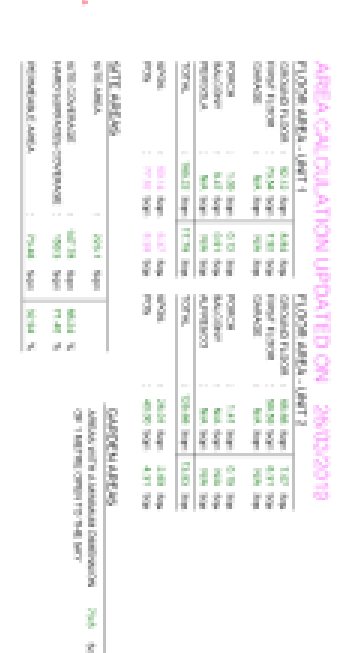
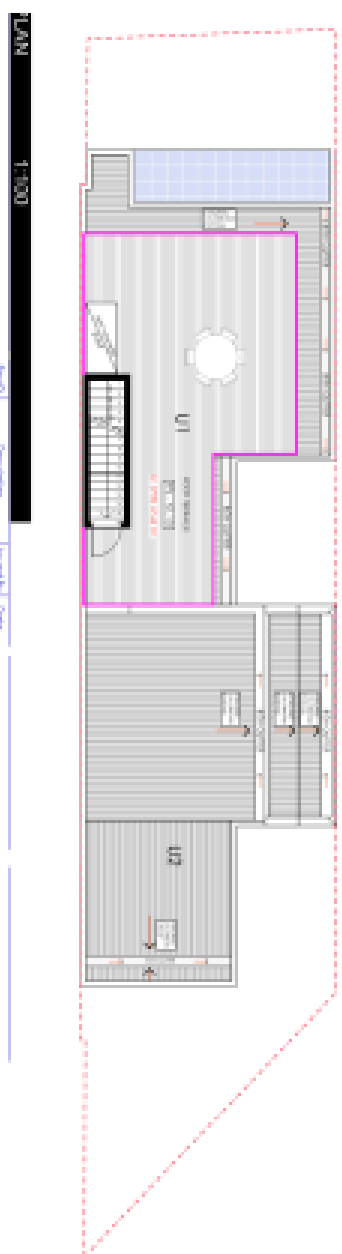
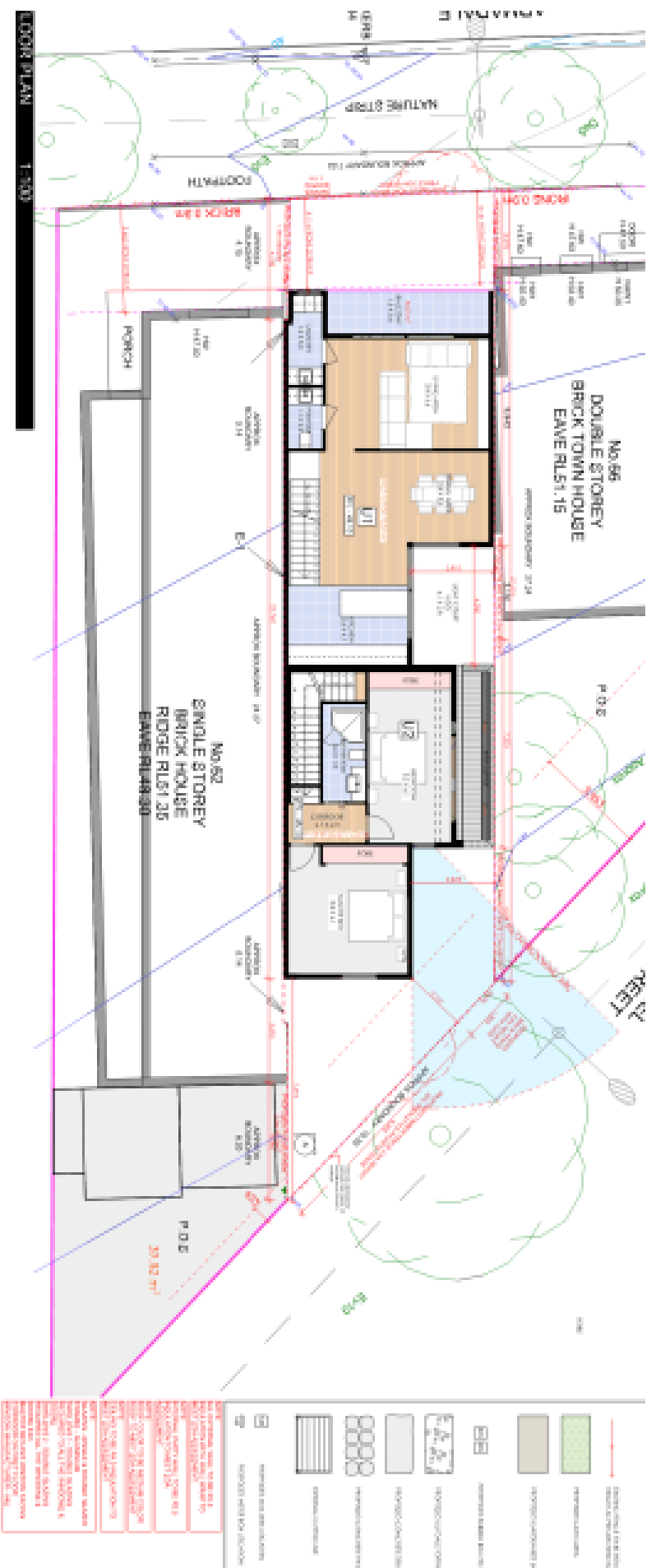
Project: 44 Armadale Road  
 Client: ARMADALE REGIONAL

Scale: 1:100 (ASPIRE)  
 Date: 2018  
 Drawn: [Name]  
 Checked: [Name]

Rev	Description	By	Date
01	Issue for Approval	[Name]	[Date]

**TPNK**

TPNK Development  
 100/102 Armadale Street  
 Armadale, WA 6112  
 Tel: (08) 9447 1111  
 Fax: (08) 9447 1112  
 Email: info@tpnk.com.au  
 Website: www.tpnk.com.au



**CS**

CS has developed this plan for you. It is not to be used for any other purpose without the written consent of CS.

**Site Plan/First Floor Plan**

DATE: 2018  
SCALE: 1:100  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**TPN7** DESIGN DEVELOPMENT







CS

64 Armadale Street PA 738-18

Project Name: 64 Armadale Street PA 738-18

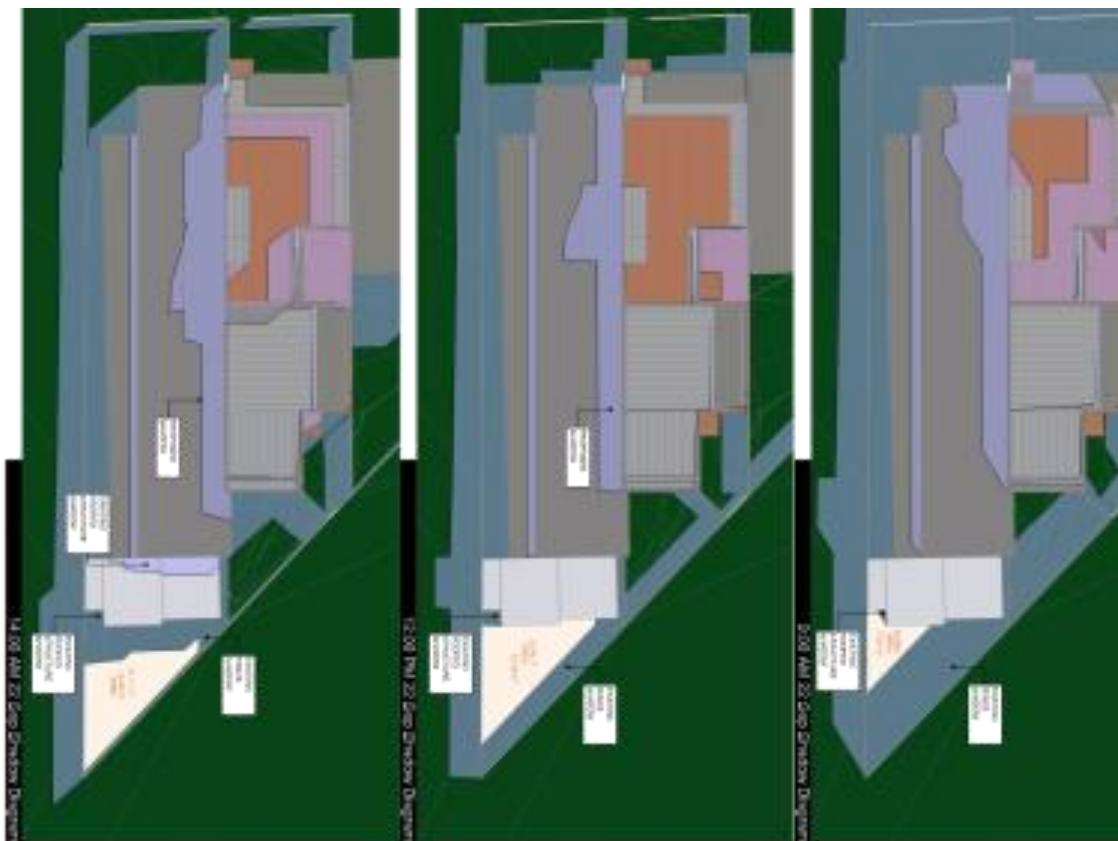
Client: AMARANTH GROUP

Project: PROJECT

Address: 64 ARMADALE ROAD

City: PERTH

Table with columns: Item, Description, Quantity, Unit

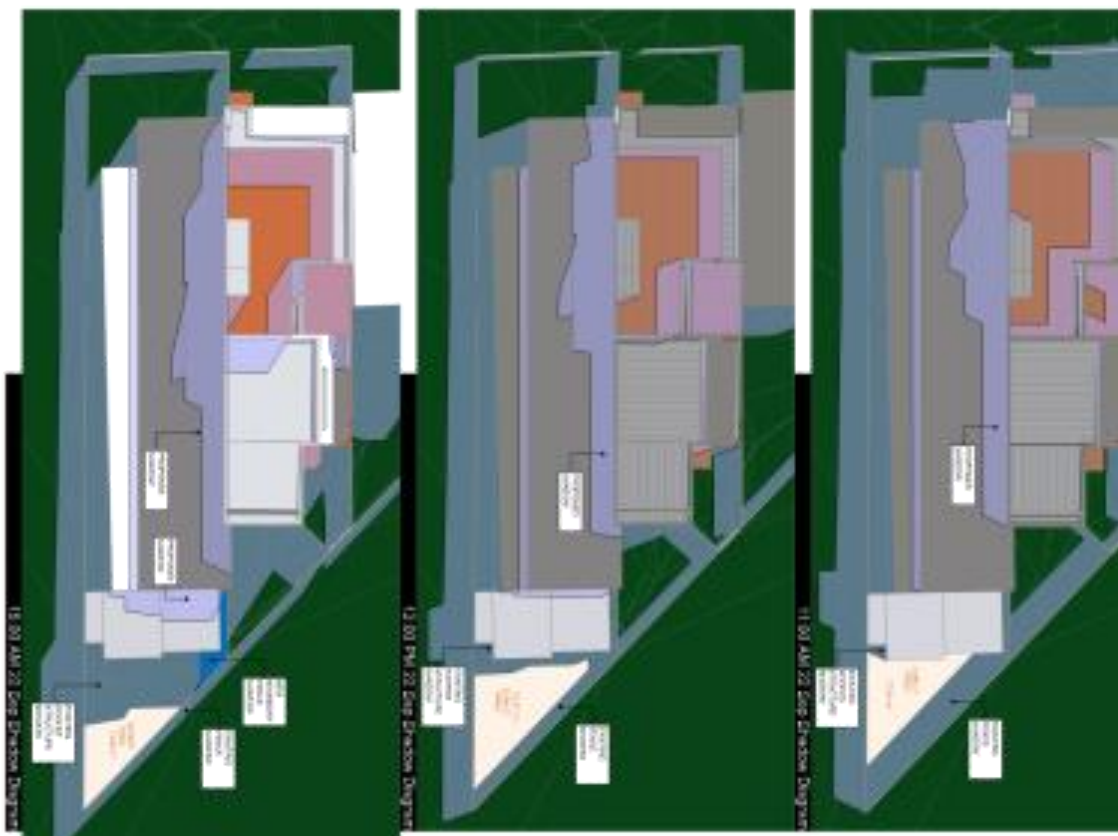


Shadow Diagrams

SCALE: 1:1000

DATE: 07/04/2019

BY:




TPN9

DEVELOPMENT

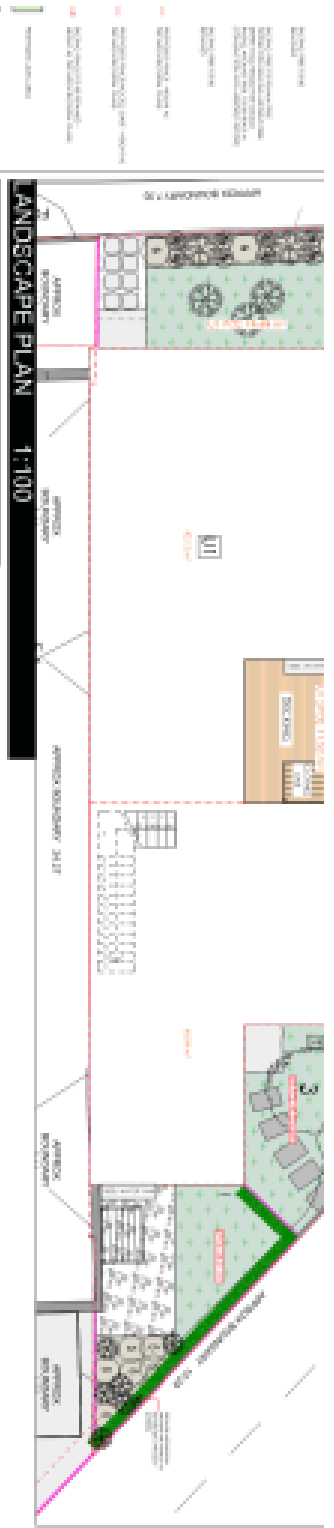
**LEGEND**

- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- PROPOSED DRIVEWAYS
- PROPOSED PARKING
- PROPOSED LANDSCAPE
- PROPOSED FENCES
- PROPOSED WALLS
- PROPOSED ROOFS
- PROPOSED TERRACES
- PROPOSED PATIOS
- PROPOSED DECKING
- PROPOSED BALCONIES
- PROPOSED POOLS
- PROPOSED STAIRS
- PROPOSED RAMP
- PROPOSED CURBS
- PROPOSED DRIVEWAYS
- PROPOSED PARKING
- PROPOSED LANDSCAPE
- PROPOSED FENCES
- PROPOSED WALLS
- PROPOSED ROOFS
- PROPOSED TERRACES
- PROPOSED PATIOS
- PROPOSED DECKING
- PROPOSED BALCONIES
- PROPOSED POOLS
- PROPOSED STAIRS
- PROPOSED RAMP
- PROPOSED CURBS

**SHADOWING IMPACTS ON 22 DEC**

64 ARMADALE STREET ON 22 DEC

Hour of Day	Total Area in Shadow	Existing Area in Shadow	Proposed Area in Shadow	Difference	Area in %
8:00	22.2 m <sup>2</sup>	21.2 m <sup>2</sup>	1.0 m <sup>2</sup>	0.8 m <sup>2</sup>	12%
10:00	22.2 m <sup>2</sup>	21.2 m <sup>2</sup>	1.0 m <sup>2</sup>	0.8 m <sup>2</sup>	12%
12:00	22.2 m <sup>2</sup>	19.2 m <sup>2</sup>	3.0 m <sup>2</sup>	1.8 m <sup>2</sup>	24%
14:00	22.2 m <sup>2</sup>	19.2 m <sup>2</sup>	3.0 m <sup>2</sup>	1.8 m <sup>2</sup>	24%



**PROPOSED PLANTING SCHEDULE**

ITEM	PROPOSED PLANT	COMMENTS	PLANT	QTY
1	Small tree	Small tree	Small tree	1
2	Medium tree	Medium tree	Medium tree	1
3	Large tree	Large tree	Large tree	1
4	Shrub	Shrub	Shrub	1
5	Groundcover	Groundcover	Groundcover	1
6	Grass	Grass	Grass	1
7	Planting	Planting	Planting	1
8	Planting	Planting	Planting	1
9	Planting	Planting	Planting	1
10	Planting	Planting	Planting	1

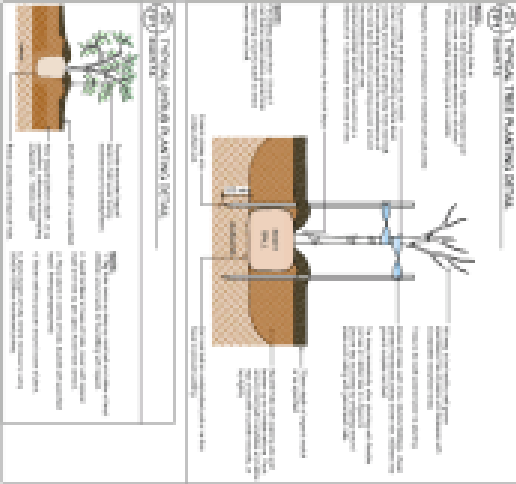
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6	Grass	Grass	Grass	1
7	Planting	Planting	Planting	1
8	Planting	Planting	Planting	1
9	Planting	Planting	Planting	1
10	Planting	Planting	Planting	1

**PLANTING SCHEDULE**

The following table provides a detailed list of the proposed plantings for the site. The schedule includes the item number, the proposed plant name, any specific comments, the plant code, and the quantity required. The plants are categorized into trees, shrubs, groundcovers, and grasses.

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9	Planting	Planting	Planting	1
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9	Planting	Planting	Planting	1
10	Planting	Planting	Planting	1

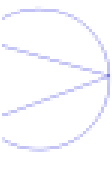


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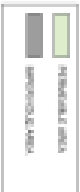
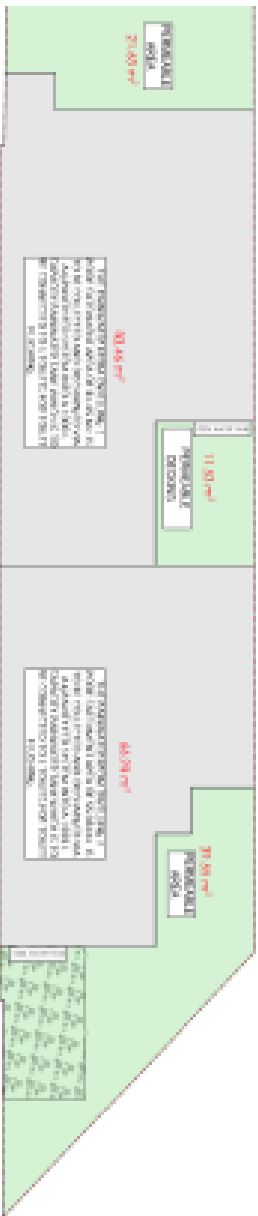
Item	Description	Quantity	Unit
1	Small tree	1	Tree
2	Medium tree	1	Tree
3	Large tree	1	Tree
4	Shrub	1	Shrub
5	Groundcover	1	Groundcover
6	Grass	1	Grass
7	Planting	1	Planting
8	Planting	1	Planting
9	Planting	1	Planting
10	Planting	1	Planting

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### Melbourne Water STORM Rating Report

**Transaction ID:** 128524  
**Address:** 64 ARMADALE STREET  
**Suburb:** ARMADALE  
**VC:** VIC  
**APPLICANT:** 2113  
**APPLICANT ID:** 202113  
**Development Type:** Residential - Dwelling  
**Development Code:** DC2113  
**Storm Rating No:** 114

Description	Impervious Area (m²)	Treatment Type	Treatment Area (m² or L)	Overcapacity / Shortfall (m³ or L)	Treatment %	Treat Water Capacity (m³)
Dwelling 1	83.40	Retention Tank	1,800.00	3	134.78	11.30
Dwelling 2	80.88	Retention Tank	1,800.00	2	133.28	85.80



**44 Areas Showing No Use**

Area ID	Description	Area Type	Area Size (m²)	Area Name
1	...	...	...	ARMADALE STREET
2	...	...	...	ARMADALE STREET
3	...	...	...	ARMADALE STREET
4	...	...	...	ARMADALE STREET
5	...	...	...	ARMADALE STREET
6	...	...	...	ARMADALE STREET
7	...	...	...	ARMADALE STREET
8	...	...	...	ARMADALE STREET
9	...	...	...	ARMADALE STREET
10	...	...	...	ARMADALE STREET
11	...	...	...	ARMADALE STREET
12	...	...	...	ARMADALE STREET
13	...	...	...	ARMADALE STREET
14	...	...	...	ARMADALE STREET
15	...	...	...	ARMADALE STREET
16	...	...	...	ARMADALE STREET
17	...	...	...	ARMADALE STREET
18	...	...	...	ARMADALE STREET
19	...	...	...	ARMADALE STREET
20	...	...	...	ARMADALE STREET
21	...	...	...	ARMADALE STREET
22	...	...	...	ARMADALE STREET
23	...	...	...	ARMADALE STREET
24	...	...	...	ARMADALE STREET
25	...	...	...	ARMADALE STREET
26	...	...	...	ARMADALE STREET
27	...	...	...	ARMADALE STREET
28	...	...	...	ARMADALE STREET
29	...	...	...	ARMADALE STREET
30	...	...	...	ARMADALE STREET
31	...	...	...	ARMADALE STREET
32	...	...	...	ARMADALE STREET
33	...	...	...	ARMADALE STREET
34	...	...	...	ARMADALE STREET
35	...	...	...	ARMADALE STREET
36	...	...	...	ARMADALE STREET
37	...	...	...	ARMADALE STREET
38	...	...	...	ARMADALE STREET
39	...	...	...	ARMADALE STREET
40	...	...	...	ARMADALE STREET
41	...	...	...	ARMADALE STREET
42	...	...	...	ARMADALE STREET
43	...	...	...	ARMADALE STREET
44	...	...	...	ARMADALE STREET

### STORMWATER PLAN

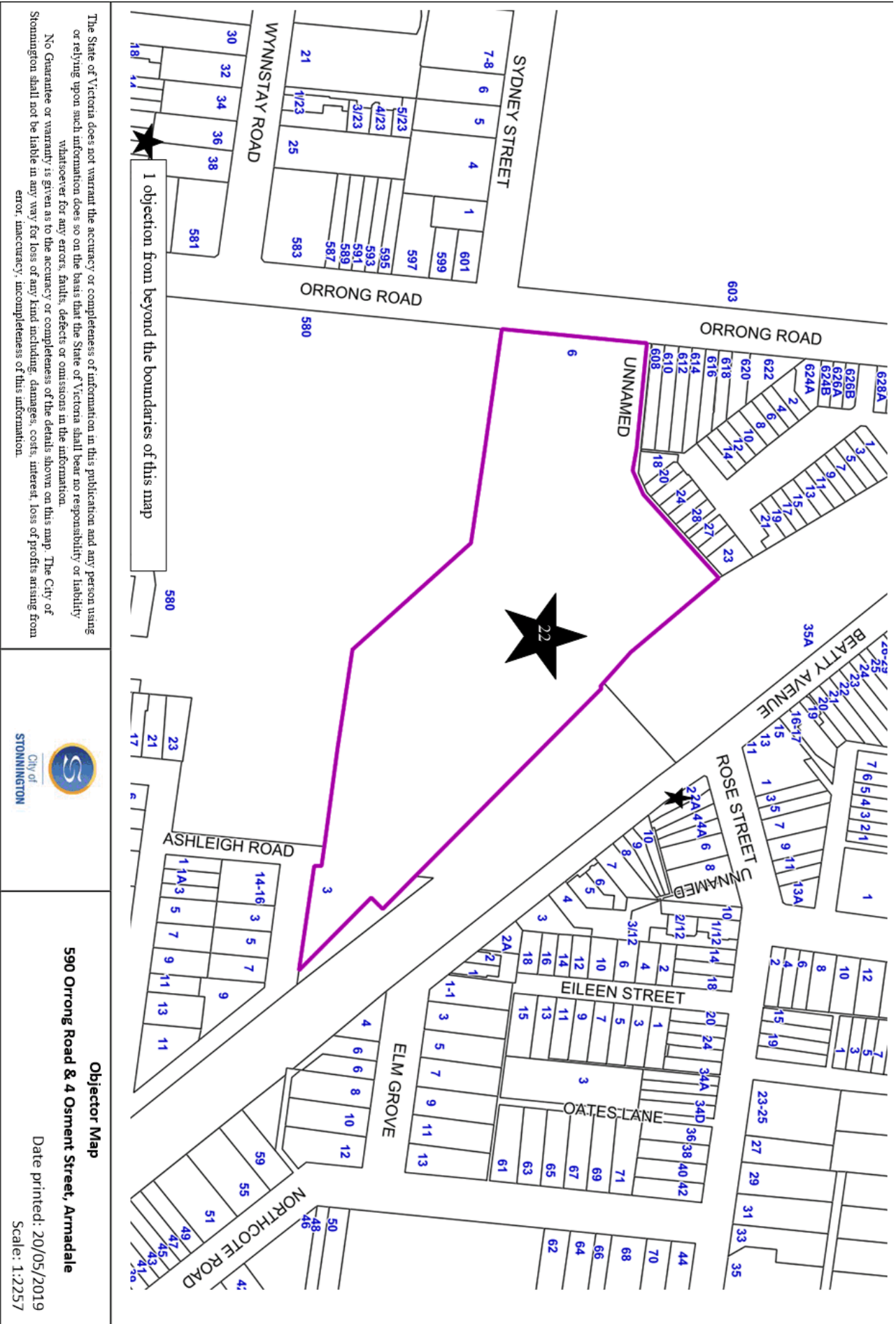
DATE: 13/03/2021  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]





Item 2

Attachment 1 PA - 725-11 - 590 Orrong Road & 4  
Osment Street Armadale - Attachment 1  
of 1







## DECLARATION FOR AMENDMENT TO AN APPLICATION TO AMEND A PERMIT

**1. Withdraw the request to change the Planning Permit application from a General Licence and pursue the use of the site as a food and drink premises in association with a 'Restaurant and Café' liquor licence.**

**2. Reduce the trading hours as follows:**

**On Premises:**

Monday to Thursday 7am and 10pm

Friday and Saturday - Between 7am and 11pm

Sunday - Between 7am and 10pm

Good Friday and Anzac Day - Between 7am and 10pm (alcohol between 12noon and 10pm)

**Outdoor Area:**

Monday to Sunday - Between - 7am and 9pm

**3. Reduce the patron capacity as follows:**

Internal restaurant – 80 patrons

External/outdoor dining area – 50 patrons

## VENUE MANAGEMENT PLAN

### Purpose of the Plan

This Venue Management Plan (VMP) is for licensed premises at 590 Orrong Road and 4 Osment Street, Armadale 3143

The VMP is intended to allow the premises to provide a high standard of amenity for any neighbouring businesses and residential properties with minimal disturbance, particularly from noise emitting from the premises itself, or from patrons leaving the premises on the amenity of the surrounding area.

The VMP is also to ensure appropriate management and control of the premise will minimise any diverse impact on the amenity of the surrounding area.

This plan is also designed to provide security and safety for management, patrons and staff.

Current and future operators will abide by, and have ownership of the VMP.

The Venue Management Plan is to form the basis of the sustainable business operation of the premises, allowing the residents and the general community within the City of Stonnington to coexist peacefully.

### Details of the Plan

#### Planning Permit Requirements

The licensee will comply with the conditions set out in the proposed Amended Planning Permit and Liquor Licence

#### Management will ensure strict compliance of the premise by ensuring:

- drunk or intoxicated patrons do not enter the premises
- no ejection is to occur without the knowledge of the Manager, who where possible, will supervise the removal of the patron
- the identity of the person being ejected will be obtained and recorded
- Management will ensure patrons enjoy the proposed facilities and will be vigilant in the monitoring of patrons to ensure that those who behave inappropriately do not allow other patrons enjoyment to be interfered with

- Management will ensure patrons involved in disputes with other patrons will be removed from the premises
- Management will ensure strict monitoring of the on-going behaviour of ejected patrons, to reduce the likelihood of patrons becoming anti-social in the vicinity of the premises

### **Patrons**

- any patron displaying signs of intoxication will be politely refused entry
- patrons that present in a drug affected manner will be refused entry

### **Signage**

- signage is displayed within the premises reminding patrons to leave the area in an orderly manner and all staff will be trained to verbally remind patrons to respect the peace and quiet of the neighbourhood when leaving the premise.
- the following approved Victorian Commission for Gambling and Liquor Regulation (VCGLR) signage is displayed on the Premise at all times.
  - **Intoxication/Drunk/Disorderly**
  - **Under 18/No Supply**
  - **Under 18/Can you Enter**

### **Incident reports**

- all complaints received from residents and patrons will be addressed and recorded in an incident register.
- an incident register be kept on the premises at all times to ensure complaints are accurately recorded and available for inspection by Management or Officers of the Victoria Police, Victorian Commission for Gambling and Liquor Regulation (VCGLR) and the City of Stonnington
- The register will be kept up to date by Management.

### **Complaints**

- a record of complaints be kept in a register by Management
- the register includes the date, time and nature of the complaint. Other information will include the name and phone number of the complainant.

**Staffing Arrangements:**

- Staff will follow Management's instruction by ensuring all amenity related complaints against the premise, its staff or its patrons are taken seriously and dealt with in a professional manner.

**Noise and Amenity:**

- Any noise associated with this operation will be in general contained within the proposed licensed area
- Staff will regularly monitor the amenity of the premise to ensure the peace and quiet of the surrounding neighbourhood is not affected

**Deliveries**

- All deliveries to and from the premise will be completed by not later than 8pm

**Lighting**

- Management will ensure the surrounding area is well lit and extends beyond the boundary of the premise during the trading hours.

**Queuing outside the premises**

- Management will ensure patrons do not que outside the premise

**Best Practise**

- Management will ensure regular meetings are conducted with all staff to ensure staff do not become complacent, and are kept up to date on managing the premise in a professional manner
- all staff employed in the supply of alcohol will be trained in Responsible Service of Alcohol (RSA)
- staff will be encouraged to follow the principles of RSA to reduce any potential problems arising from alcohol misuse and abuse
- staff support from Management at all times on assessing patrons who may be intoxicated
- Management will stay up to date with City of Stonnington Planning permit and VCGLR liquor licence requirements.

process under the Planning and Environment Act 1987. This information must not be used for any purpose which may breach any copyright.

15 November 2018  
201800276

Duncan Conley  
Email [duncan@thetractor.com.au](mailto:duncan@thetractor.com.au)

Dear Duncan

LIQUOR LICENSE OCCUPANT NUMBERS FOR -  
Toorak Tractor - Shop 1, 8a Evergreen Mews, Armadale VIC 3143  
(AKA Toorak Place - 590 Orrong Rd, Armadale)

As requested, the purpose of this assessment is to evaluate the above premises to calculate the number of patrons, relating to the application for a Liquor License for Toorak Tractor - Shop 1, 8a Evergreen Mews, Armadale

For the purpose of this review the number of patrons have been calculated by usable/occupied internal areas in accordance with the accepted Liquor License Victoria (LLV) fact sheet with a ratio of 0.75m<sup>2</sup> per person and the BCA population ratios based on the use of the areas, in accordance with Clause D1.13. exit numbers and sanitary facilities available as per occupancy permit requirements under the Building Act 1993.

Based on the architectural drawing TP08, the breakdown of useable/occupied area is as follows.

Liquor License Victoria (LLV) Fact Sheet

Usable/Occupied Area	Floor Area	LLV Population Ratio (m <sup>2</sup> /person)	Number of Patrons
Ground Level (internal)	104m <sup>2</sup>	0.75m <sup>2</sup>	138
Ground Level (external)	67m <sup>2</sup>	0.75m <sup>2</sup>	89

BCA Population According to Use

Usable/Occupied Area	Floor Area	BCA Population Ratio (m <sup>2</sup> /person)	Number of Patrons
Ground Level (internal)	105m <sup>2</sup>	1m <sup>2</sup>	105
Ground Level (external)	67m <sup>2</sup>	1m <sup>2</sup>	67

BCA Population according to Exits Provided

Width of Egress - 275 persons

BCA Population based on Sanitary Facilities Provided

Toilet Numbers - 100 persons (within the tenancy)

Toilet Number - 150 persons (communal facilities)

Please do not hesitate to contact me if you have any questions in relation to the above.

Yours faithfully,



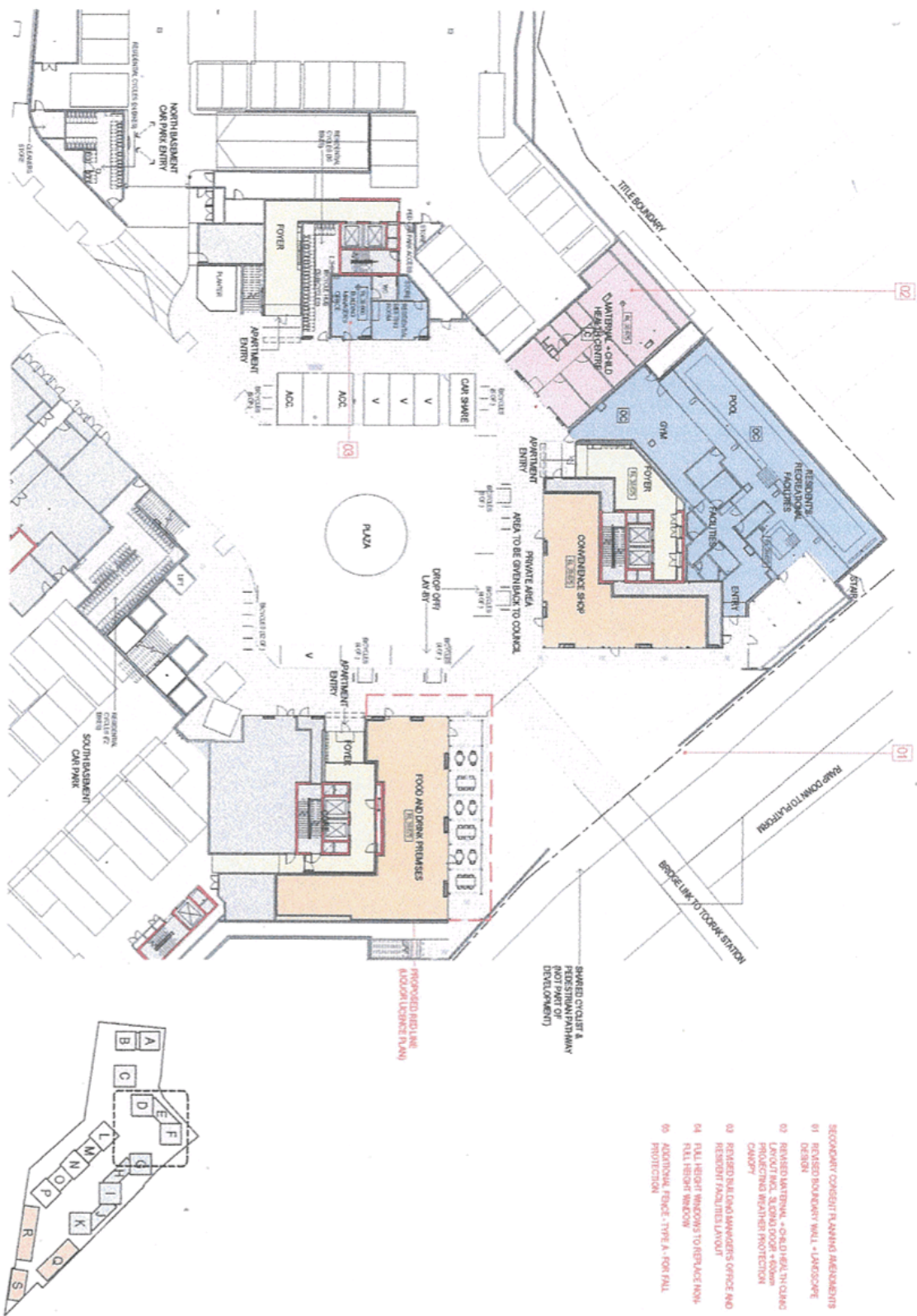
Viviana Floreancig  
Director - Floreancig Smith Building Surveyors  
Registered Building Surveyor - BS - U14812

31 dover street, cremorne vic 3121

p +61 3 9429 7798 f +61 3 9429 9868 www.floreancigsmith.com.au abn: 11409776455

- ONE STOREY CONCRETE
- TWO STOREY CONCRETE
- OWNER'S CORPORATION
- VISITOR PARKING SPACE
- ACCESSIBLE PARKING SPACE
- STORAGE
- OFFICE
- COMMON

7404	SK 002	REV 6	DENTON CORKER MARSHALL	TOORAK PARK LEND LEASE	PLANNING APPLICATION OCTOBER 2016 PLAZA PLAN
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- 01 SECONDARY CONCEPT PLANNING REQUIREMENTS
- 02 REVERSED BOOKERLY WALL - LANDSCAPE DESIGN
- 03 REVERSED LANTERN - CHILD HEALTH Q&A LAYOUT INCL. SIGNAGE DOOR + ROOM PROJECTING WEATHER PROTECTION CANOPY
- 04 REVERSED BUILDING MANAGERS OFFICE AND REVERSED FACILITIES LAYOUT
- 05 FULL HEIGHT WINDOWS TO REPLACE NOW FULL HEIGHT WINDOW
- 06 ADDITIONAL FENCE TYPE A - FOR FALL PROTECTION



# PLANNING PERMIT

Planning Scheme: Stonnington  
Responsible Authority: City of Stonnington

Planning Permit No. 0725/11 – Corrected

## ADDRESS OF THE LAND:

590 ORRONG ROAD & 4 OSMENT STREET, ARMADALE

## THE PERMIT ALLOWS:

USE AND STAGED DEVELOPMENT OF THE LAND FOR DWELLINGS, CONVENIENCE SHOP, FOOD AND DRINK PREMISES (CAFÉ), AND MATERNAL HEALTH CENTRE. ALTERATION TO ACCESS TO LAND IN A ROAD ZONE CATEGORY 1, REDUCTION IN THE CAR PARKING REQUIREMENT, VARIATION TO THE CAR PARKING DESIGN STANDARDS, REMOVAL OF NATIVE VEGETATION, WAIVER OF LOADING REQUIREMENTS, AND SALE OR CONSUMPTION OF LIQUOR FROM THE FOOD AND DRINK PREMISES (CAFE) IN ACCORDANCE WITH THE ENDORSED PLANS AND SUBJECT TO THE FOLLOWING CONDITIONS.

## THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

### *Amended plans*

1. Before the first stage of the use and development starts, three copies of plans drawn to scale and fully dimensioned, must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be generally in accordance with the plans amended by the Victorian Civil and Administrative Tribunal in Proceeding P333/2012 and identified as the 169-page book of drawings entitled *Design Report Volume 2 - Amended* prepared by Denton Corker Marshall Architects and dated 2 April 2012, but modified to show to the satisfaction of the Responsible Authority:

#### *Staging*

- a) Details of the staging of the development.

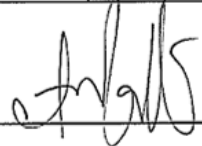
#### *Victory Square*

- b) A pedestrian path no less than 1.5 m wide between Building R and the boundary of Victory Square reserve. The boundary of private open space to the dwellings in Building R must be modified accordingly. The path must connect to the path shown between the buildings in the Park Precinct and Toorak Park (to the west) and to Ashleigh Road and Osment Street (to the east). The boundary between Victory Square reserve and the path on the subject land must be suitably fenced.

#### *Entry boulevard*

- c) Detail of the entry boulevard to provide for the construction of footpaths and a tree

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lined streetscape.

### *Access to open spaces from adjoining paths*

- d) Gated access between the western village green and the adjoining path between Toorak railway station and Orrong Road.

### *Building materials*

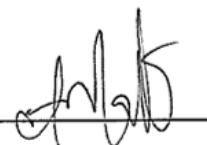
- e) A statement of design intent that sets out a description of external cladding, colours, finishes (with samples, as appropriate); detailing of important junctions between materials, of edges and corners, of framing to openings, of balcony balustrades and of fencing; and methods of application, where relevant to the final finishes.

### *Basements*

- f) Basement layouts dimensioned and complying with the design requirements of Australian Standards or otherwise to the satisfaction of the Responsible Authority and generally in accordance with the design comments in Annex 1 of the report of Mr Stephen Hunt of Cardno Victoria Pty Ltd dated 11 May 2012. This includes, but is not limited to, car spaces and motorcycle spaces, circulation roadways/internal ramps, access aisles, signage, location of wheel stops, columns, sight distances within the car park and at the property boundaries, headroom within the basements and ramp gradients.
- g) Longitudinal sections of all ramps within the development provided as per the Australian Standards to reduce scraping from the B85 design vehicle and generally in accordance with the design comments in Annex 1 of the report of Mr Stephen Hunt of Cardno Victoria Pty Ltd dated 11 May 2012. If a ramp connects to an internal roadway, the longitudinal section should extend from the far side of the footpath to the parking area. Longitudinal sections must show all proposed grades, all length of grades and all levels.
- h) Minimum widths of lift foyers (including in basements) of 2.1 m.
- i) Minimum widths of corridors of 1.5 m generally and of corridors opposite dwellings of 1.8 m.
- j) All necessary changes to provide adequate sight lines at the top and bottom of the internal ramps in the northern basement including, if necessary, modifications to the lift core of Building C.
- k) Meter or sub-station doors that do not open outwards into the northern basement access road.
- l) All tandem car parking spaces no less than 10.3 m long.

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- m) All car parking spaces located next to walls or other obstructions no less than 2.9 m wide.
- n) A pedestrian link to and from visitor car spaces in level 1 of the southern basement.
- o) A loading dock or loading bay in one of the two basements.

### *Bicycle parking*

- p) All bicycle spaces designed having regard to the relevant design requirements. Manufacturer's specifications of any proposed units must be submitted clearly showing locations as well as relevant design details and dimensions.

### *Garage or carport spaces*

- q) All non-basement, non-tandem car spaces in a garage or a carport (or otherwise constrained by a wall) no less than 6 m long and either 3.5 m wide for a single space or 5.5 m wide for a double space. All dimensions must be measured from inside the garage or carport. Bins stored in garages or carports must not reduce any of the above dimensions.
- r) All non-basement tandem car spaces in a garage or a carport (or otherwise constrained by a wall) no less than 10.3 m long and 3.5 m wide. All dimensions must be measured from inside the garage or carport. Bins stored in garages or carports must not reduce any of the above dimensions.

### *Uncovered at-grade parking*

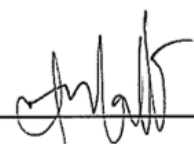
- s) Internal uncovered at-grade parking arrangements dimensioned and complying with the design requirements of Australian Standards or otherwise to the satisfaction of the Responsible Authority. This includes, but is not limited to, car space and motorcycle spaces, signage, and location of wheel stops.

### *Overlooking*

- t) Screening of a habitable room window or deck of any dwelling if the window or deck overlooks, within a 9 m radius, a habitable room window or the secluded private open space of a dwelling adjoining the subject land to meet Standard B22 of Clause 55.04-6 of the Stonnington Planning Scheme.
- u) Details of design, height and location of privacy screens between balcony areas of each dwelling.

### *Storm water*

- v) Provision of a storm water harvesting facility on the land.

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### *Internal access to eastern village green*

- w) A secured internal pedestrian access from the lift core at the ground level of Buildings G and I to the eastern village green.

### *Osment precinct dwelling windows*

- x) The horizontal window treatments in the eastern or south-eastern facing walls of Buildings Q, R and S in the Osment precinct replaced with vertical window forms.

### *Plaza*

- y) Deletion of the 90 degree parking spaces at the northern and eastern end of the roundabout in the plaza and their replacement with parallel parking for railway station drop offs and pick ups, provided no less than five car spaces are retained for other purposes, including for the maternal health centre, food and drink premises (café) and convenience shop.
- z) Setting aside one of the car spaces in the plaza for car share purposes.

### *Path lighting*

- aa) Lighting of the northern path from Orrong Road to Toorak railway station and lighting of the eastern path from Toorak railway station to Osment Street.

### *Landscape plan*

- bb) Any changes necessary to be consistent with the approved landscape plan, including but not limited to fences and planter boxes abutting open spaces in specified areas on the land.

### **Endorsed plans**

2. All use and development must be in accordance with the endorsed plans. The endorsed plans may be amended only with the written consent of the Responsible Authority.

### **Realisation of design quality**

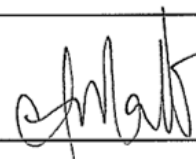
3. Denton Corker Marshall architects or an architectural firm approved by the Responsible Authority must be engaged to complete the design shown in the plans endorsed under condition 1 and to oversee construction to ensure that the design quality and appearance of the development is realised.

### **Trading hours**

4. The trading hours of the convenience shop are restricted to 7 am to 9 pm daily, except with the written consent of the Responsible Authority.

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5. The trading hours of the food and drink premises (café) are restricted to 7 am to 7 pm daily, except with the written consent of the Responsible Authority.

### **Alcohol**

6. Alcohol may be sold or consumed on the licensed premises only between the hours of 7 am and 7 pm each day, except with the written consent of the Responsible Authority.

### **Landscaping**

7. Before the first stage of the use and development starts, a landscape plan prepared by a landscape architect or a suitably qualified or experienced landscape designer must be submitted to and approved by the Responsible Authority. The landscape plan must be drawn to scale with dimensions and three copies must be submitted. The landscape plan must be generally in accordance with the landscape concept plan prepared by Tract Consultants and dated 10 April 2012 but modified to show to the satisfaction of the Responsible Authority—
- a) Existing trees, buildings and hard paved surfaces on adjoining land within 3 m of the subject land.
  - b) Landscaping works to be completed for each stage of the development shown on the plans endorsed under condition 1.
  - c) Increased use of deciduous trees in open space areas including the plaza and the central green.
  - d) Maximum fence height of 1.4 m (measured externally) for the secluded private open space of each ground floor dwelling.
  - e) Details of communal open space areas.
  - f) Open fencing to the railway reserve generally in accordance with the type A treatment in the amended plans referred to in condition 1.
  - g) Details of the southern pedestrian ramp along the boulevard which must be designed to protect the health of trees located on the boundary with Toorak Park and which must provide for excavation of existing levels by no more than 70 mm.
  - h) No excavation within 1.3 m of the south boundary with Toorak Park.
  - i) Details of the retaining wall treatment required to preserve existing levels within this 1.3 m wide area and to ensure no battering down on existing levels within this 1.3 m wide area.
  - j) The retaining wall opposite tree 12, as identified in the report prepared by *Treeologic*

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*Pty Ltd* and dated August 2011, to be at least 1.7 m off the boundary.

- k) Details of the soil type, irrigation system and any other measures necessary to ensure successful establishment of any trees planted on structure.
- l) Any changes necessary to implement any recommendations of the approved wind management plan.
- m) A survey (including botanical names) of all existing vegetation to be retained and/or removed.
- n) Details of surface finishes of paths and driveways.
- o) A planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, expected sizes at maturity, and quantities of each plant.
- p) The extent of any cut, fill, embankment or retaining walls associated with the landscape treatment of the land.
- q) Details of all proposed hard surface materials including paths, patio or decked areas.
- r) Remedial treatment and management of trees on land adjoining the subject land generally in accordance with paragraph 6.12 of the report prepared by *Treelogic Pty Ltd* and dated August 2011.

When approved, the landscape plan will be endorsed and will then form part of the permit.

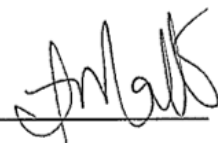
- 8. Before the occupation of any dwelling in a specified stage of the development, the landscaping works required for that stage must be carried out and completed to the satisfaction of the Responsible Authority. Landscaping for that stage must then be maintained to the satisfaction of the Responsible Authority, including replacement of any dead, diseased or damaged plants.
- 9. From the date it is completed and available for use, the central green between the Osment triangle and the plaza must be available for public access at all times during daylight hours.

### **Drainage**

- 10. Drainage must be provided at the owner's cost for all stages of the development to the satisfaction of the Responsible Authority. A detailed drainage design and associated computations must be prepared by a suitably qualified engineer and submitted to the Responsible Authority for approval. The design must include details of 1 in 100 year overland flow paths through the development that will be required to protect the

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development.

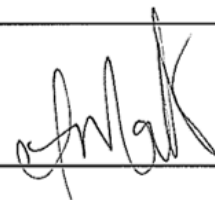
11. The drainage works for each stage of the development must be completed in accordance with the plans approved by the Responsible Authority under the supervision and to the satisfaction of the Responsible Authority.
12. A report for the legal point of discharge must be obtained from the Responsible Authority and a drainage design for the internal drainage for each stage of the development must be prepared by a suitably qualified engineer in accordance with that report before a building permit for any buildings in that stage being issued. The drainage works must be constructed in accordance with the engineer's design.

## Roads

13. Before the first stage of the use and development starts, a design plan for the boulevard off Orrong Road and for the internal driveway off Osment Street must be prepared to the satisfaction of the Responsible Authority. The design plan must include all relevant design details including longitudinal sections, cross sections and drainage design.
14. Before the first stage of the use and development starts, a detailed functional layout of the proposed signalised intersection at the access point to Orrong Road must be submitted to and approved by VicRoads and the Responsible Authority. The plans must be generally in accordance with the plan prepared by GTA Consultants Pty Ltd entitled *Proposed Intersection Concept Design Signalised Intersection – Option A2* drawing no. JM13452-05P5 and dated 5 April 2012 but modified to remove the left turn slip lane in Sydney Street.
15. Before the first stage of the use and development starts, a detailed staging plan for the construction of the signalised intersection and any associated works, including removal of the existing pedestrian operated signals in Orrong Road, must be submitted to and approved by VicRoads and the Responsible Authority. All works must be carried out in accordance with the times specified in the staging plan.
16. Before any works, including intersection works, on Orrong Road start, a detailed engineering design must be prepared generally in accordance with the approved detailed functional layout plan and to the satisfaction of VicRoads.
17. The preparation of the detailed engineering design and the construction and completion of all work must be undertaken in a manner consistent with current VicRoads' policy, procedures and standards and at no cost to VicRoads. In order to meet VicRoads' requirements for these tasks the owner of the subject land will be required to comply with the requirements documented as *Standard Requirements – Developer Funded Projects* and any other requirements considered necessary depending on the nature of the works.

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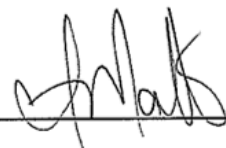
18. No works must start in, on, under or over the road reserve of Orrong Road without having first obtained all necessary approvals under the *Road Management Act 2004*, the *Road Safety Act 1986*, any other relevant Act, or Regulations created under those Acts.
19. The existing pedestrian operated signals in Orrong Road must be removed in accordance with the approved detailed staging plan and to the satisfaction of the Responsible Authority.
20. All redundant crossovers to the subject land in Orrong Road and the roadway and kerb must be reinstated to the satisfaction of the Responsible Authority.
21. The construction of a road on the land (an internal road), including the boulevard and plaza, must be started and completed in accordance with the staging plan approved under condition 1 and within the periods and by any dates, if specified.
22. Before construction starts of an internal road, the owner must prepare a fully detailed engineering plan for the internal road and submit that plan for the approval by the Responsible Authority. This plan must clearly show that the abutting development, including the basements, is fully protected from any overland flow that can be expected from the road. The internal road must be constructed in accordance with an approved detailed engineering plan and to the satisfaction of the Responsible Authority. All necessary works, including drainage, must be constructed at the cost of the owner.
23. If the construction of an internal road must be completed for a particular stage under the staging plan approved under condition 1, no buildings in that stage requiring access from the internal road may be occupied or used until all works required by the approved detailed engineering plan for the road are completed.

### ***Transport and parking***

24. By no later than the date plans are submitted for endorsement under condition 1, a traffic and parking management plan must be submitted to and approved by the Responsible Authority. The traffic and parking management plan must provide for—
  - a) Allocation of parking spaces to the maternal health centre, convenience shop and the food and drink premises (café).
  - b) Allocation of parking spaces on the plans endorsed under condition 1 to dwellings must be generally in accordance with the report of Mr Stephen Hunt of Cardno Victoria Pty Ltd dated 11 May 2012 and, in particular, a car space labelled 'small' may only be allocated as a second space (the first space being a 'typical parking bay') for a two-bedroom or three-bedroom apartment.
  - c) Allocation of no less than 67 spaces in the basement for visitors and 5 spaces in

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the Osment precinct triangle for visitors.

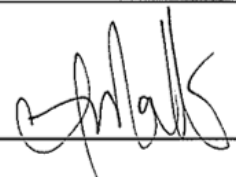
- d) Signage of parking spaces.
- e) Management and maintenance of the signage after any relevant stage of the development is completed.
- f) Line marking of parking spaces.
- g) Details of the car park security system and its operation, including any proposed access controls such as boom gates securing access to the car park.
- h) Measures to minimise possible traffic congestion, lack of safety or other adverse traffic issue and assist with the safe operation of traffic in general.
- i) Management of loading facilities on the land.
- j) How the parking controls will be enforced to ensure compliance by users.
- k) Details of measures to facilitate access between the visitor parking area in the south basement with the entry boulevard and central plaza.
- l) A statement that the owners and occupiers of a dwelling shown on the plans endorsed under condition 1 are not entitled to receive a *resident parking permit* from the Stonnington City Council.

When approved, the traffic and parking management plan will be endorsed and will the form part of the permit.

25. By no later than the date plans are submitted for endorsement under condition 1, a waste management plan must be submitted to and approved by the Responsible Authority. The waste management plan must be generally in accordance with the revised waste management plan prepared by Leigh Design Pty Ltd dated 16 November 2011 and must include or specify—
- a) The location and dimensions of waste areas.
  - b) The number of bins to be provided.
  - c) The method of waste and recyclables collection, including details of the route(s) that bins will be hauled in order to facilitate the eventual method of waste collection.
  - d) The hours of waste and recyclables collection that correspond with the Council's Local Laws.
  - e) The method of waste and recyclables collection.

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- f) The strategies for minimising the generation of waste and recyclables from the development.
- g) If required to ensure acceptable waste collection, sufficient headroom in the basement to allow the passage of waste collection vehicles.
- h) If required to ensure acceptable waste collection, sufficient turning circles for the waste collection vehicles to drive out in forward gear from within the basement(s).

When approved, the waste management plan will be endorsed and will then form part of the permit. Waste collection from the land must be in accordance with the approved waste management plan, to the satisfaction of the Responsible Authority

- 26. All garbage collected from the land must be managed and conducted so as to not adversely affect the amenity of the locality by reason of appearance or odour emission.
- 27. Except as permitted by the approved waste management plan, all storage and collection of garbage and other solid wastes must occur within the curtilage of the land. This area must be properly graded and drained and screened from public view to the satisfaction of the Responsible Authority.

### **Wind**

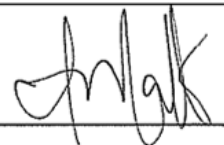
- 28. By no later than the date plans are submitted for endorsement under condition 1, a wind management plan must be submitted to and approved by the Responsible Authority. The wind management plan must identify how the development will ensure satisfactory wind conditions and identify measures that are required to ensure satisfactory wind conditions. For the purpose of this condition, satisfactory wind conditions are those that apply to the environmental wind criteria proposed in the document *Environmental Wind Speed Measurement on a Wind Tunnel Model of 590 Orrong Road* prepared by MEL Consultants and dated July 2011.
- 29. When approved, the wind management plan will be endorsed and then form part of the permit. The development of each stage must incorporate any recommended measures for that stage to the satisfaction of the Responsible Authority.

### **Environmental audit**

- 30. After the carrying out of any remediation works that may be required, and before a residential use starts in a stage of the development or before the construction or carrying out of buildings and works in association with a stage of the development containing a residential use starts—
  - a) A certificate of environmental audit must be issued for that part of the subject land affected by the stage in accordance with Part IXD of the *Environment Protection Act 1970*, or

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b) An environmental auditor appointed under the *Environment Protection Act 1970* must make a statement in accordance with Part IXD of that Act that the environmental conditions of that part of the subject land affected by the stage are suitable for the residential use.

31. Before the occupation of any building in a stage of the development, all of the conditions of the statement of environmental audit for the land in that stage must be complied with to the satisfaction of the Responsible Authority.

### **Levels**

32. The levels of any of the surrounding footpaths, laneways and adjoining park land must not be altered or lowered in any way to facilitate the development without prior written consent from the relevant authority.

### **Services**

33. Any poles, service pits or other structures/features on a footpath or a road, including Orrong Road, that must be relocated to facilitate the development must be relocated at the cost of the owner and subject to the relevant authority's consent.

### **Plant noise**

34. Noise from any air extraction fans, air conditioning and all other plant and equipment installed on the land must not exceed noise levels required to be met under any relevant State Environmental Protection Policy. Ventilation systems must be designed and installed in accordance with relevant Australian Standards or be to the satisfaction of the Responsible Authority.

### **External lighting**

35. Any external lighting must be designed, baffled and located to suitably manage any adverse effects on adjoining land to the satisfaction of the Responsible Authority.

### **Utility services**

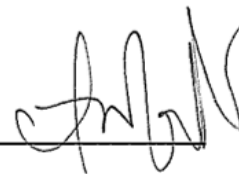
36. Before the development in any stage is completed, all utility services to the subject land and buildings approved as part of that stage must be provided underground to the satisfaction of the Responsible Authority.

### **Access to or encroachment over Council land**

37. Other than as permitted by the plans endorsed under condition 1, no access (pedestrian or vehicular) to or encroachment over adjoining land in Council ownership or control (including Toorak Park and Victory Square) must be provided from the subject land.

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## ***Disability access***

38. By no later than the date plans for a stage of the development are submitted for endorsement under condition 1, a disability access management plan must be submitted to and approved by the Responsible Authority. The disability access management plan must be prepared by a suitably qualified person and must satisfy the relevant Australian Standards and laws. The disability access management plan must be generally in accordance with the report prepared by MGAC dated 13 December 2011 and include details on, but not be limited to—

- a) Access to the development for persons with a disability.
- b) Parking for people with disabilities, including layout, dimensions and total number needed for the development.
- c) External paths of travel.
- d) Ramps and stair design.
- e) Access to all public areas.

When approved, the disability access management plan will be endorsed and will then form part of the permit.

39. Before a building in any stage is occupied, access for persons with disabilities must be provided for the building in compliance with the *Disability Discrimination Act 1992 (Cth)* and such access must be maintained at all times the building is occupied or in use.

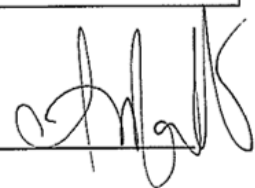
## ***Construction management***

40. Before any buildings and works in a stage start, a construction management plan for that stage must be submitted and approved by the Responsible Authority. The construction management plan for that stage must include details on how the construction will be undertaken so it has minimal impact on the environment. Details to be provided in the construction management plan will include, but are not limited to—

- a) The stage of the development to which the construction management plan relates.
- b) A dilapidation report of existing buildings and works for land in the stage and of existing roads (including footpaths) managed by the Council that abut land in the stage.
- c) Full work schedule/construction management plan for the stage to ascertain impacts on surrounding land.
- d) Public/worker access and safety issues.

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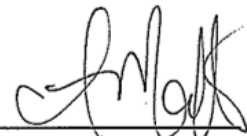
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- e) Hours of construction activity (including when out-of-hours works are proposed and what type of works are to be conducted outside the hours of operation).
- f) The location of hoardings, hoists and workers amenities.
- g) Storage of building materials and waste and material stockpiles.
- h) The location of public precautions, loading zones, site sheds, materials, cranes and crane/hoisting zones, gantries and any other construction related items or equipment to be located in any street.
- i) The provision of a traffic management plan, including detailed plans that show all items to be placed on any street during construction in that stage in accordance with approval by the responsible Building Surveyor, entry and exit points for construction vehicles (including temporary and permanent vehicle crossings), traffic management during construction including any temporary roads, road closures/road occupation/footpath closures, work zones/construction zones to accommodate vehicles and deliveries.
- j) Service connections/road and footpath openings and anticipated impact on public land during the connection of different services.
- k) Means of vehicular access to the land in relation to the work required for any particular stage of development, together with hours of access.
- l) Measures to be taken to protect the Council's infrastructure from damage.
- m) Existing services and environmental management.
- n) A list of all environmental hazards that the activities on-site pose, including but not limited to contaminated soil, materials and waste, dust, stormwater contamination from run-off and wash-waters, sediment from the site on roads, construction noise, hours of operation, vibration, washing of concrete trucks and other vehicles and machinery, spillage from refuelling cranes and other vehicles and machinery.
- o) Protection measures that will be undertaken to minimise the risk of the listed environmental hazards.
- p) Regular monitoring/inspections of the above protection measures.
- q) Identification of who will be responsible for managing compliance with the construction management plan.

When approved, the construction management plan for the stage will be endorsed and will then form part of the permit. The owner must comply with the approved construction management plan for the stage to the satisfaction of the Responsible Authority.

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41. All buildings and works must be carried out in accordance with an approved construction management plan to the satisfaction of the Responsible Authority.
42. Any existing vehicular crossing made redundant by the building and works hereby permitted must be broken out and re-instated as standard footpath and kerb and channel at the cost of the owner/permit holder to the satisfaction of the Responsible Authority.
43. Any existing asset of the Council that is damaged during construction works by the building and works must be broken out and re-instated to the satisfaction of the Responsible Authority and at the cost of the owner.

### *Environmental sustainable design*

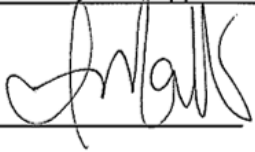
44. Before any buildings or works start, an environmentally sustainable development management plan (ESD management plan) must be submitted to and approved by the Responsible Authority. The ESD management plan must be generally in accordance with the report prepared by Norman Disney & Young dated 18 November 2011 and must address in adequate detail the following—
  - a) Energy Management.
  - b) Water Conservation and Re-use.
  - c) Demolition and Construction Waste Management.
  - d) The relevant statutory obligations and appropriate sustainability targets or performance standards.
  - e) The means by which the appropriate target or performance will be achieved.
  - f) The responsibilities and a schedule for implementation, and ongoing management, maintenance and monitoring.
  - g) How the design elements, technologies and operational practices that comprise the ESD management plan can be maintained over time.

When approved, the ESD management plan will be endorsed and will then form part of the permit.

### *Acoustic*

45. Before any plans are endorsed under condition 1, an acoustic report prepared by a suitably qualified acoustic engineer must be submitted to and approved by the Responsible Authority. The report must prescribe the form of acoustic treatment to protect all dwelling occupants from external noise sources associated with the abutting rail system to achieve an internal noise level of 35dB(A)<sub>Leq</sub> and 55dB(A)<sub>Lmax</sub> in bedrooms between 10 pm and 7 am. The recommendations contained in the approved

Date Issued: 13 JULY 2012

Signature for the  
Responsible Authority: 

# PLANNING PERMIT

Planning Scheme: Stonnington  
Responsible Authority: City of Stonnington

## Planning Permit No. 0725/11 – Corrected

acoustic report must be implemented and completed and, if they are recommendations of an ongoing nature, must be implemented and maintained all to the satisfaction of the Responsible Authority.

### **Melbourne Water**

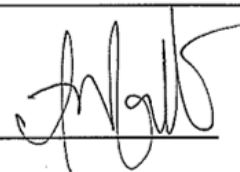
46. No polluted and / or sediment laden runoff is to be discharged directly or indirectly into Melbourne Water's drains or watercourses.

### **Public transport**

47. Before the detailed functional layout of the proposed signalised intersection at the access point to Orrong Road is approved under condition 13, the owner must enter into an agreement with the Director of Public Transport to construct by an agreed date two bus shelters/stops and associated infrastructure on both sides of Orrong Road near the subject land which comply with the *Disability Discrimination Act 1992 (Cth)*.
48. Before the development starts, the owner must obtain from the Rail Operator the conditions and safety requirements for working near an operating railway and live power feeders and must comply with those conditions and safety requirements.
49. The owner must ensure that all public transport infrastructure (including overhead power and supporting infrastructure for trains) is not damaged during the construction period. Any damage to public transport infrastructure as a consequence of the construction period must be rectified to the satisfaction of the Director of Public Transport at the full cost to the owner.
50. The owner must take all reasonable steps to ensure that disruption to train operations within the railway corridor is kept to a minimum during the construction of any stage of the development. The owner must give notice in writing to the Rail Operator and the Director of Public Transport of any foreseen disruptions to operations during the construction and of proposed mitigation measures no less than fourteen days before the construction starts.
51. No lighting is to be erected that throws light onto railway tracks or which interferes with the visibility of signals and the rail lines by train drivers.
52. Building materials (including glass/window treatments) along the rail corridor must not cause reflections and avoid using red or green colour schemes that may interfere with driver operations.
53. No drainage, effluent, waste, soil or other materials must enter or be directed to railway land or stored or deposited on railway land.
54. Permanent soil anchors must not be installed on railway land. Temporary soil anchors may be installed to the satisfaction of the Director of Public Transport.

Date Issued: 13 JULY 2012

Signature for the  
Responsible Authority: \_\_\_\_\_



# PLANNING PERMIT

Planning Scheme: Stonnington  
 Responsible Authority: City of Stonnington

Planning Permit No. 0725/11 – Corrected

**Expiry**

55. This permit will expire if one of the following circumstances applies—

- a) The first stage of the development shown on the plans endorsed under condition 1 is not started within three years of the date of this permit.
- b) The final stage of the development shown on the plans endorsed under condition 1 is not completed within eight years of the date of this permit.

The Responsible Authority may extend the periods referred to above if a request is made in writing before the permit expires or within three months afterwards.

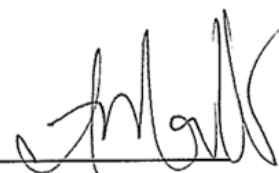
**This permit is issued in accordance with the Victorian Civil and Administrative Tribunal decision P333/2012 dated 10 July 2012.**

**THIS PERMIT HAS BEEN CORRECTED AS FOLLOWS:**

Date of Correction	Brief description of Correction
31 JUL 2012	This permit is corrected in accordance with Section 119 of <i>the Victorian Civil Tribunal Act 1998</i> to correct the following administrative error; Condition 9 was excluded from the previous VCAT order.

Date Issued: 13 JULY 2012

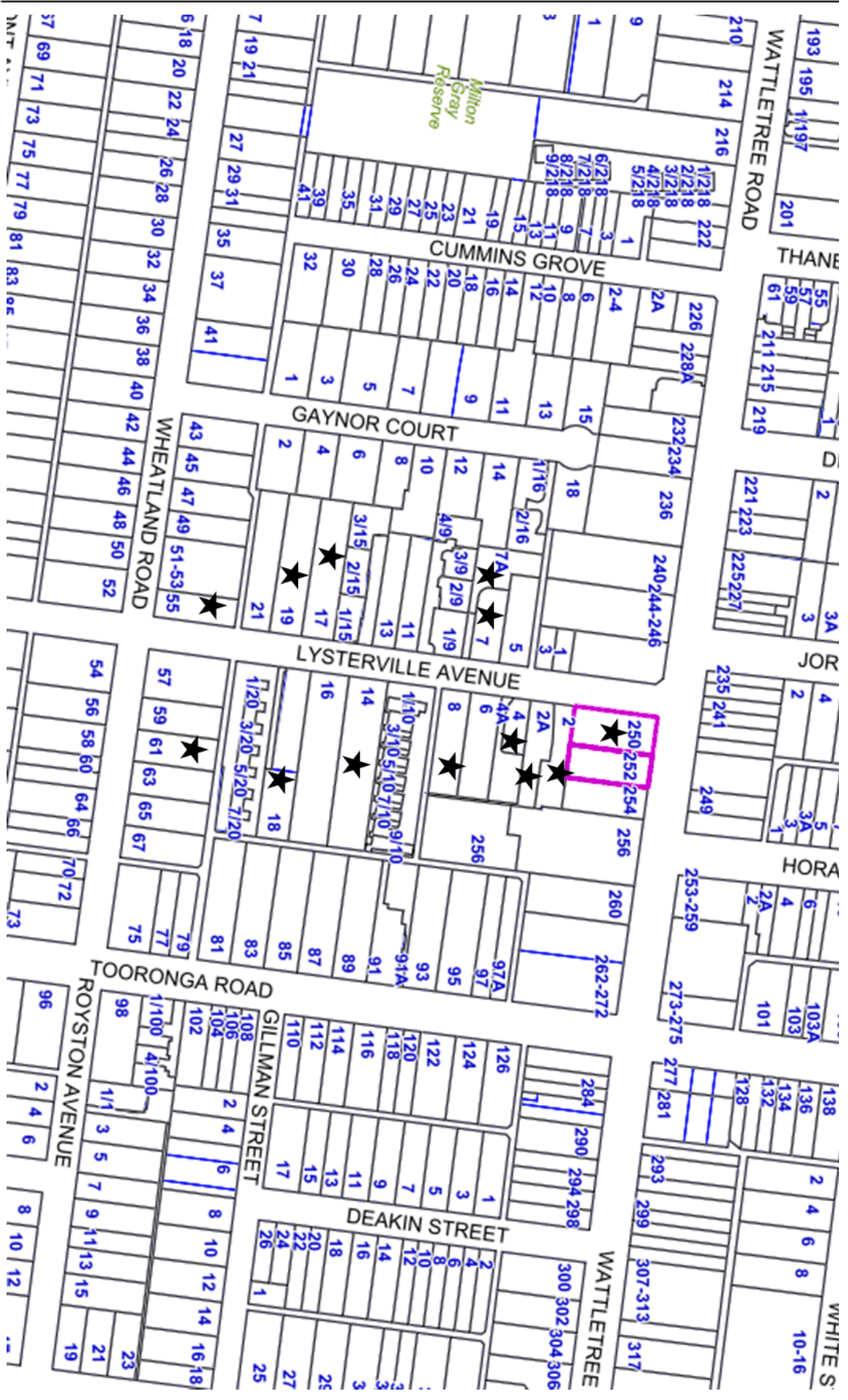
Signature for the Responsible Authority: \_\_\_\_\_



Item 3

Attachment 1 PA - 1120-18 - 250-252 Wattletree Road  
Malvern - Attachment 1 of 1





The State of Victoria does not warrant the accuracy or completeness of information in this publication and any person using or relying upon such information does so on the basis that the State of Victoria shall bear no responsibility or liability whatsoever for any errors, omissions, defects or inconsistencies in the information.

No Guarantee or warranty is given as to the accuracy or completeness of the details shown on this map. The City of Stonnington shall not be liable in any way for loss of any kind including, damages, costs, interest, loss of profits arising from error, inaccuracy, incompleteness of this information.



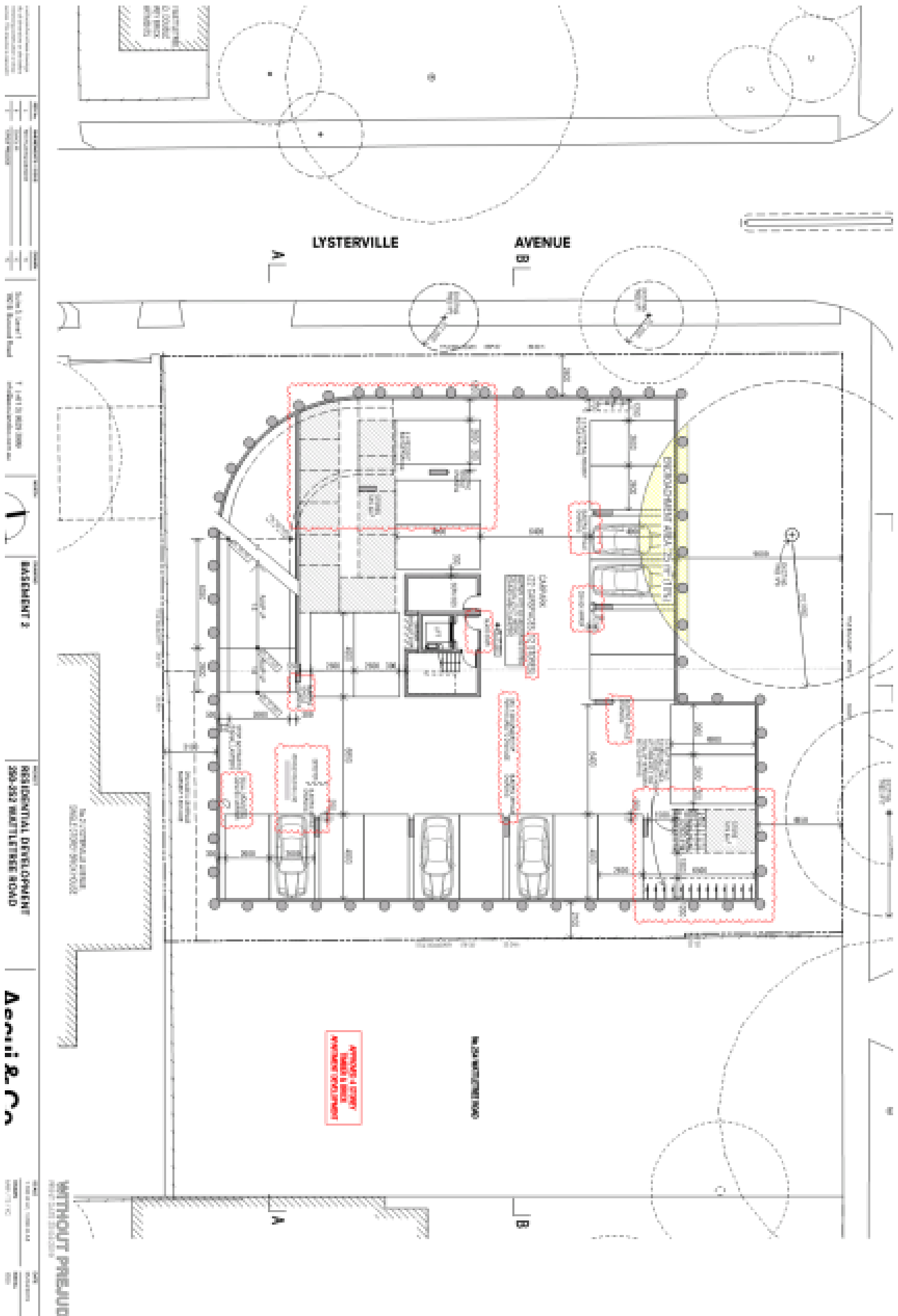
City of  
STONNINGTON

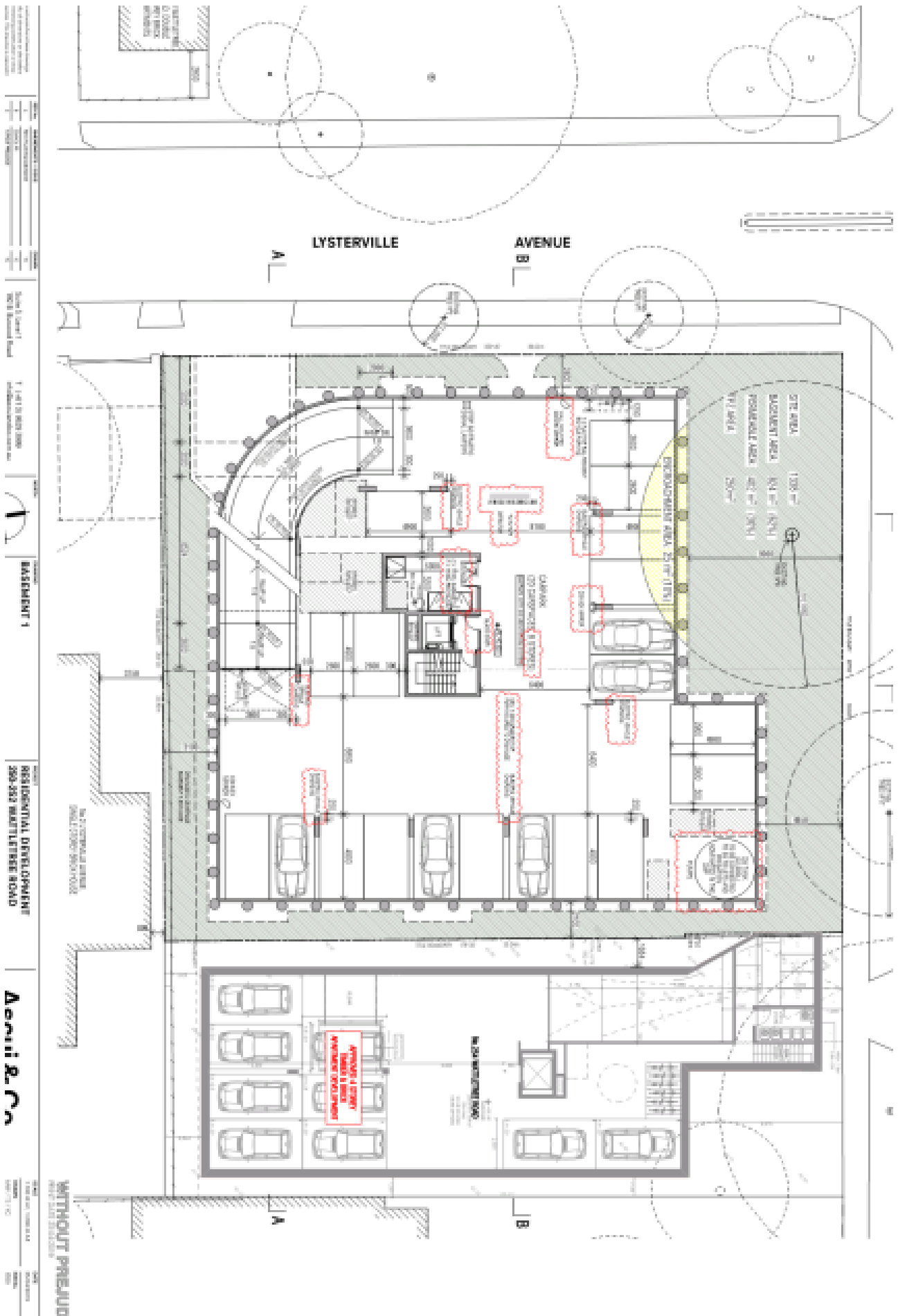
Objection



Date printed: 24/05 /2019



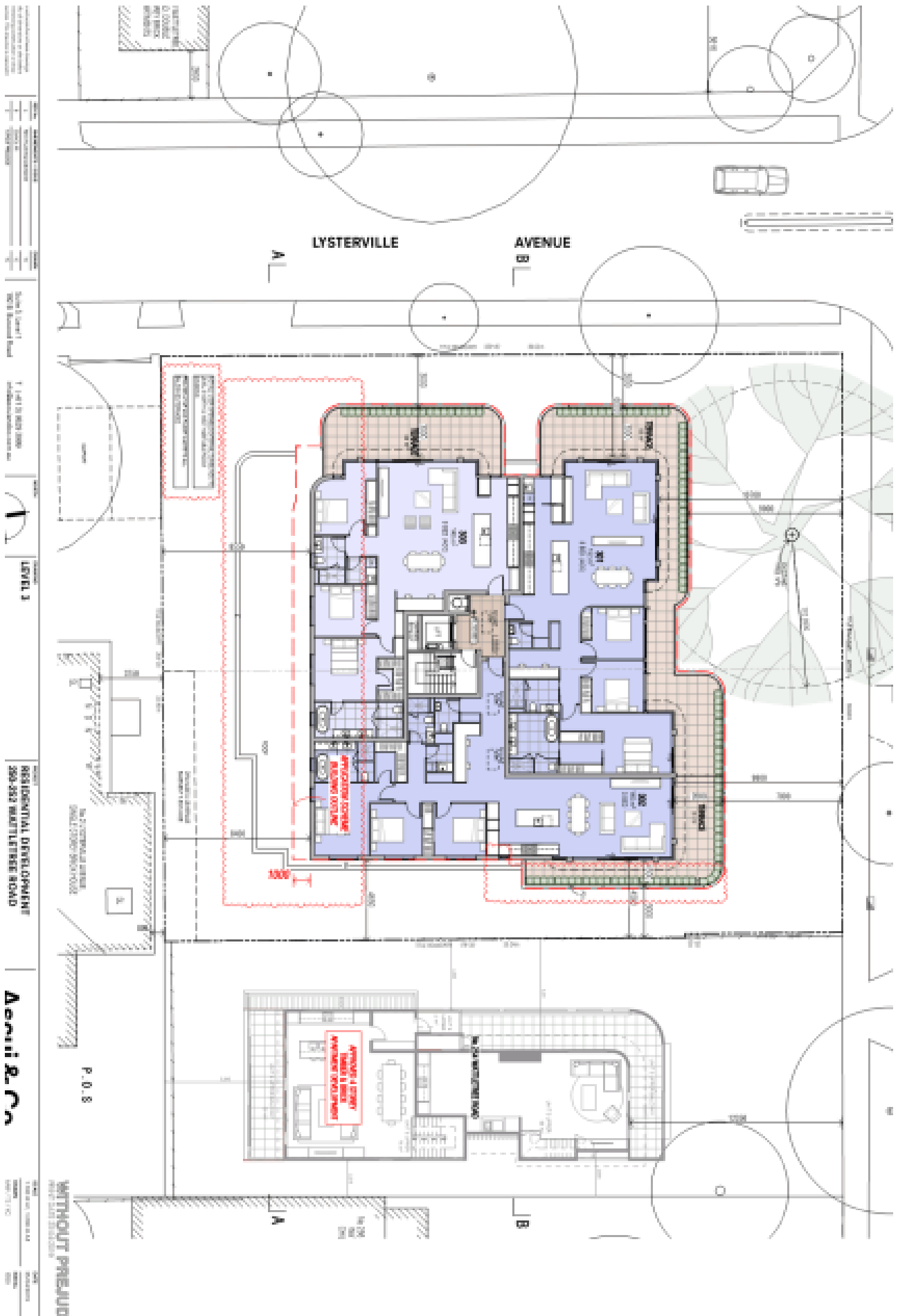




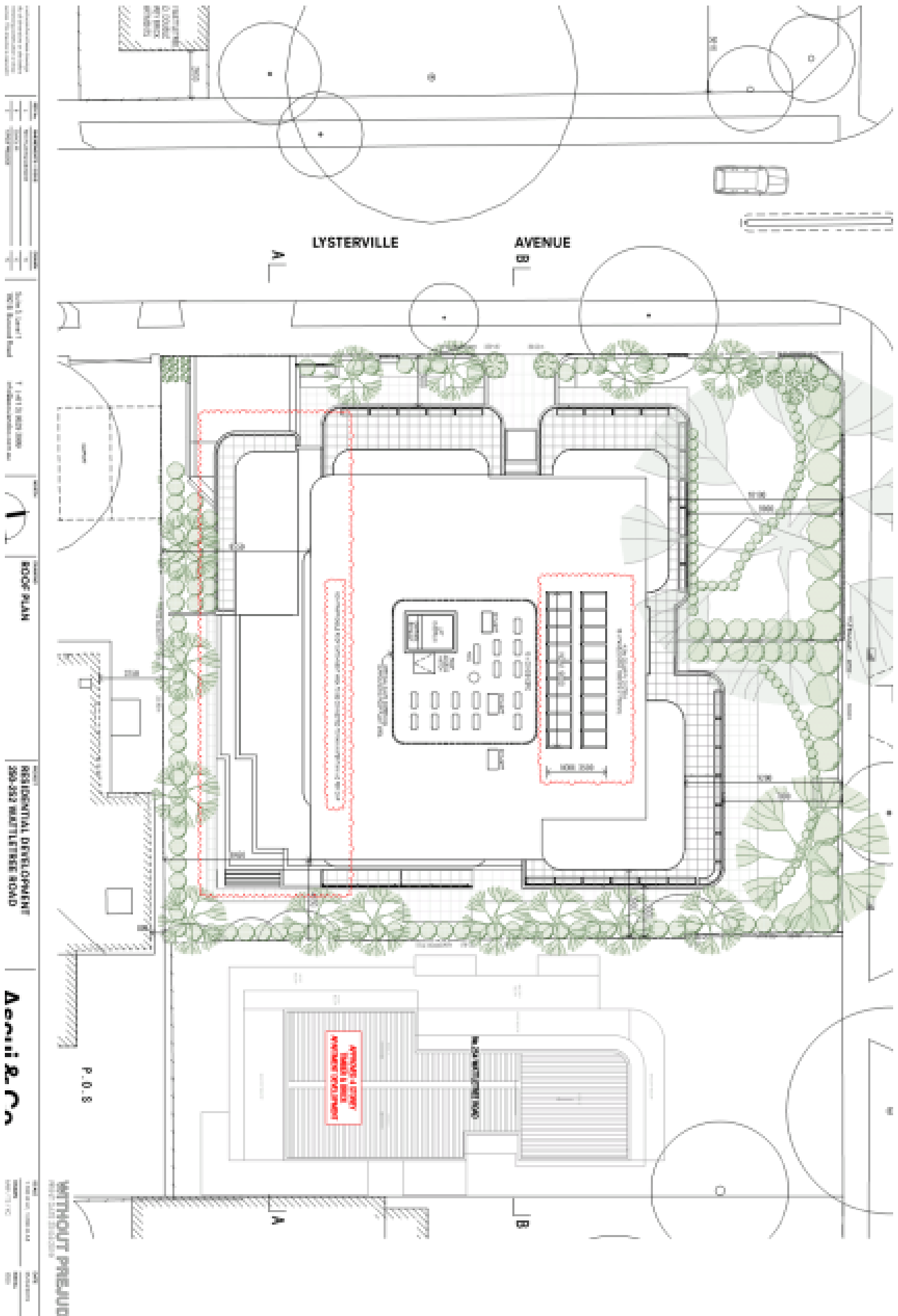














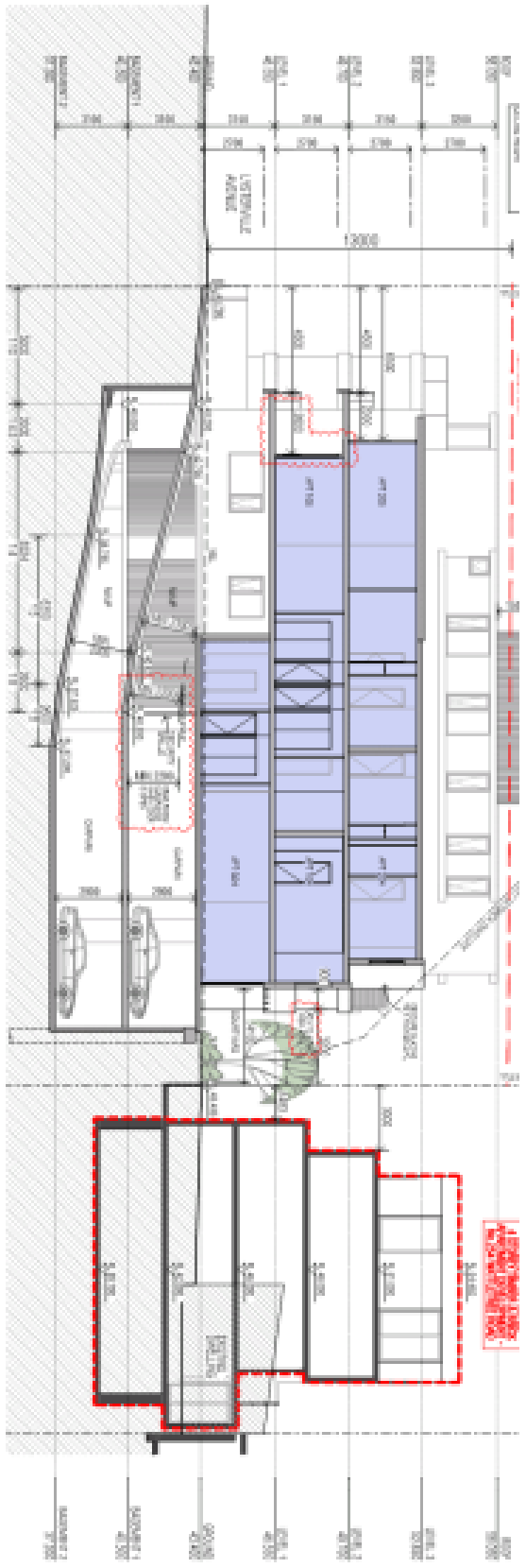


DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD		DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD
DESIGNER: AERIALI R. CO.	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD		DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD
DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD		DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD
DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD		DATE: 11/15/18	SCALE: 1/4" = 1'-0"	SECTION A & B	PROJECT: RESIDENTIAL DEVELOPMENT 250-252 WATTLETREE ROAD

SECTION B



SECTION A





DATE: 11/11/18	SCALE: 1/4" = 1'-0"	SECTION C & D	RESIDENTIAL DEVELOPMENT		DATE: 11/11/18
PROJECT: 1120-18-250-252 WATTLETREE ROAD	SCALE: 1/4" = 1'-0"	SECTION C & D	RESIDENTIAL DEVELOPMENT		DATE: 11/11/18

WITHOUT PREJUDICE









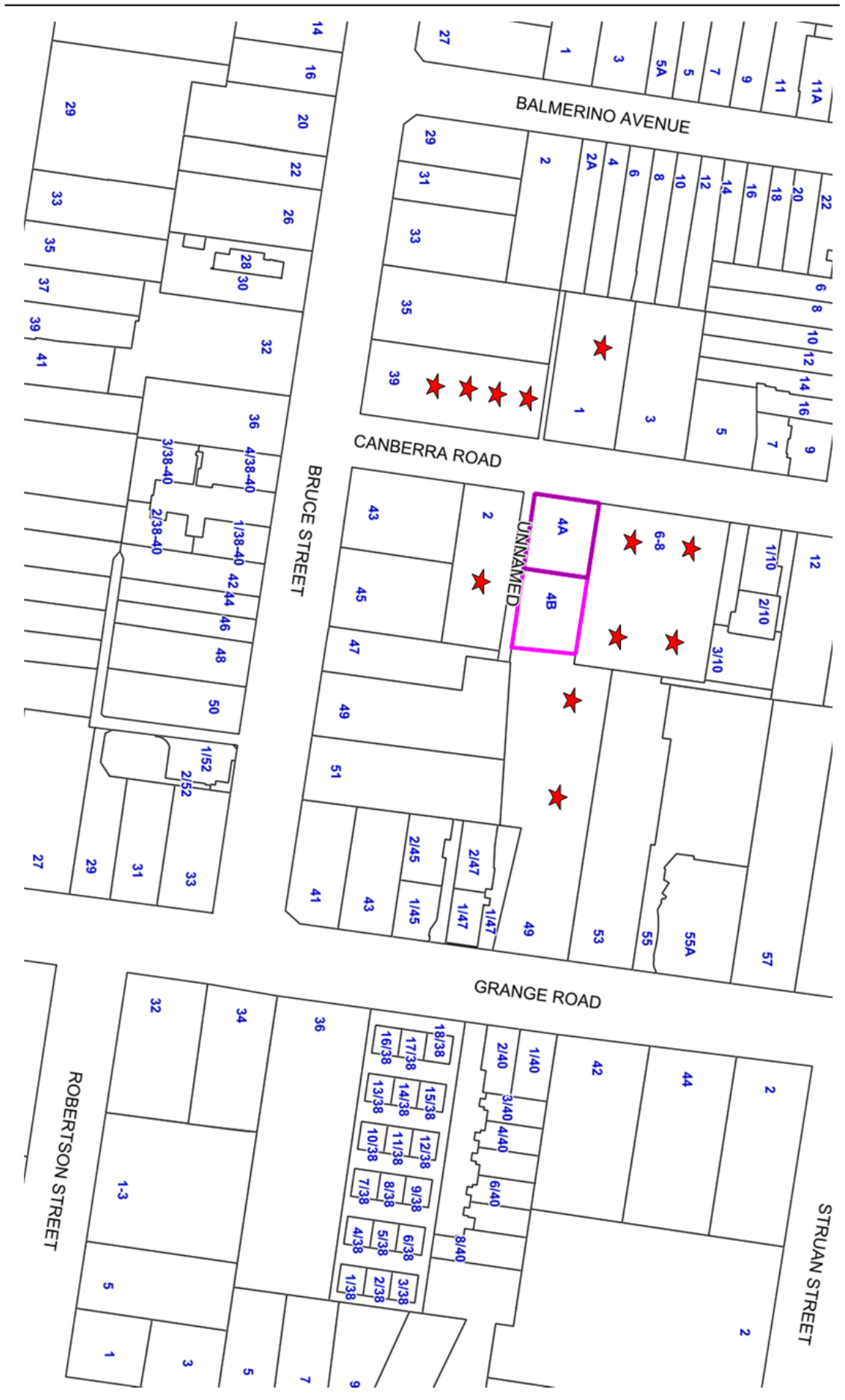






Item 4

Attachment 1 PA - 874-18 - 4A & 4B Canberra Road  
Toorak - Attachment 1 of 1



4A and 4B Canberra Road Toorak  
 ★ = Objector



# 4a & 4b Canberra Rd, Toora

## TOWN PLANNING APPLICATION

898 City Plan  
 899 Application Extension  
 900 No objection  
 901 Proposed 1:1000 Scale  
 902 Survey Conditions and Boundaries  
 903 City Engineer  
 904 Officer Use  
 905 Standard Plan  
 906 Proposed 1:1000  
 907 Land Use  
 908 Boundary  
 909 Extension - (Shed)  
 910 Extension - (Shed)  
 911 Shed - (Shed)  
 912 Shed - (Shed)  
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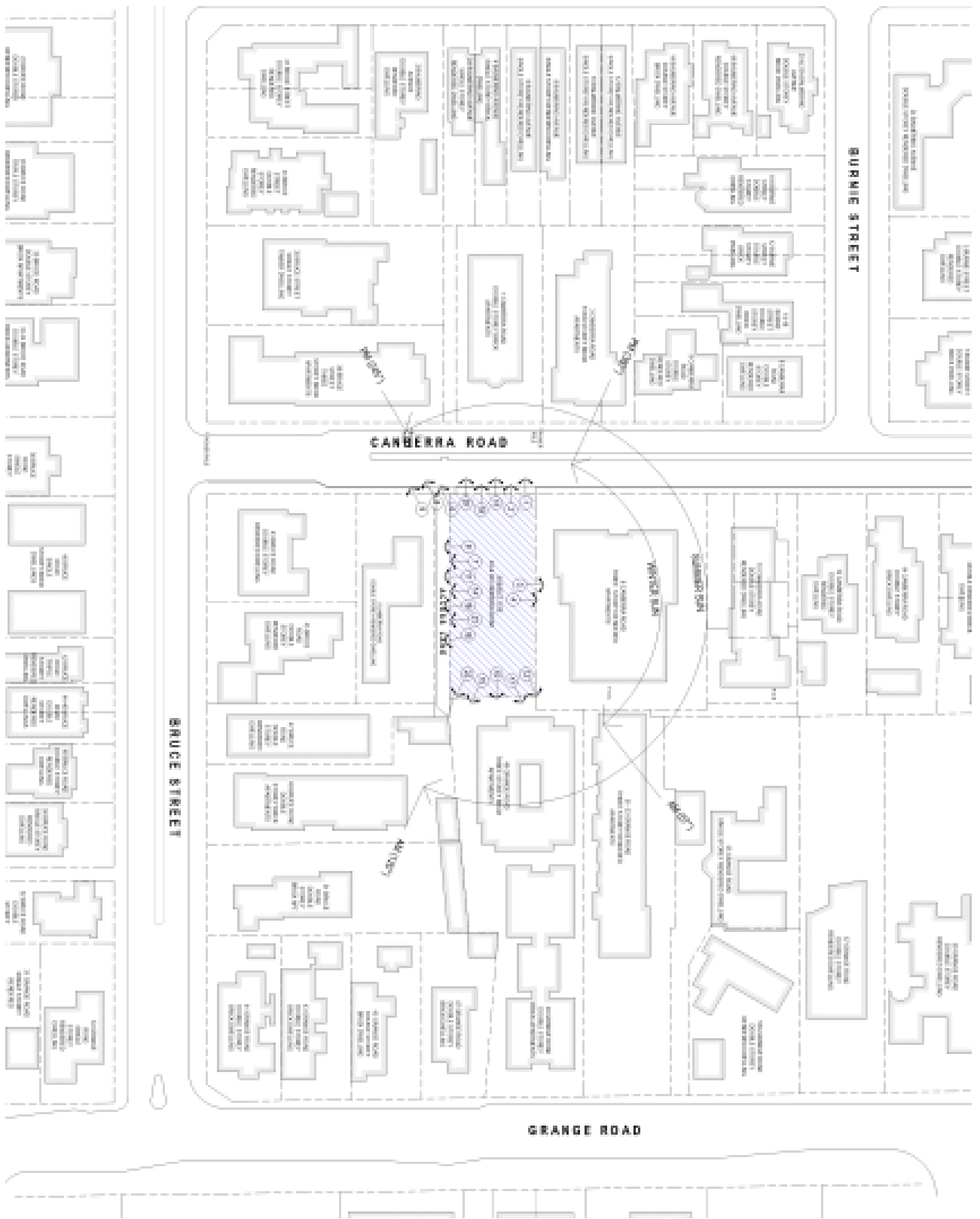


**Conrad Architects**

18/180 Canterbury Road  
Toorak, Victoria 3142  
Phone: 03 9594 1818  
www.conradarchitects.com.au

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- 1. COAST ROAD, 1.23M EASEL
  - 2. COAST ROAD EXCLUDING OPEN, 1.23M
  - 3. LITTLEWOOD CRESCENT, 1.23M BOUND
  - 4. LITTLEWOOD CRESCENT EXCLUDING BOUND
  - 5. ROCKY HILL ROAD, 1.23M BOUND
  - 6. ROCKY HILL ROAD EXCLUDING BOUND
- (including Lot 1, Lot 2 & 3)
- 1. TORONTO STREET, 1.23M BOUND
  - 2. TORONTO STREET EXCLUDING BOUND
  - 3. TORONTO STREET EXCLUDING BOUND
  - 4. TORONTO STREET EXCLUDING BOUND
  - 5. TORONTO STREET, 1.23M BOUND
- (including Lot 1, Lot 2 & 3)
- 1. ST JOHNS STREET, 1.23M BOUND
  - 2. ST JOHNS STREET EXCLUDING BOUND
  - 3. ST JOHNS STREET EXCLUDING BOUND
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  - 10. ST JOHNS STREET EXCLUDING BOUND

**Conrad Architects**

2587 & 2589/301, Toron

**2587 & 2589/301, Toron**

**2587 & 2589/301, Toron**

1. TORONTO STREET EXCLUDING BOUND

2. TORONTO STREET EXCLUDING BOUND

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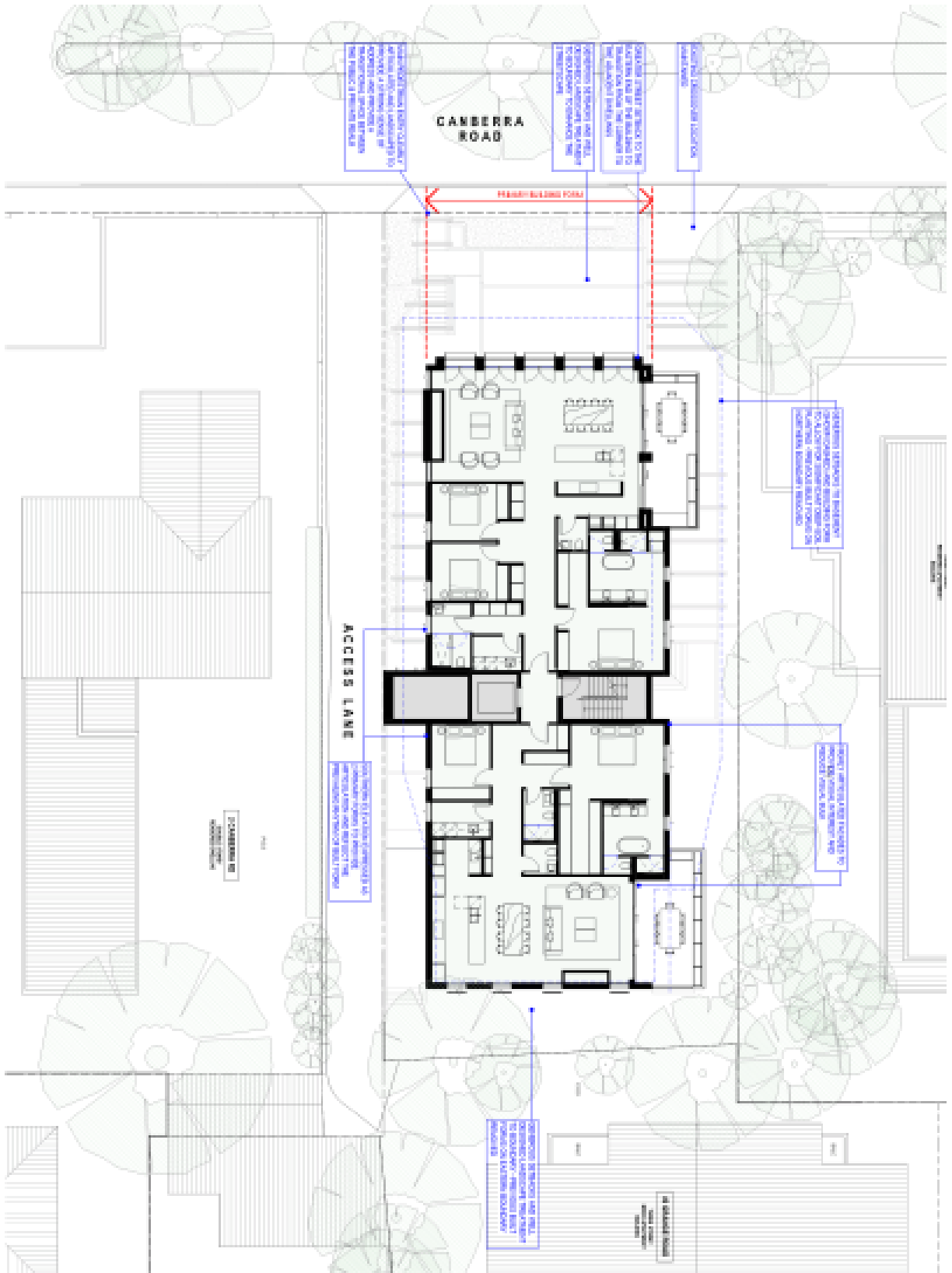
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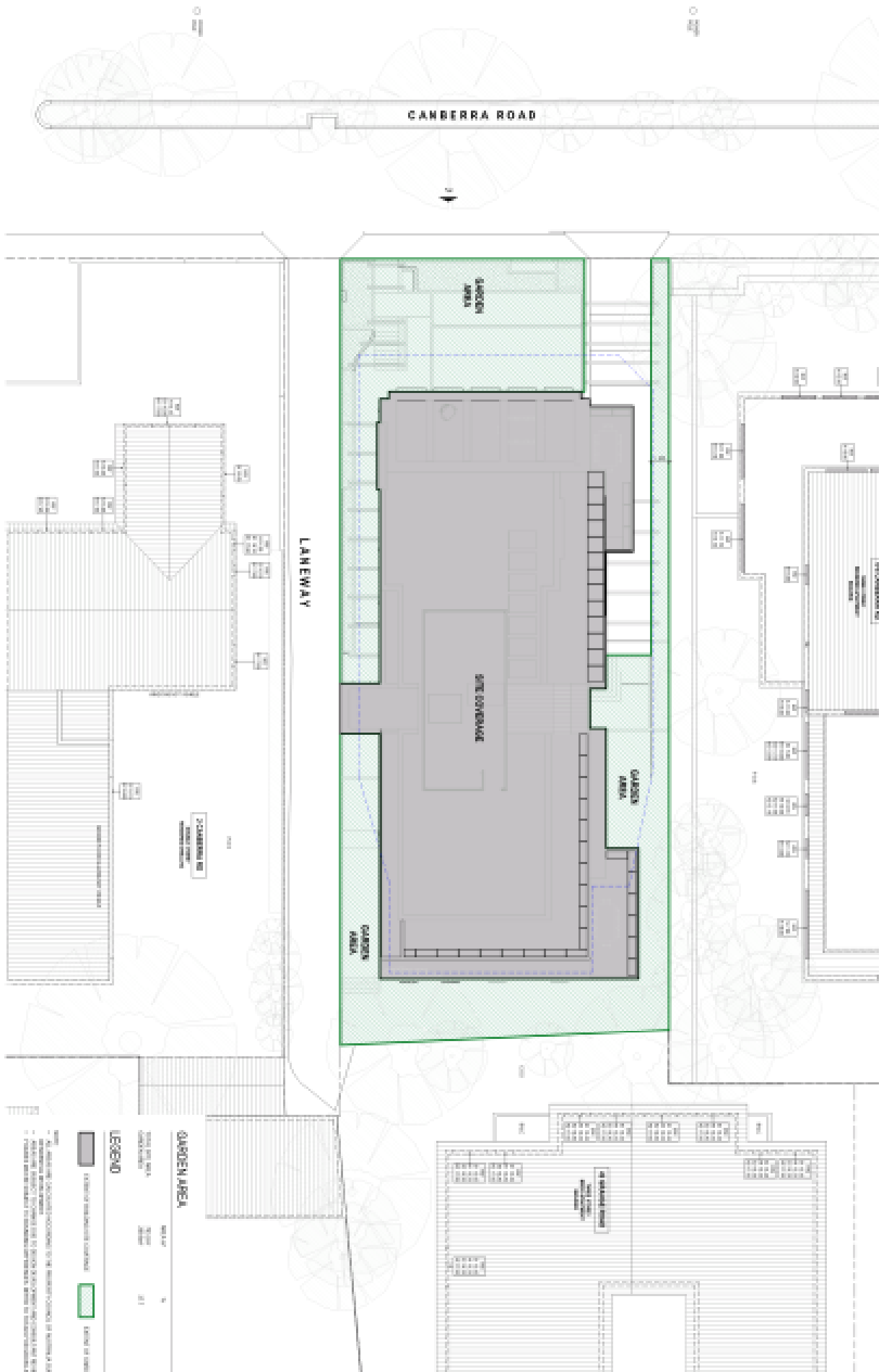
General Architecture of  
 1 Canberra Road Toorak VIC 3108  
 11/11/2024  
 11/11/2024  
 11/11/2024  
 11/11/2024

**NOTES**

1. All dimensions are to the face of the wall unless otherwise stated.
2. All dimensions are to the face of the wall unless otherwise stated.
3. All dimensions are to the face of the wall unless otherwise stated.
4. All dimensions are to the face of the wall unless otherwise stated.
5. All dimensions are to the face of the wall unless otherwise stated.

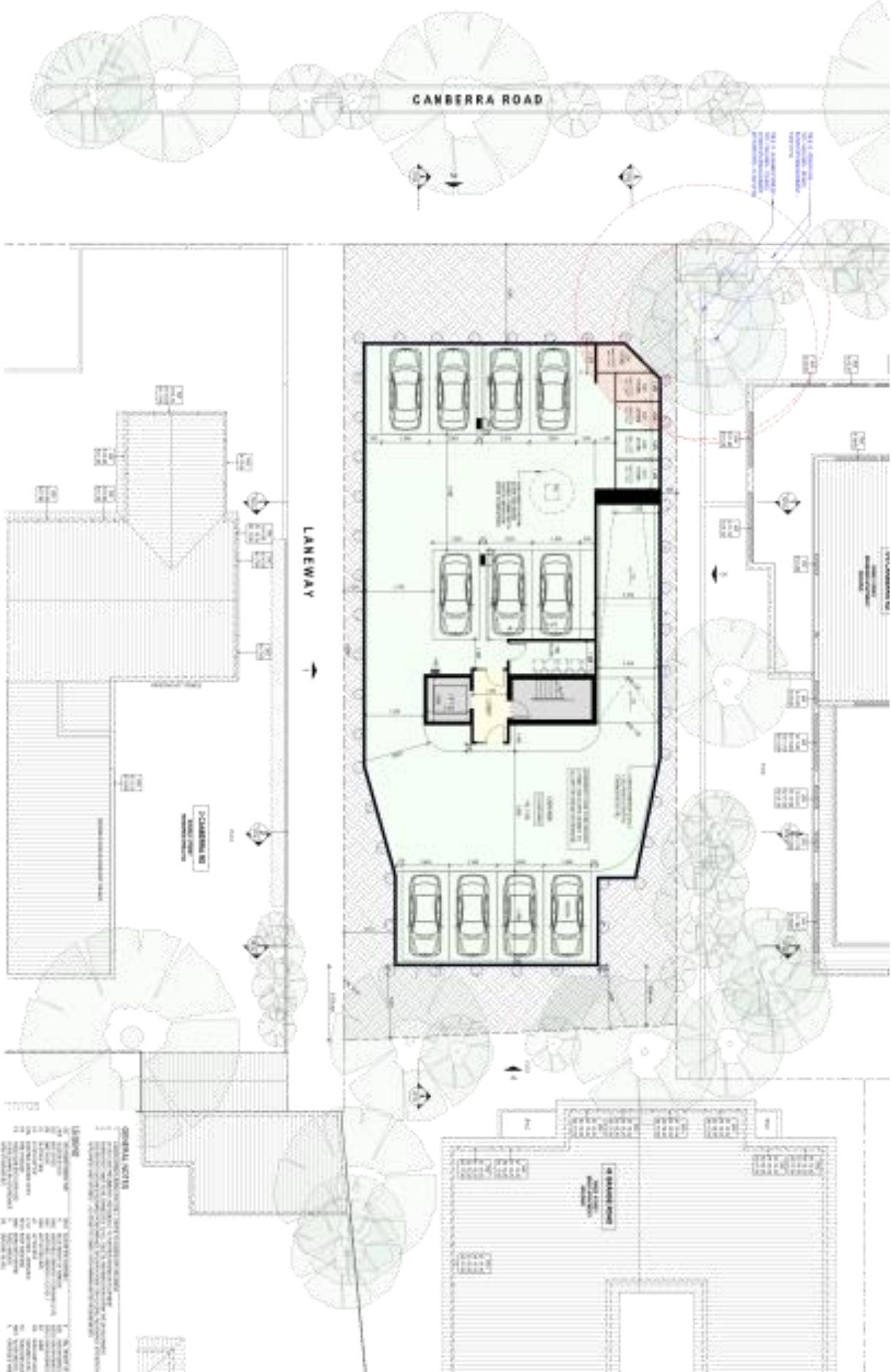
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Overall Floor Area	700	Net Floor Area	600
Overall Floor Area	700	Net Floor Area	600
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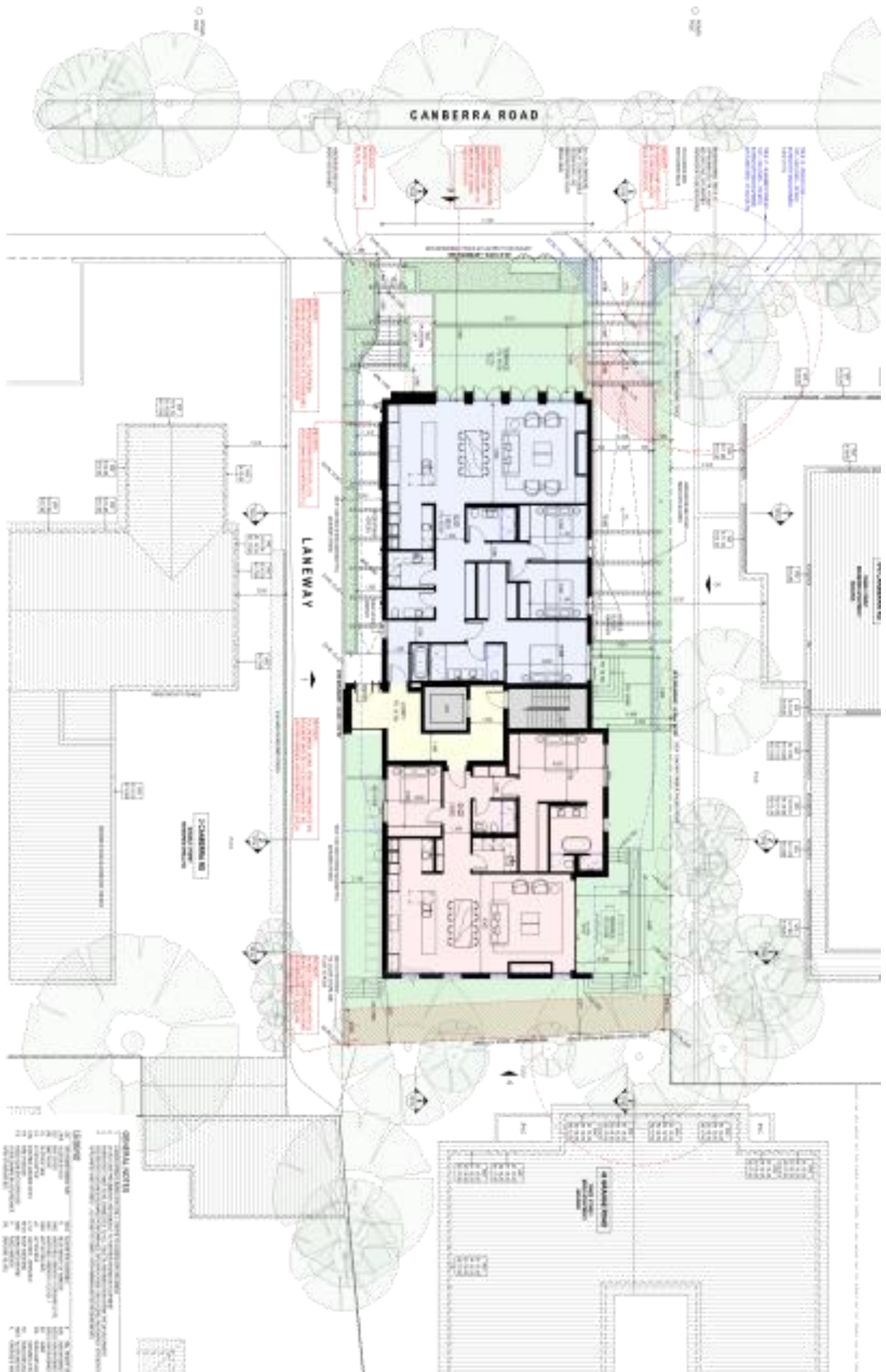
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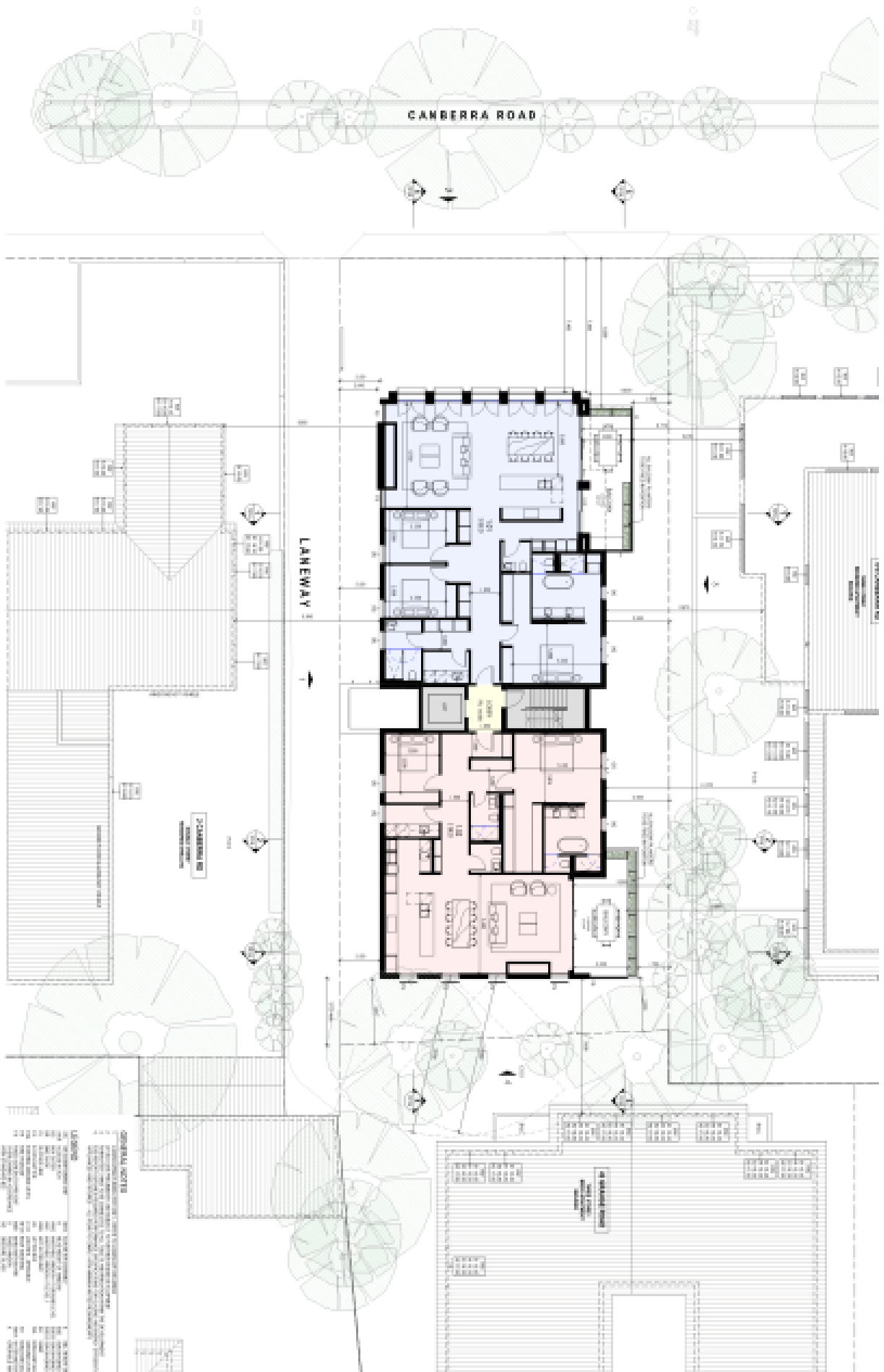
nrard Architects

DATE: 18/08/2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1:200  
PROJECT: 874-18-4A & 4B  
SHEET: 1 OF 1





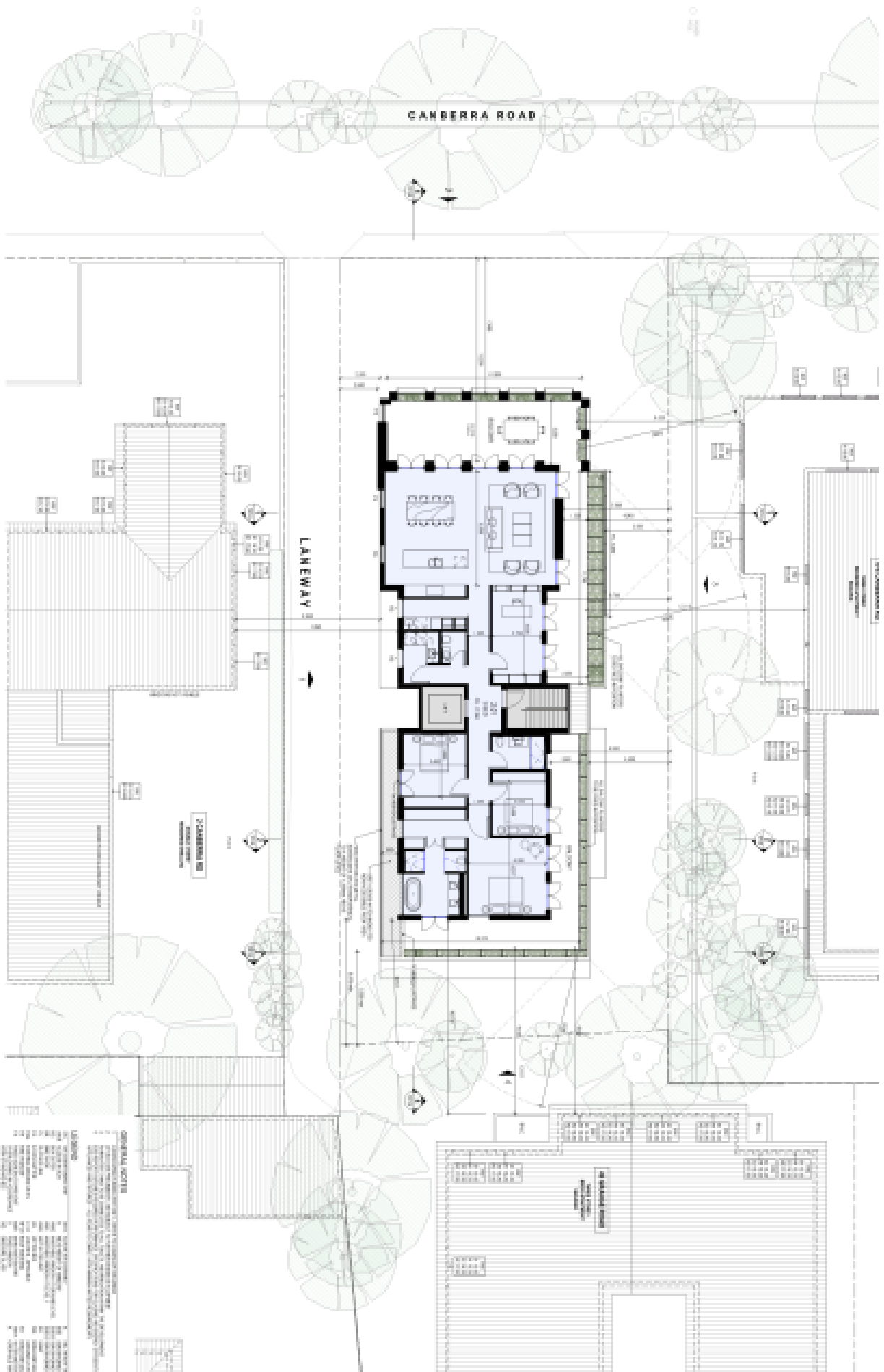
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**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/10/18	ISSUED FOR PERMIT
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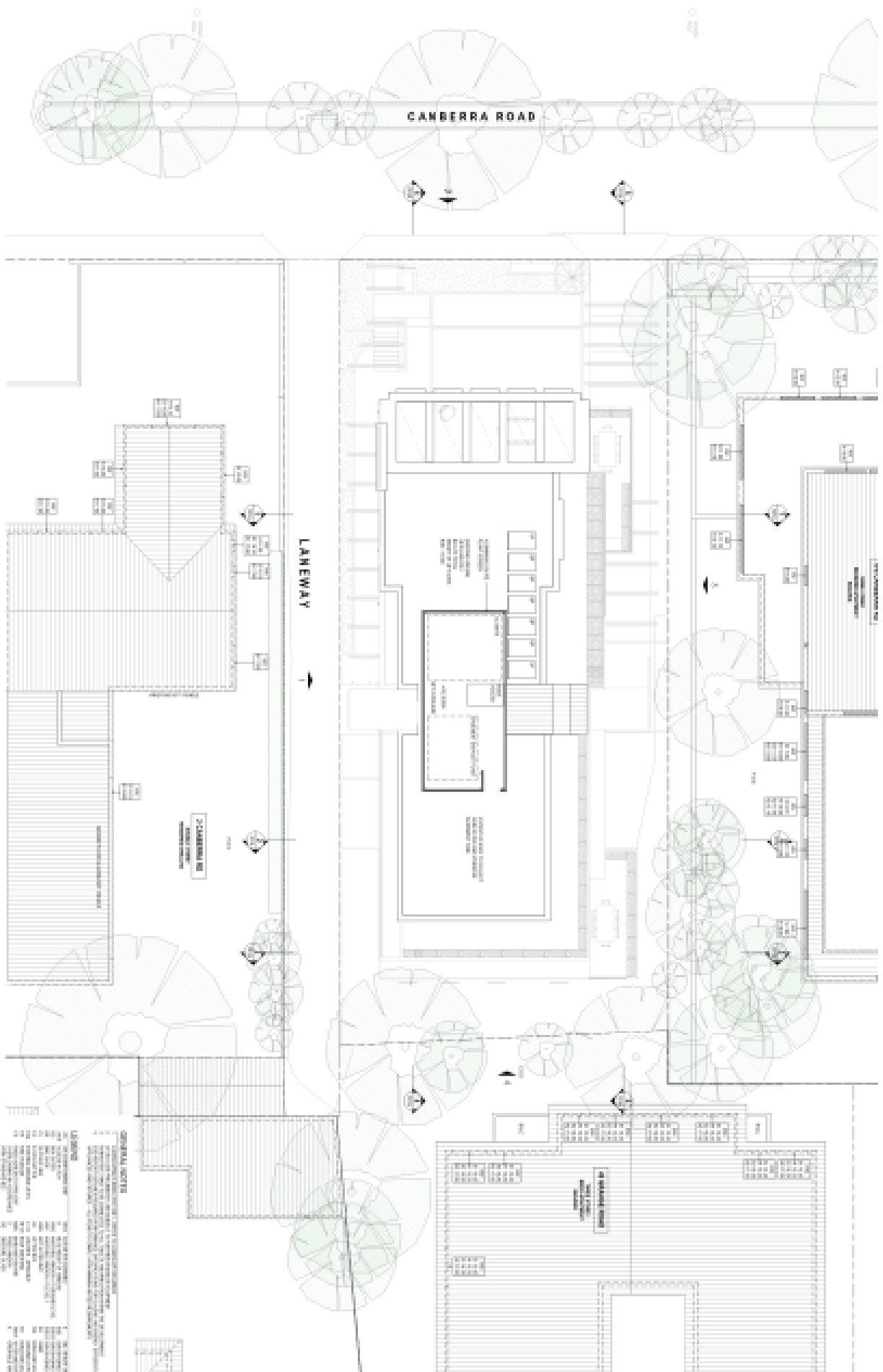




**NOTES**

1. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF TOORAK LOCAL GOVERNMENT DEVELOPMENT BY-LAW 2015.
2. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF TOORAK LOCAL GOVERNMENT DEVELOPMENT BY-LAW 2015.
3. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF TOORAK LOCAL GOVERNMENT DEVELOPMENT BY-LAW 2015.
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10. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE CITY OF TOORAK LOCAL GOVERNMENT DEVELOPMENT BY-LAW 2015.

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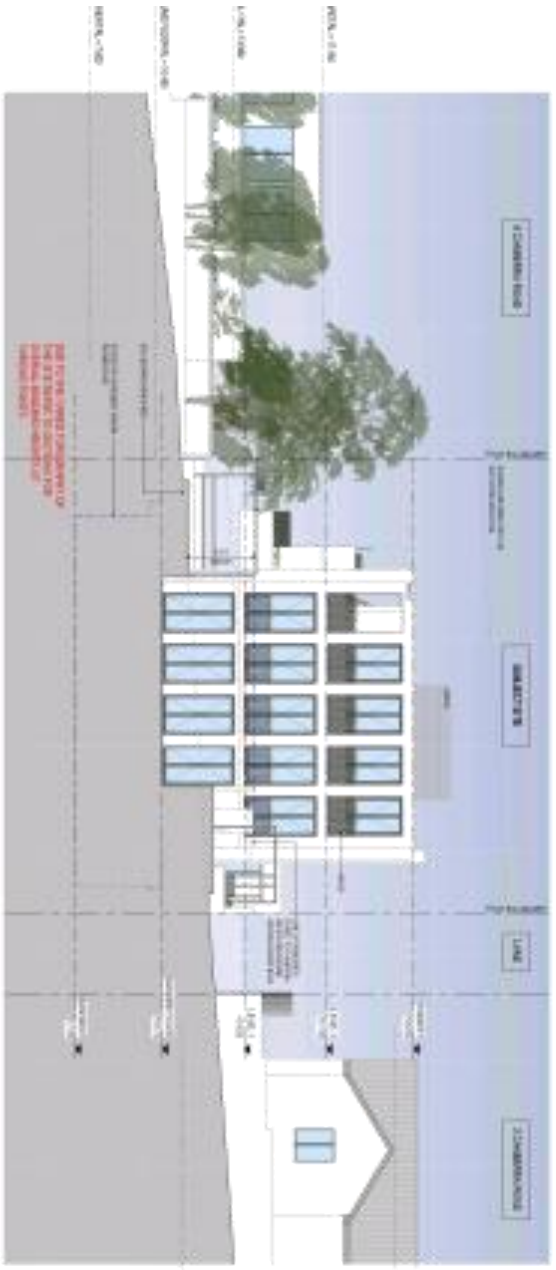


**GENERAL NOTES**

1. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL BUILDING REGULATIONS 2011 AND THE NATIONAL PLUMBING REGULATIONS 2011.
2. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL ELECTRICAL REGULATIONS 2017 AND THE NATIONAL GAS REGULATIONS 2018.
3. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL WATER AND SEWERAGE REGULATIONS 2017 AND THE NATIONAL SANITATION REGULATIONS 2017.
4. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL FIRE REGULATIONS 2012 AND THE NATIONAL SAFETY REGULATIONS 2012.
5. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL ENVIRONMENTAL REGULATIONS 2011 AND THE NATIONAL POLLUTION REGULATIONS 2011.
6. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL HEALTH REGULATIONS 2011 AND THE NATIONAL FOOD REGULATIONS 2011.
7. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL EDUCATION REGULATIONS 2011 AND THE NATIONAL TRAINING REGULATIONS 2011.
8. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL RESEARCH REGULATIONS 2011 AND THE NATIONAL INNOVATION REGULATIONS 2011.
9. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL ARTS REGULATIONS 2011 AND THE NATIONAL CULTURE REGULATIONS 2011.
10. ALL WORK TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NATIONAL SPORTS REGULATIONS 2011 AND THE NATIONAL RECREATION REGULATIONS 2011.

**LEGEND**

1	CONCRETE
2	BRICK
3	GLASS
4	ROOF
5	LANDSCAPING
6	PAVING
7	LANDSCAPING
8	PAVING
9	LANDSCAPING
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17	LANDSCAPING
18	PAVING
19	LANDSCAPING
20	PAVING



**EXTERNAL MATERIALS SCHEDULE**

NO.	DESCRIPTION	FINISH
1	WALLS	WHITE PVA
2	ROOF	ASBESTOS/CEMENT
3	ROOF	ASBESTOS/CEMENT
4	ROOF	ASBESTOS/CEMENT
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50	ROOF	ASBESTOS/CEMENT

nrard Architects



**EXTERNAL MATERIAL SCHEDULE**

NO.	DESCRIPTION	FINISH
1	CONCRETE	SMOOTH
2	BRICK	SMOOTH
3	GLASS	LOW E
4	ALUMINIUM	ANODISED
5	WOOD	PAINTED
6	ROOFING	ASBESTOS
7	LANDSCAPE	GRASS
8	LANDSCAPE	PAVING
9	LANDSCAPE	CONCRETE
10	LANDSCAPE	PAVING
11	LANDSCAPE	CONCRETE
12	LANDSCAPE	PAVING
13	LANDSCAPE	CONCRETE
14	LANDSCAPE	PAVING
15	LANDSCAPE	CONCRETE
16	LANDSCAPE	PAVING
17	LANDSCAPE	CONCRETE
18	LANDSCAPE	PAVING
19	LANDSCAPE	CONCRETE
20	LANDSCAPE	PAVING

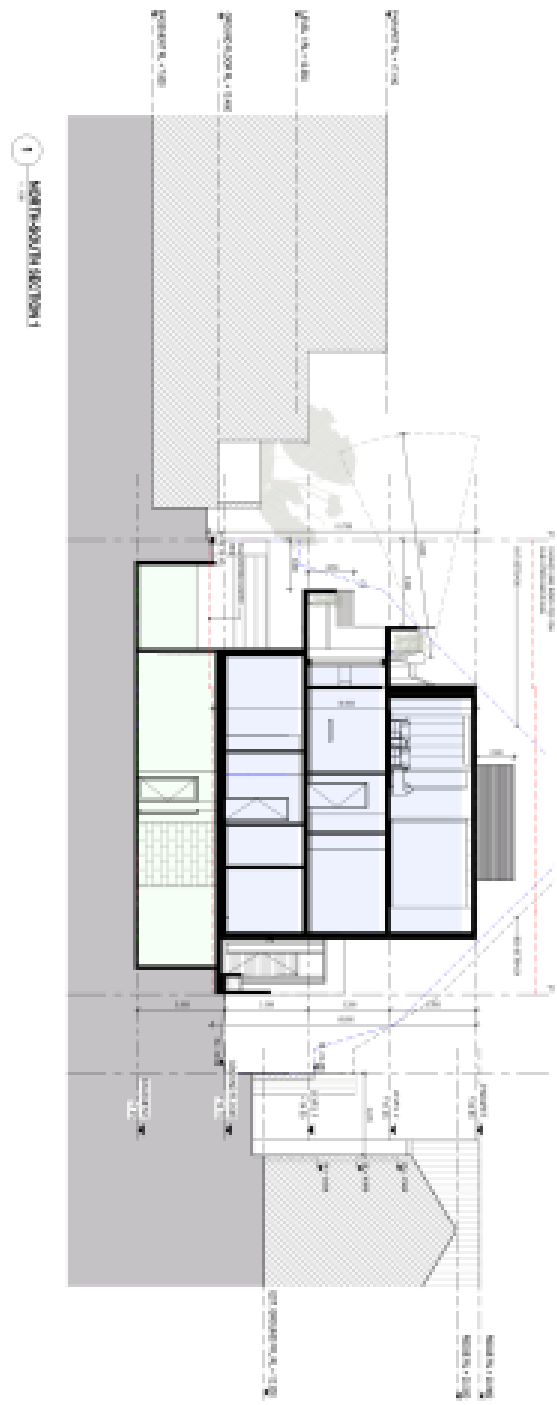
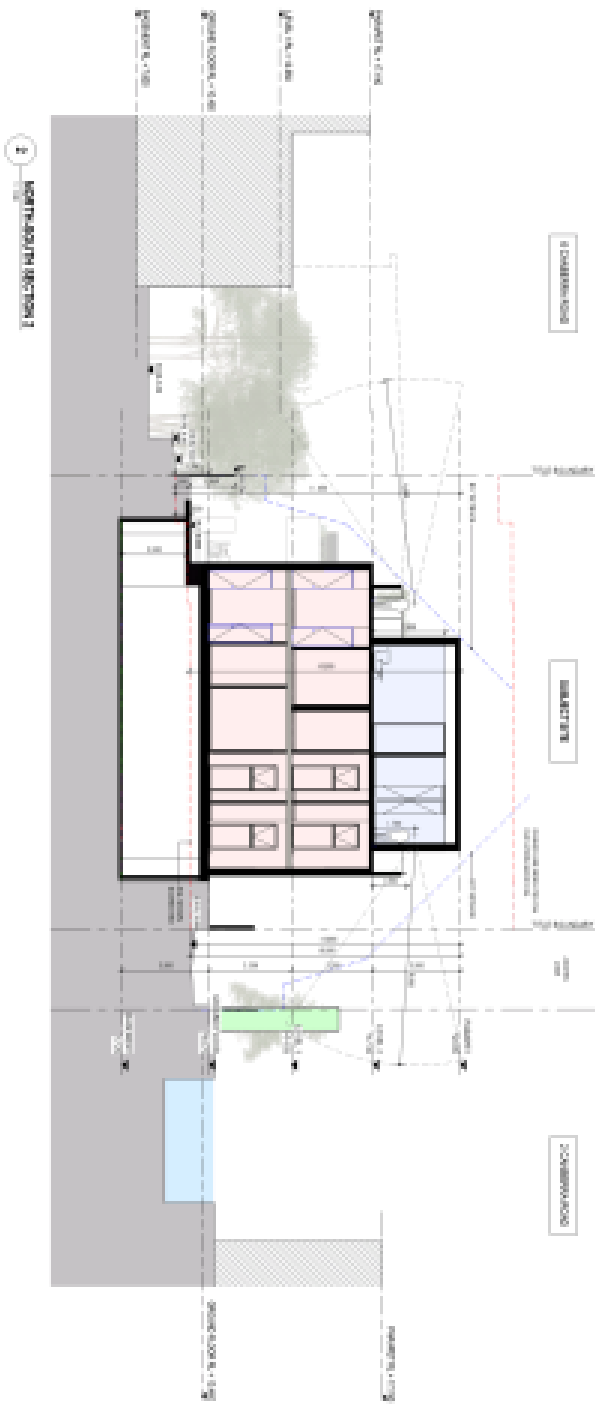
**LEGEND**

1. CONCRETE  
2. BRICK  
3. GLASS  
4. ALUMINIUM  
5. WOOD  
6. ROOFING  
7. LANDSCAPE  
8. LANDSCAPE  
9. LANDSCAPE  
10. LANDSCAPE  
11. LANDSCAPE  
12. LANDSCAPE  
13. LANDSCAPE  
14. LANDSCAPE  
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20. LANDSCAPE

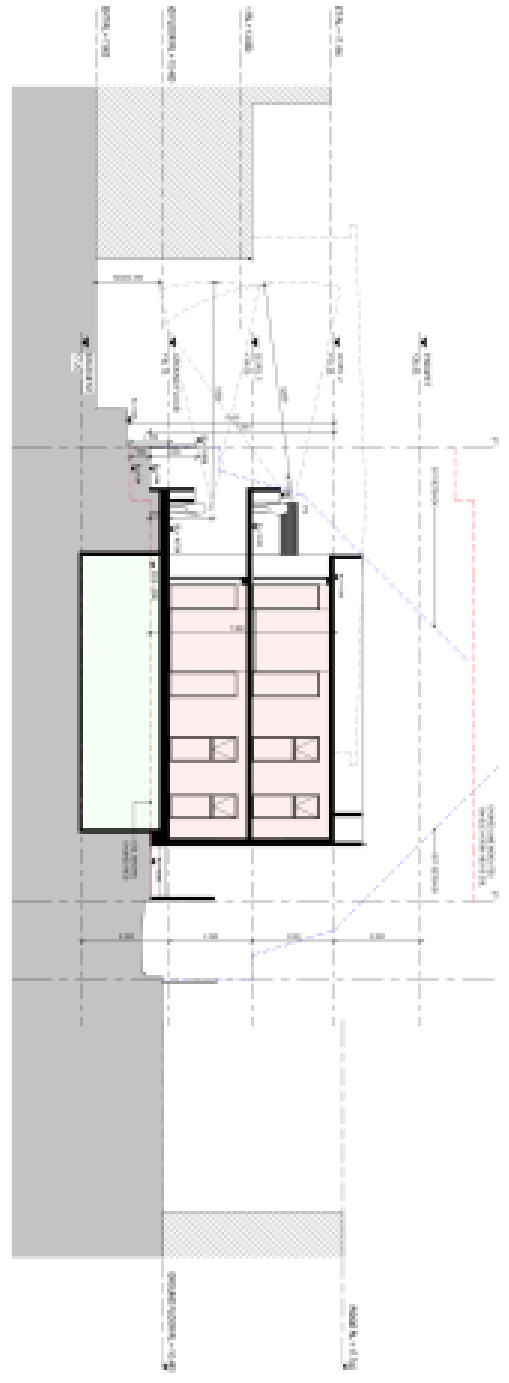
nrard Architects

PROJECT: 874-18-4A & 4B CANBERRA ROAD TOORAK  
DATE: 15/08/2018  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1:100  
SHEET: 1 OF 1

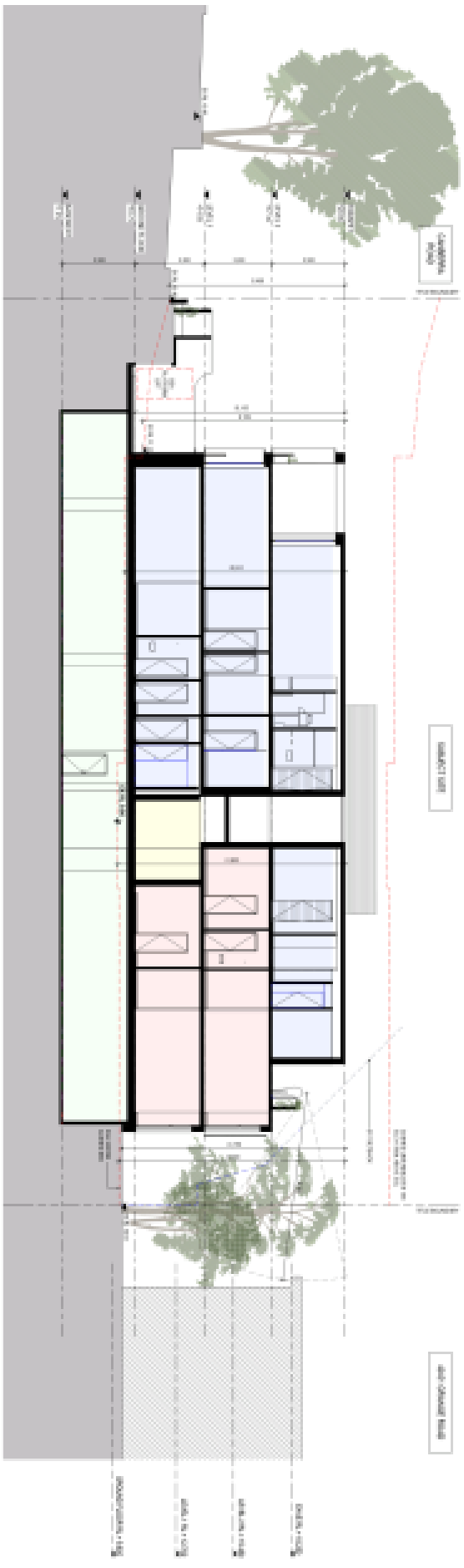
nrad Architects



Project: 874-18-4A & 4B Canberra Road Toorak  
Phase: 1 - Concept Design - Urban Design  
Scale: 1:500  
Date: 10/10/2018  
Author: nrad Architects  
Client: [REDACTED]



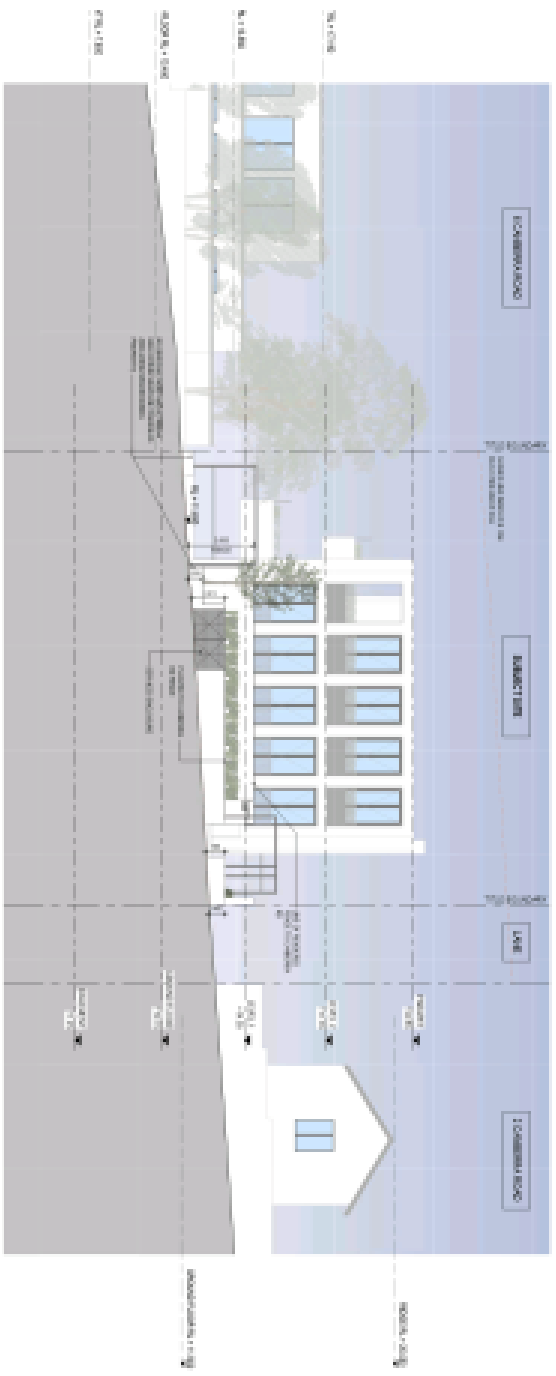
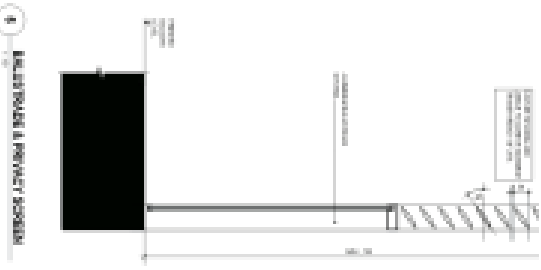
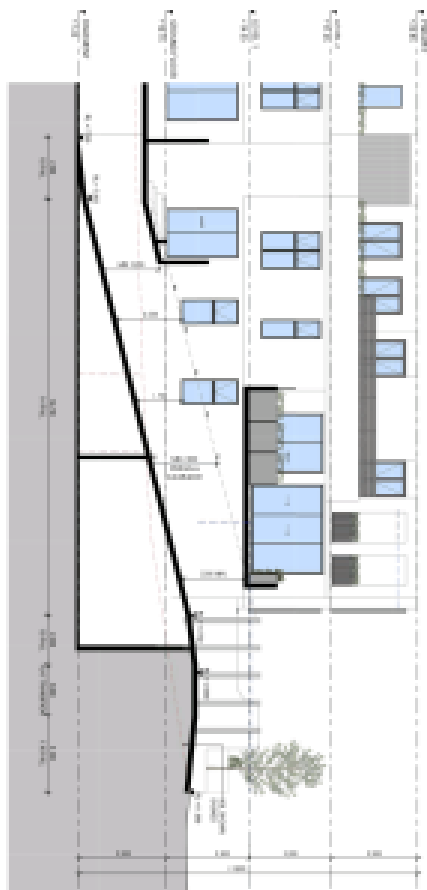
NORTH-SOUTH SECTION 1



EAST-WEST SECTION 1

nrard Architects

Prepared by: nrard Architects  
 Checked by: nrard Architects  
 Date: 14/04/2018  
 Scale: 1/50  
 Drawing No: 1801-01-01-01  
 Project: 1801-01-01-01



**LEGEND**

**EXTERIOR MATERIALS & FINISHES**

Concrete	Light Grey	Light Grey	Light Grey
Brickwork	Light Grey	Light Grey	Light Grey
Paintwork	White	White	White
Cladding	Light Grey	Light Grey	Light Grey
Roofing	Light Grey	Light Grey	Light Grey
Landscaping	Light Grey	Light Grey	Light Grey
Fencing	Light Grey	Light Grey	Light Grey
Windows	White	White	White
Doors	White	White	White
Stairs	Light Grey	Light Grey	Light Grey
Handrails	Light Grey	Light Grey	Light Grey
Lighting	Light Grey	Light Grey	Light Grey
Planting	Light Grey	Light Grey	Light Grey
Pathways	Light Grey	Light Grey	Light Grey
Drainage	Light Grey	Light Grey	Light Grey
Structural	Light Grey	Light Grey	Light Grey
Foundation	Light Grey	Light Grey	Light Grey
Basement	Light Grey	Light Grey	Light Grey
Attic	Light Grey	Light Grey	Light Grey
Roof	Light Grey	Light Grey	Light Grey
Interior	Light Grey	Light Grey	Light Grey
Floors	Light Grey	Light Grey	Light Grey
Walls	Light Grey	Light Grey	Light Grey
Ceilings	Light Grey	Light Grey	Light Grey
Partitions	Light Grey	Light Grey	Light Grey
Staircases	Light Grey	Light Grey	Light Grey
Lifts	Light Grey	Light Grey	Light Grey
Electrical	Light Grey	Light Grey	Light Grey
Mechanical	Light Grey	Light Grey	Light Grey
Plumbing	Light Grey	Light Grey	Light Grey
Fire	Light Grey	Light Grey	Light Grey
Security	Light Grey	Light Grey	Light Grey
Accessibility	Light Grey	Light Grey	Light Grey
Healthcare	Light Grey	Light Grey	Light Grey
Educational	Light Grey	Light Grey	Light Grey
Government	Light Grey	Light Grey	Light Grey
Commercial	Light Grey	Light Grey	Light Grey
Industrial	Light Grey	Light Grey	Light Grey
Residential	Light Grey	Light Grey	Light Grey
Public	Light Grey	Light Grey	Light Grey
Private	Light Grey	Light Grey	Light Grey
Other	Light Grey	Light Grey	Light Grey

**NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.

2. REFER TO THE ARCHITECTURAL DRAWINGS FOR FURTHER INFORMATION.

3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

5. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

6. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

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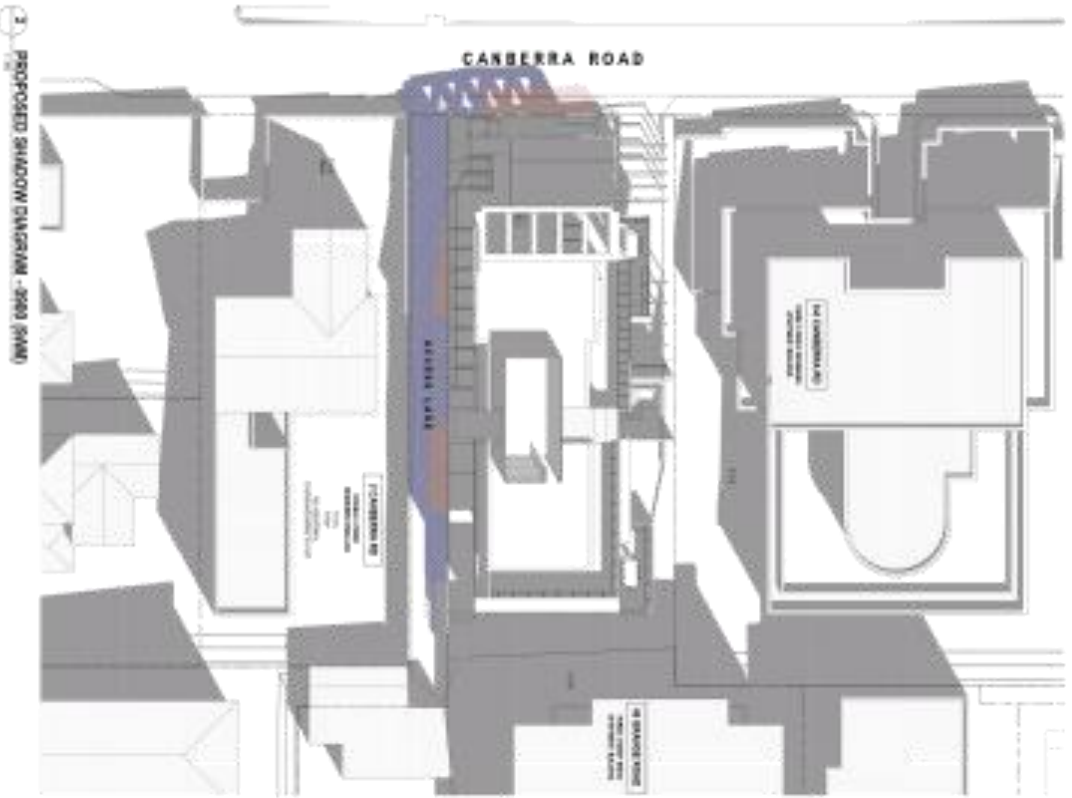
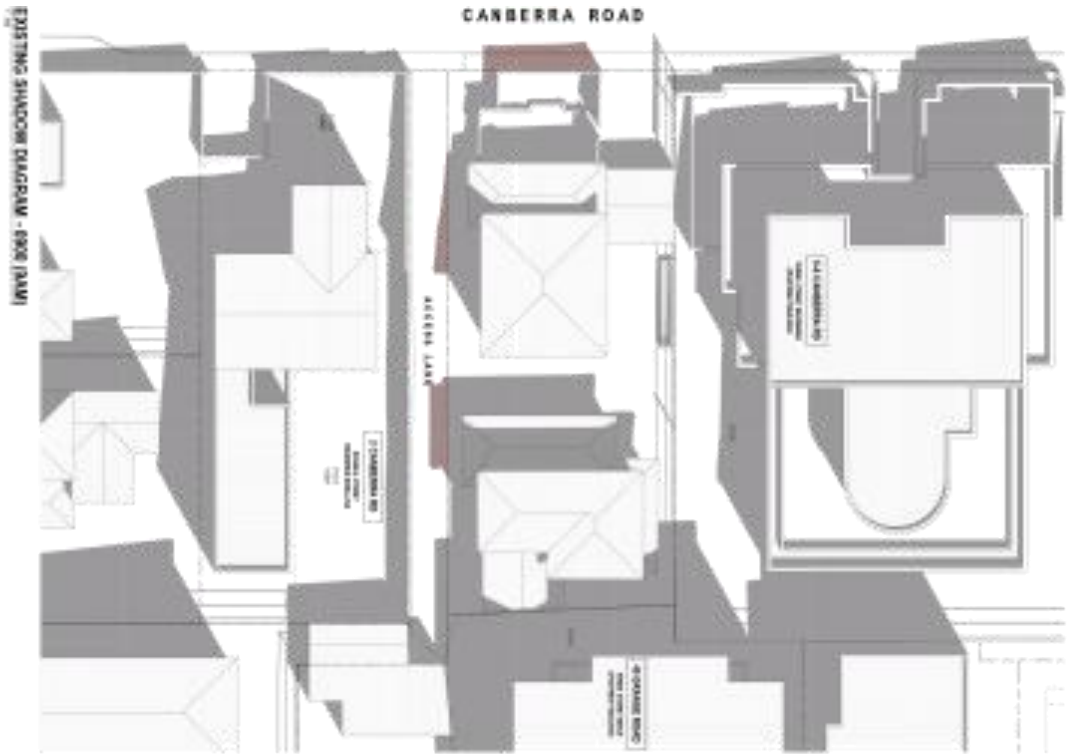
8. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

9. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

10. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

nrml Architects

11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018 11/11/2018

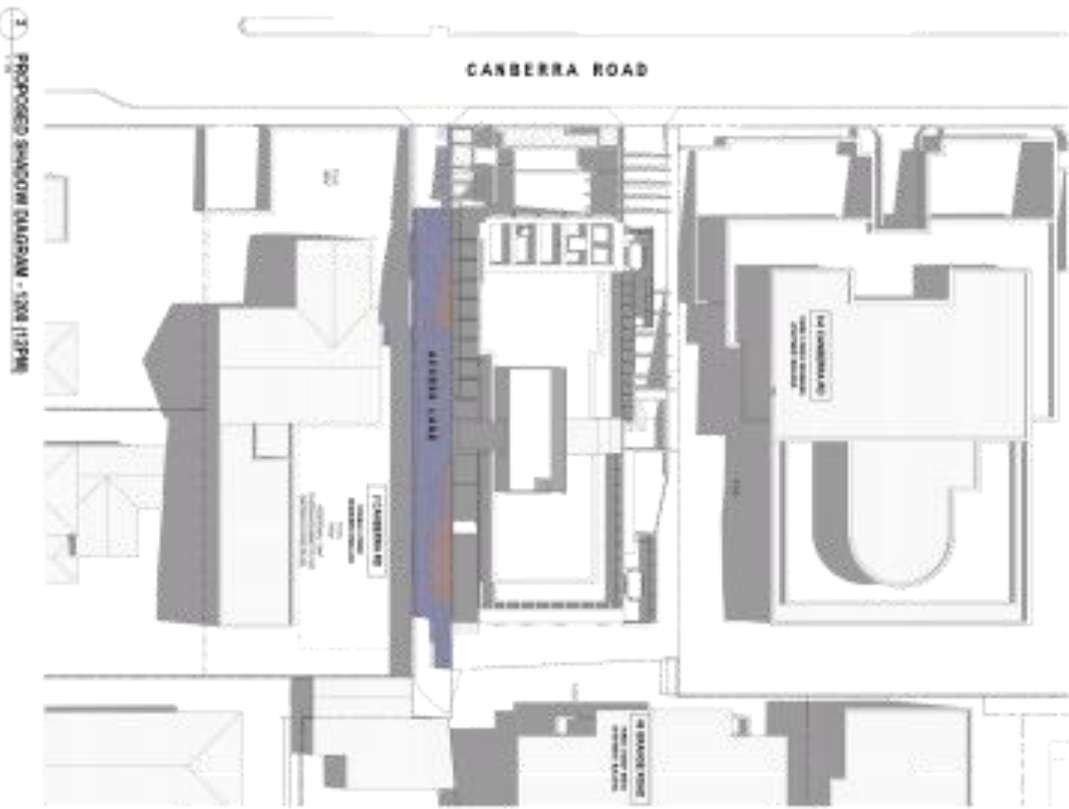
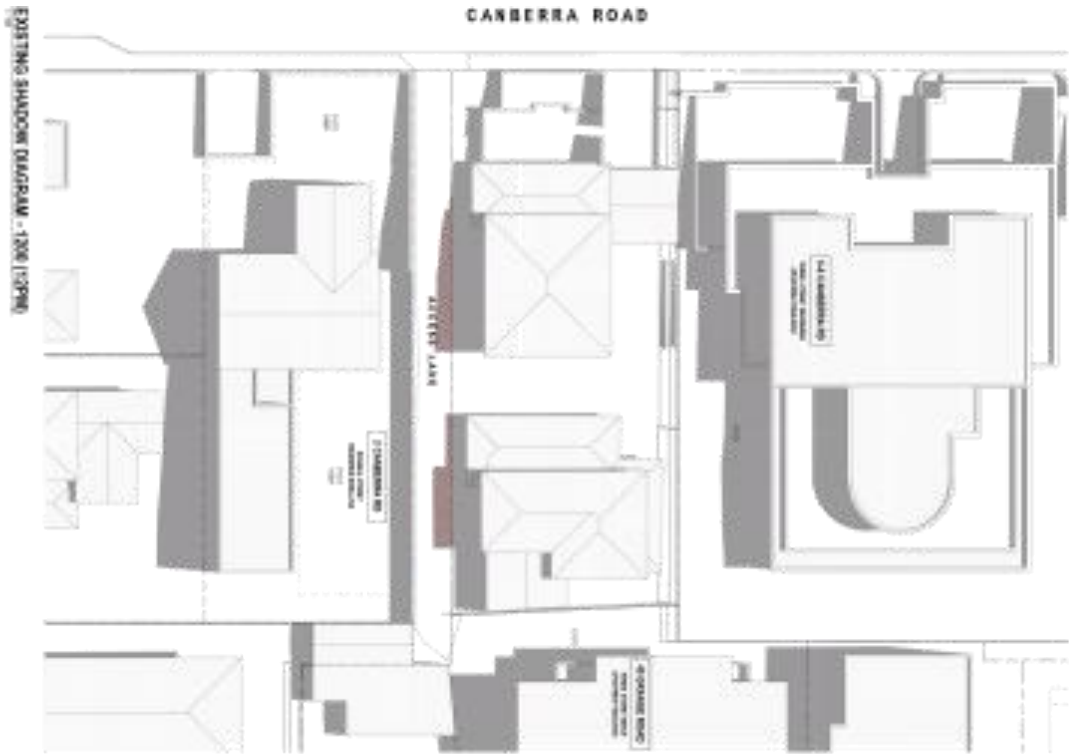


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 100/102 CANBERRA ROAD, TOORAK VIC 3142  
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**Conrad Architects**

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 Melbourne, Victoria 3142  
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 www.conradarchitects.com.au





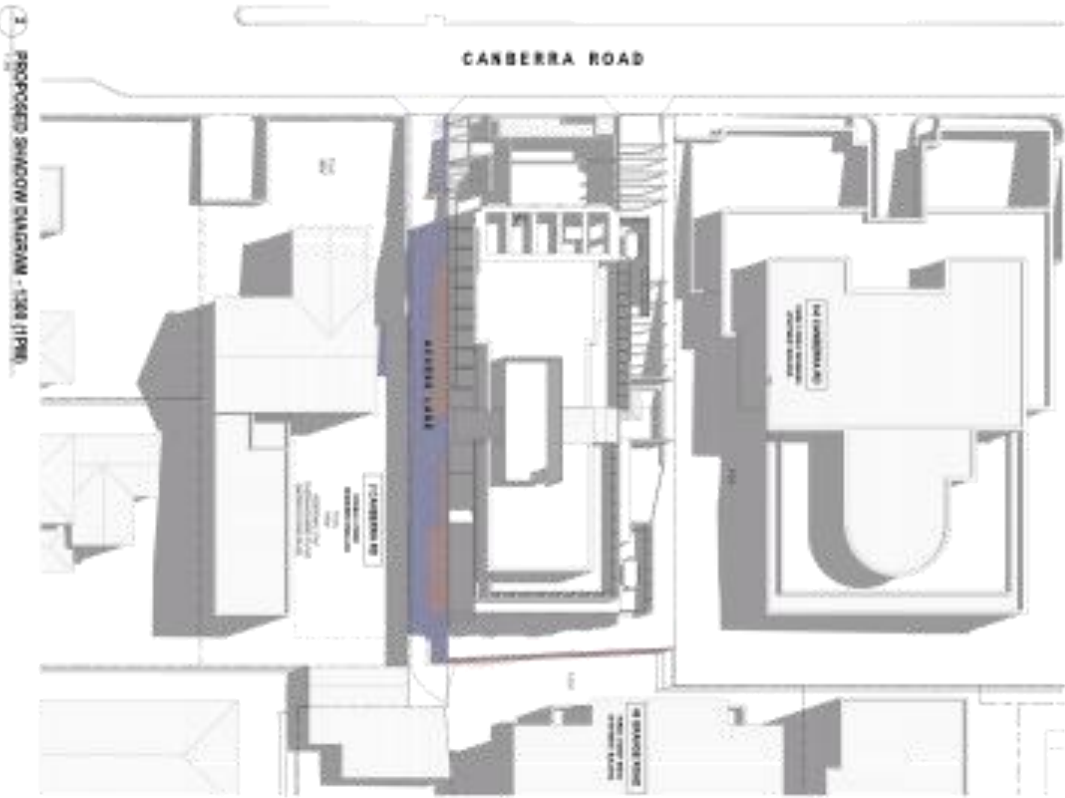
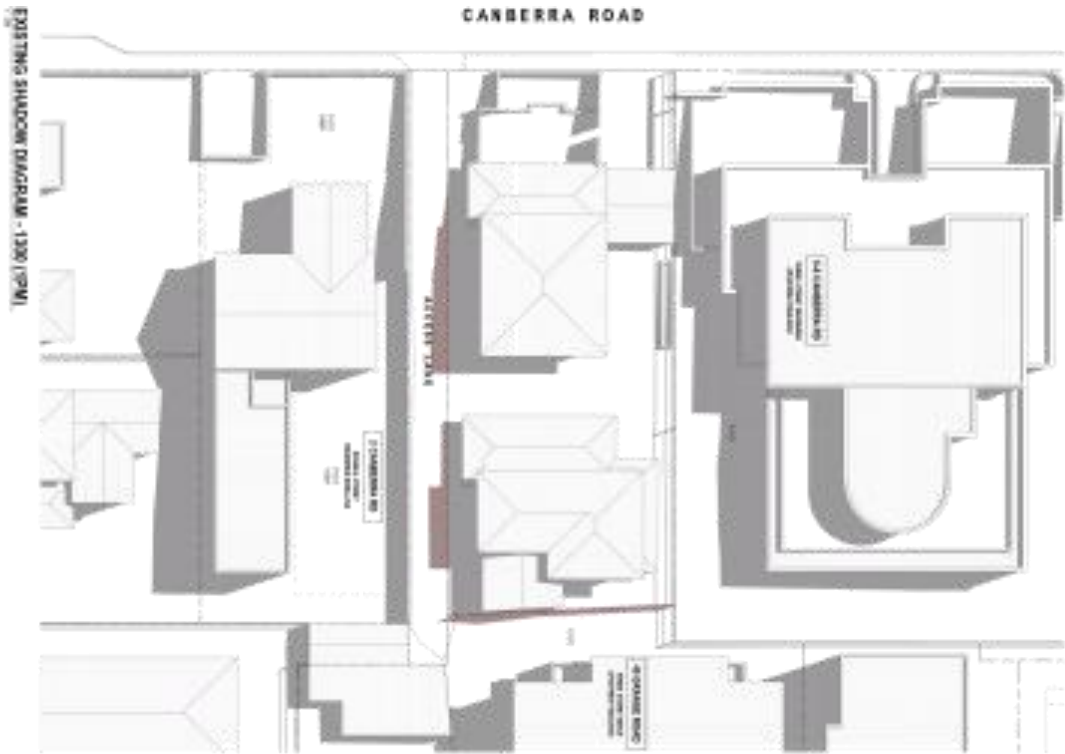
**KEY**

- EXISTING BUILDING
- PROPOSED BUILDING
- EXISTING SHADOW
- PROPOSED SHADOW

SHADOWS ARE CAST FROM 1206 (1:30PM) ON 1206

**Conrad Architects**

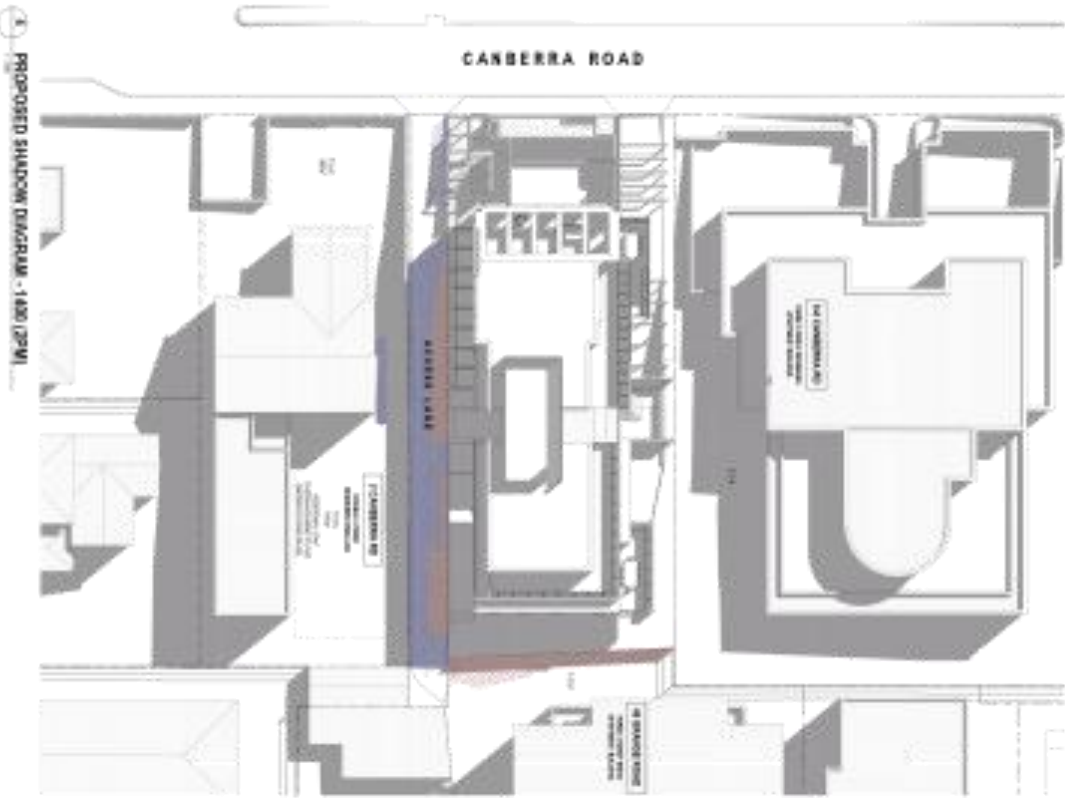
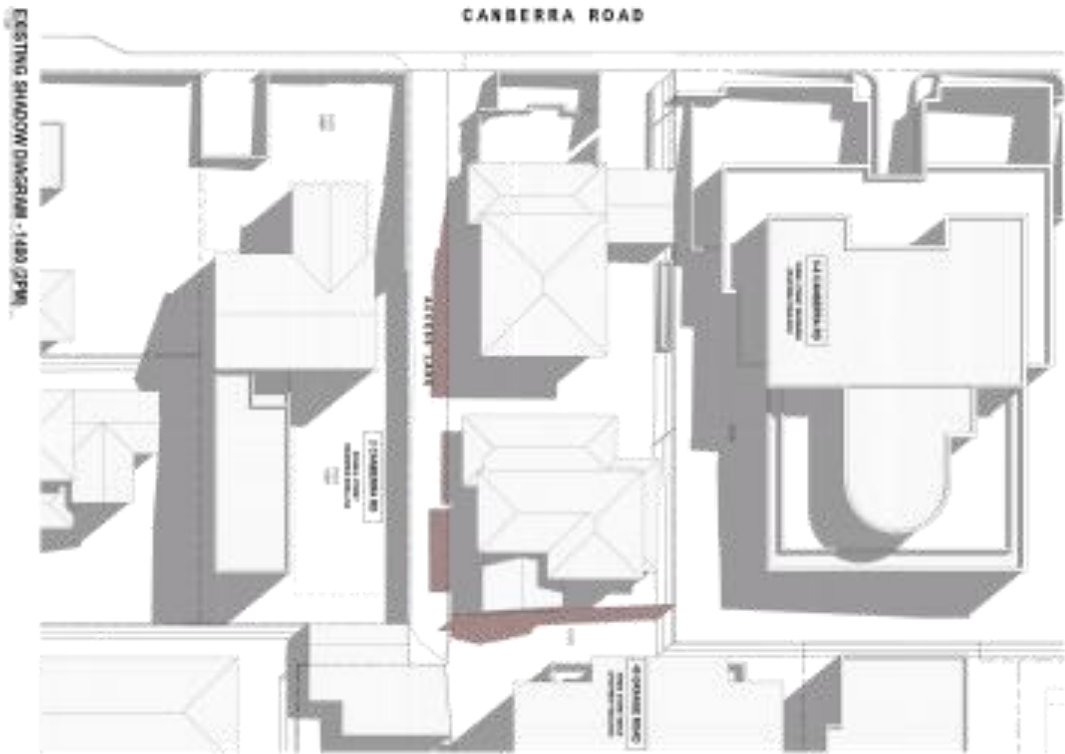
1206  
1206 Canberra Rd, Toorak  
VIC 3142  
Phone: 03 9594 1206  
Fax: 03 9594 1207  
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■ PROPOSED SHADOWS  
■ EXISTING SHADOWS  
 SHADOWS CAST BY PROPOSED DEVELOPMENT  
 THIS SHADOW DIAGRAM IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A GUARANTEE OF SHADOWS.

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 Toorak, Vic 3142  
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 Email: info@conradarchitects.com.au  
 Website: www.conradarchitects.com.au  
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**KEY**

- █ EXISTING SHADOWS
- █ PROPOSED SHADOWS

SHADOWS ARE CAST FROM THE BUILDINGS ON EITHER SIDE OF THE ROAD. THE SHADOWS ARE CAST IN A SOUTHERLY DIRECTION, INDICATING THE SUN IS IN THE NORTHERN SKY.

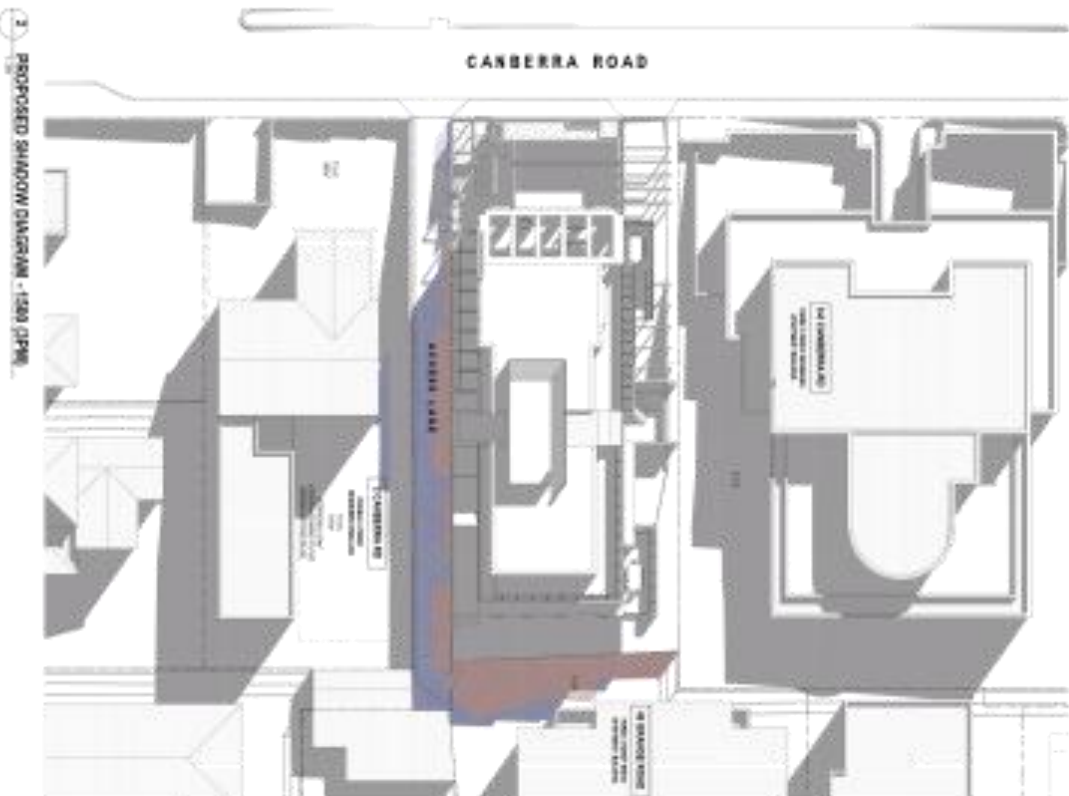
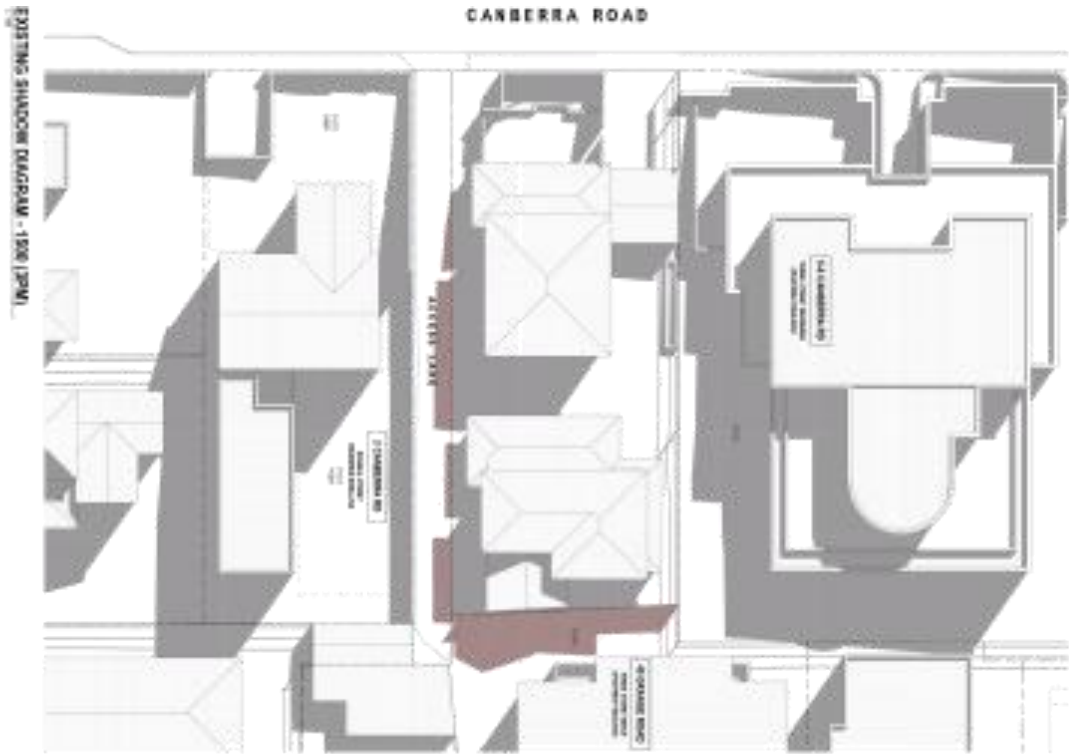
**Conrad Architects**

100/102 Canberra Rd, Toorak  
 VIC 3142  
 Phone: 03 9594 1111  
 Email: info@conradarchitects.com.au

**Project Details**

Project Name: [Redacted]  
 Client: [Redacted]  
 Date: [Redacted]

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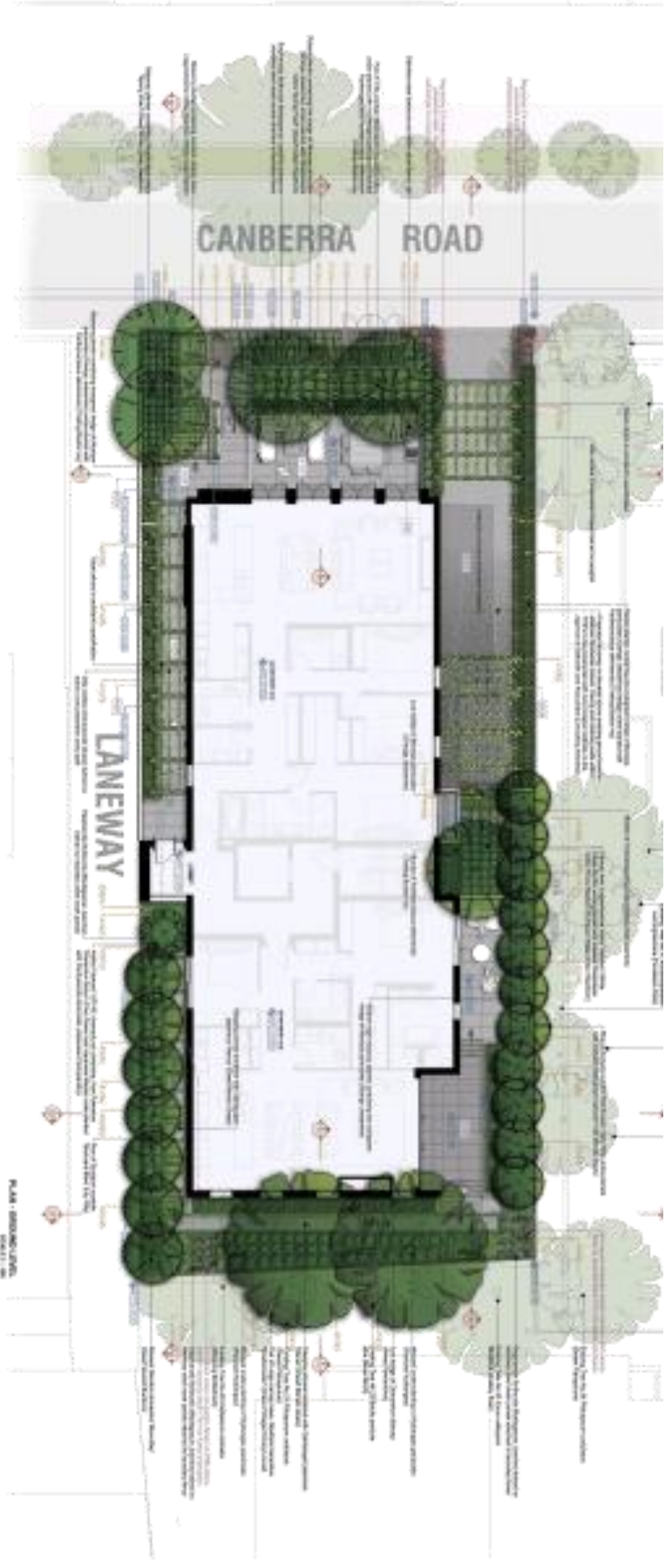


**NOTES**

- 1. SHADOWS ARE CAST FROM THE EXISTING BUILDINGS AND THE PROPOSED BUILDING.
- 2. SHADOWS ARE CAST FROM THE EXISTING BUILDINGS AND THE PROPOSED BUILDING.
- 3. SHADOWS ARE CAST FROM THE EXISTING BUILDINGS AND THE PROPOSED BUILDING.
- 4. SHADOWS ARE CAST FROM THE EXISTING BUILDINGS AND THE PROPOSED BUILDING.

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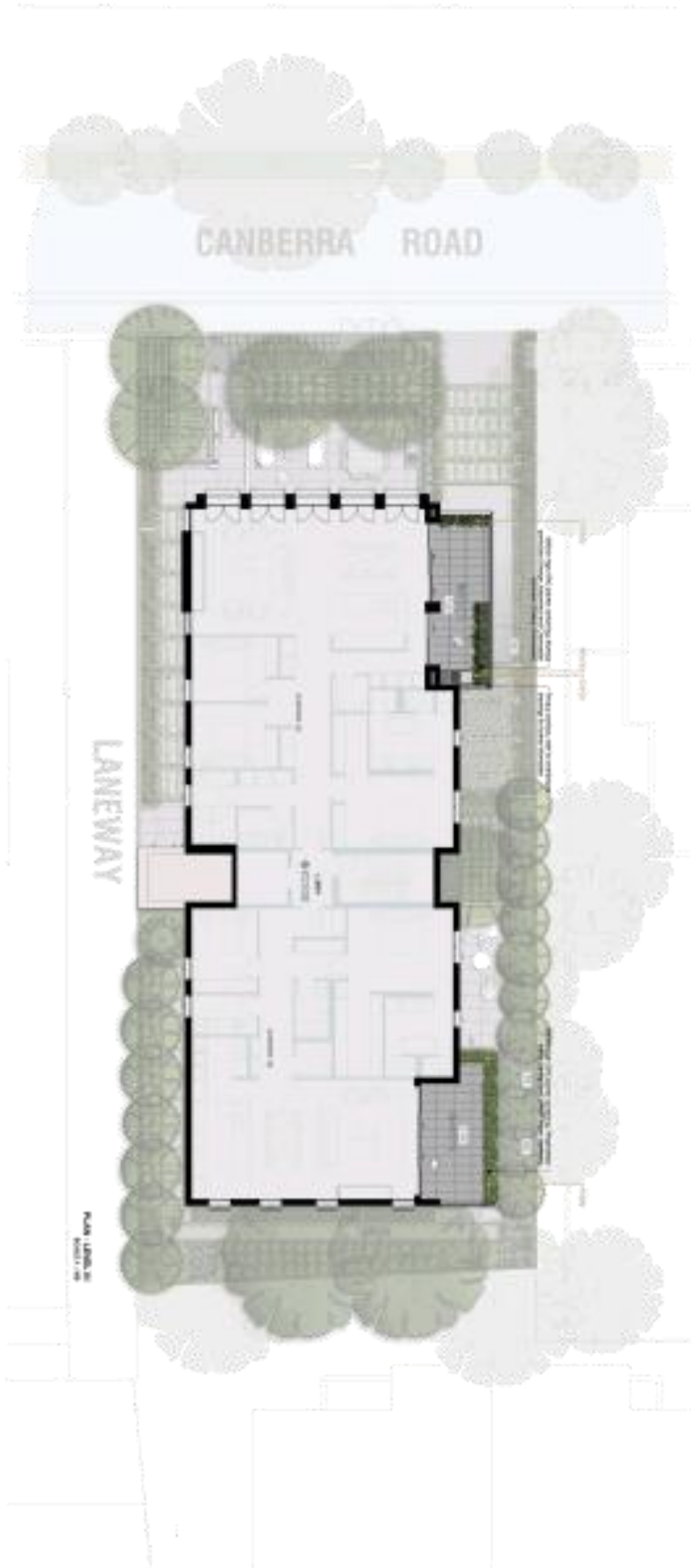
**PLANT SCHEDULE**

ID	Plant Name	Quantity	Notes
1	Plant Name	Quantity	Notes
2	Plant Name	Quantity	Notes
3	Plant Name	Quantity	Notes
4	Plant Name	Quantity	Notes
5	Plant Name	Quantity	Notes
6	Plant Name	Quantity	Notes
7	Plant Name	Quantity	Notes
8	Plant Name	Quantity	Notes
9	Plant Name	Quantity	Notes
10	Plant Name	Quantity	Notes

**PLANT SCHEDULE**

ID	Plant Name	Quantity	Notes
11	Plant Name	Quantity	Notes
12	Plant Name	Quantity	Notes
13	Plant Name	Quantity	Notes
14	Plant Name	Quantity	Notes
15	Plant Name	Quantity	Notes
16	Plant Name	Quantity	Notes
17	Plant Name	Quantity	Notes
18	Plant Name	Quantity	Notes
19	Plant Name	Quantity	Notes
20	Plant Name	Quantity	Notes





**GENERAL NOTES**

1. GENERAL NOTES TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT AUSTRALIAN STANDARDS AND REGULATIONS.
3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
8. ALL WASTE AND DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
10. ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND LOCAL AUTHORITY.

**REVISIONS**

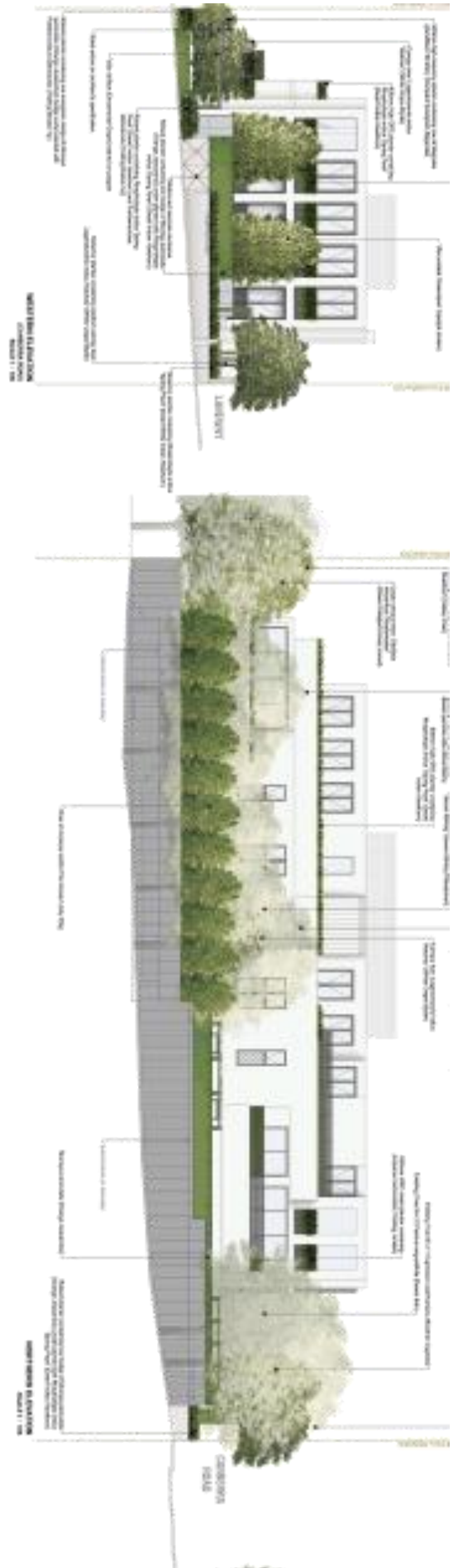
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1	ISSUED FOR PERMIT	15/05/2018
2	REVISION TO LAYOUT	20/05/2018
3	REVISION TO MATERIALS	25/05/2018
4	REVISION TO FINISHES	30/05/2018
5	REVISION TO LANDSCAPING	05/06/2018
6	REVISION TO ELECTRICAL	10/06/2018
7	REVISION TO MECHANICAL	15/06/2018
8	REVISION TO PLUMBING	20/06/2018
9	REVISION TO STRUCTURE	25/06/2018
10	REVISION TO INTERIORS	30/06/2018

ARCHITECT: [Name]  
 PROJECT NO: [Number]  
 DRAWING NO: [Number]  
 DATE: [Date]

4A-4B Canberra Road, Toorak

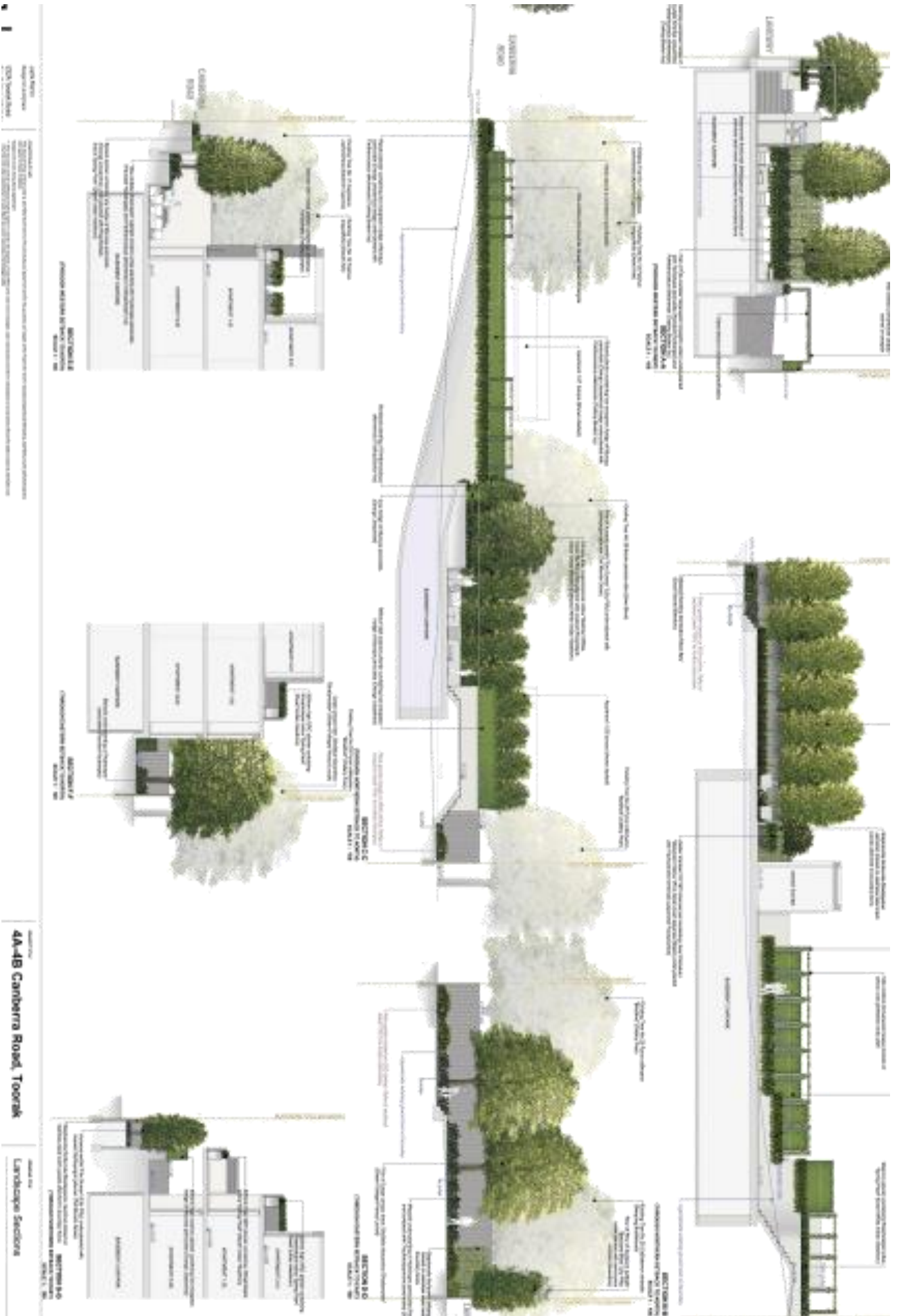
Level 01 Landscaping Plan





4A-4B Canberra Road, Toorak  
 Boundary Elevation  
 4A-4B Canberra Road, Toorak  
 Boundary Elevation

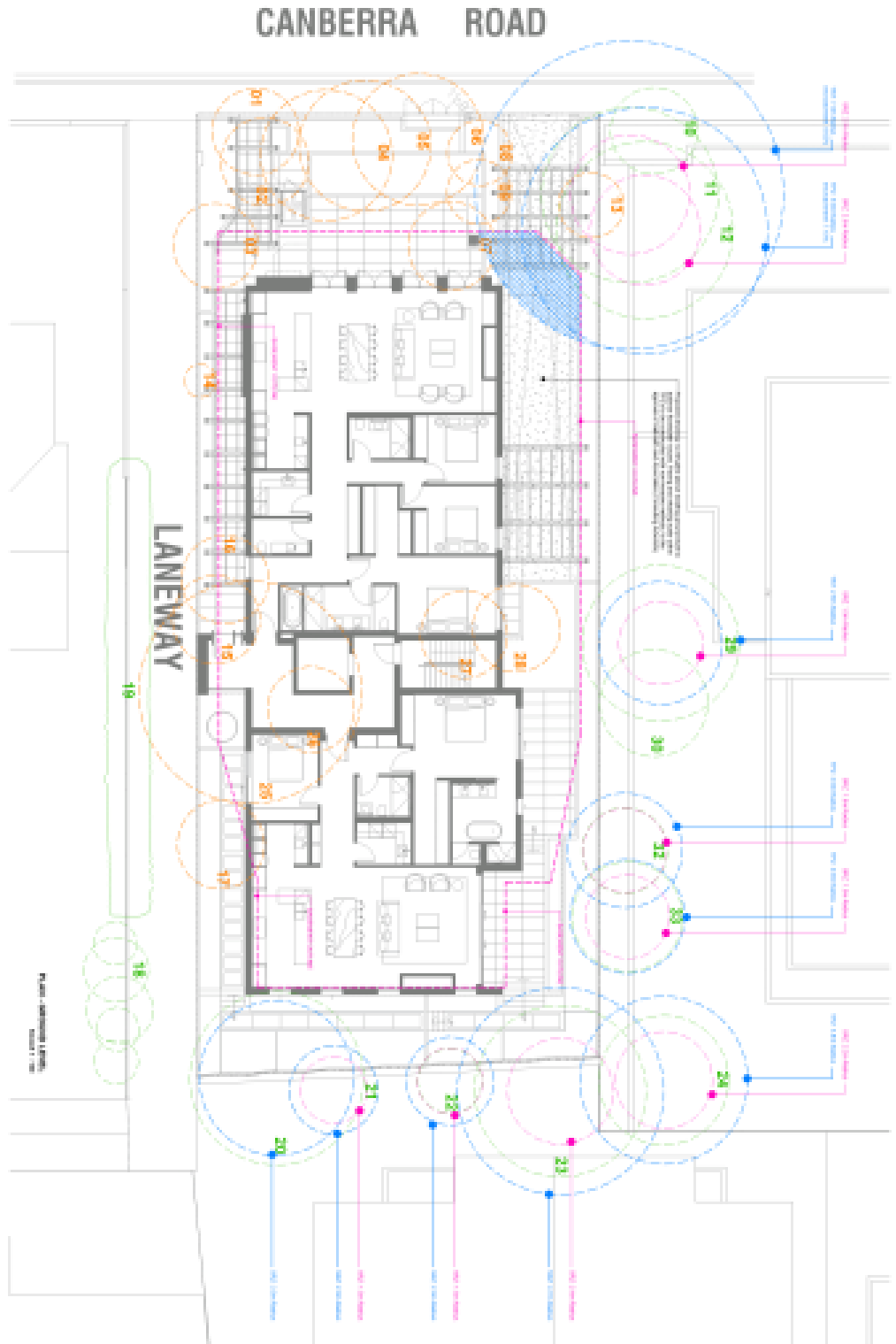




DATE: 15/08/2018  
 DRAWING NO: 874-18-4A-01  
 PROJECT: 874-18-4A-01  
 CLIENT: [REDACTED]  
 ARCHITECT: [REDACTED]

4A-4B Canberra Road, Toorak

Landscape Section



**TABLE**

**Legend**

Symbol	Description
Green circle	Landscaping - in situ
Orange circle	Landscaping - in situ
Pink circle	Landscaping/Planting
Blue circle	Proposed Planting

**TABLE**

**Callout Details**

Callout No.	Description	Notes
01	...	...
02	...	...
03	...	...
04	...	...
05	...	...
06	...	...
07	...	...
08	...	...
09	...	...
10	...	...
11	...	...
12	...	...
13	...	...
14	...	...
15	...	...
16	...	...
17	...	...
18	...	...
19	...	...
20	...	...
21	...	...
22	...	...
23	...	...
24	...	...
25	...	...
26	...	...
27	...	...
28	...	...
29	...	...
30	...	...
31	...	...
32	...	...
33	...	...
34	...	...
35	...	...
36	...	...
37	...	...
38	...	...

- GENERAL NOTES**
1. All works shall be in accordance with the relevant Australian Standards.
  2. The contractor shall be responsible for obtaining all necessary permits and approvals.
  3. All materials and workmanship shall be subject to inspection and approval by the relevant authorities.
  4. The contractor shall be responsible for the safety of all workers and the public.
  5. All work shall be completed within the specified time frame.

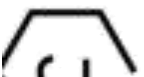


01 *na yuki no Tsubaki* (Lily Lily)  
 02 *Yamanashi* (Cherry Blossom)  
 03 *Yamanashi* (Cherry Blossom)  
 04 *Yamanashi* (Cherry Blossom)  
 05 *Yamanashi* (Cherry Blossom)  
 06 *Yamanashi* (Cherry Blossom)  
 07 *Yamanashi* (Cherry Blossom)  
 08 *Yamanashi* (Cherry Blossom)  
 09 *Yamanashi* (Cherry Blossom)  
 10 *Yamanashi* (Cherry Blossom)  
 11 *Yamanashi* (Cherry Blossom)  
 12 *Yamanashi* (Cherry Blossom)  
 13 *Yamanashi* (Cherry Blossom)  
 14 *Yamanashi* (Cherry Blossom)  
 15 *Yamanashi* (Cherry Blossom)  
 16 *Yamanashi* (Cherry Blossom)  
 17 *Yamanashi* (Cherry Blossom)  
 18 *Yamanashi* (Cherry Blossom)  
 19 *Yamanashi* (Cherry Blossom)  
 20 *Yamanashi* (Cherry Blossom)





- . Flamed Charcoal Granite Paving
- . Charcoal Exposed Aggregate Concrete
- . Galvanized Steel Pergola
- . Metal Pallisade Fencing and Gate
- . Integrated Stainless Steel Barbecue
- . Metal-Clad Planter





Item 5

Attachment 1 PA - 964-18 - 902 Malvern Road  
Armadale - Attachment 1 of 1



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**902 Malvern Road, Armadale**

Date printed: 29/05/2019  
Scale: 1:527



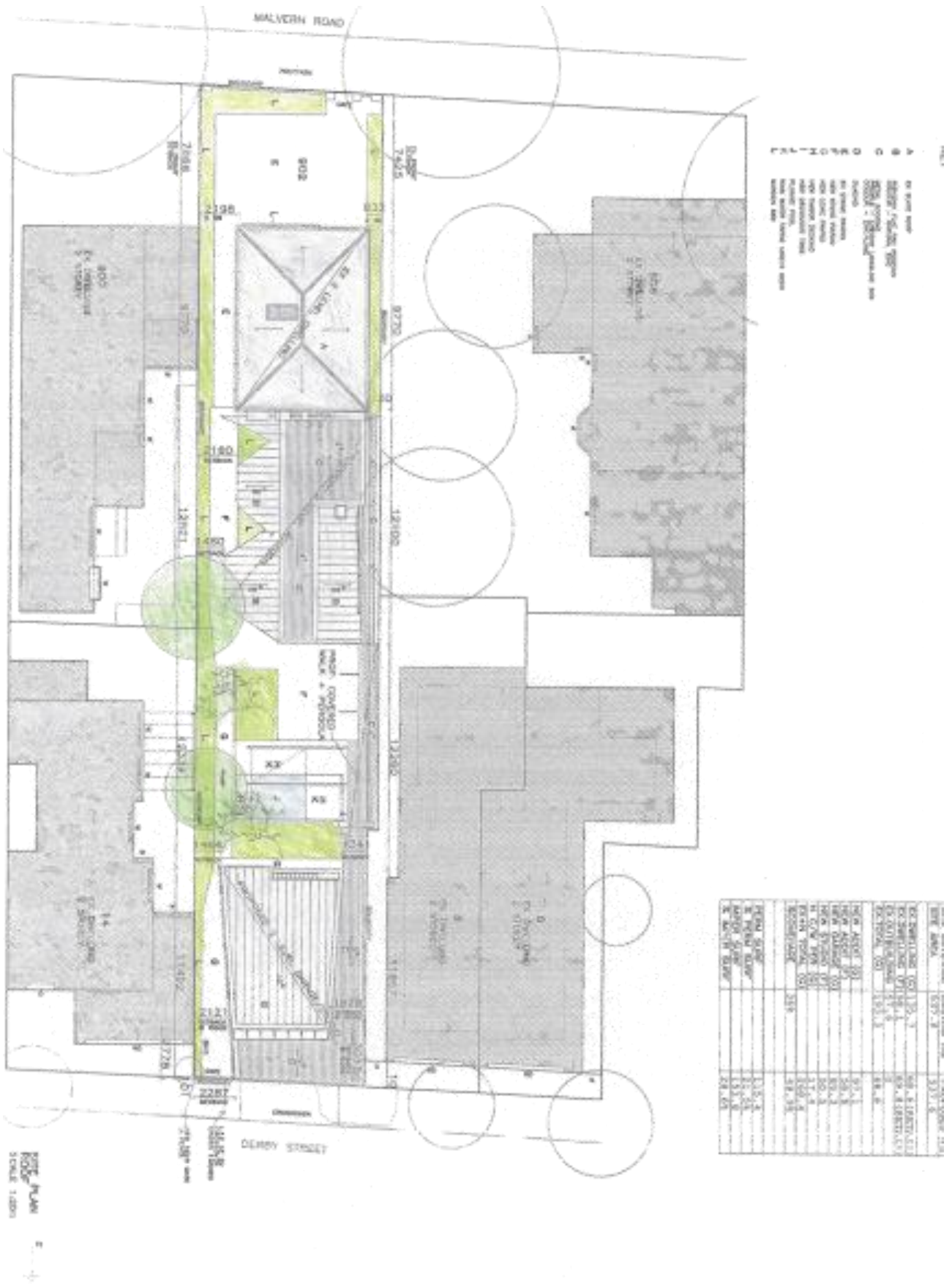




BY	DETAILS
RM	PLANNING APPLICATION 04/2018

**MARKHAM + STEUDLE / IUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 taylor street north malbourne vic 3001 p 08320883 f 08528864 theiug.com.au

1:400  
 LOCALITY PLAN A0



1. TO BE EXISTING  
 2. TO BE DEMOLISHED  
 3. TO BE CONSTRUCTED  
 4. TO BE RECONSTRUCTED  
 5. TO BE REPLACED  
 6. TO BE MAINTAINED  
 7. TO BE REMOVED  
 8. TO BE RELOCATED  
 9. TO BE ENLARGED  
 10. TO BE REDUCED  
 11. TO BE MODIFIED  
 12. TO BE ADDED  
 13. TO BE DELETED  
 14. TO BE CHANGED  
 15. TO BE PRESERVED  
 16. TO BE RESTORED  
 17. TO BE REPAIRED  
 18. TO BE REFINISHED  
 19. TO BE REFINISHED  
 20. TO BE REFINISHED

ITEM NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	DEMOLITION	1	HA	100000	100000
2	CONSTRUCTION	1	HA	200000	200000
3	LANDSCAPING	1	HA	50000	50000
4	PAVING	1	HA	150000	150000
5	ROOFING	1	HA	100000	100000
6	MECHANICAL	1	HA	100000	100000
7	ELECTRICAL	1	HA	100000	100000
8	PLUMBING	1	HA	100000	100000
9	INTERIORS	1	HA	100000	100000
10	EXTERIORS	1	HA	100000	100000
11	LANDSCAPING	1	HA	50000	50000
12	PAVING	1	HA	150000	150000
13	ROOFING	1	HA	100000	100000
14	MECHANICAL	1	HA	100000	100000
15	ELECTRICAL	1	HA	100000	100000
16	PLUMBING	1	HA	100000	100000
17	INTERIORS	1	HA	100000	100000
18	EXTERIORS	1	HA	100000	100000
19	LANDSCAPING	1	HA	50000	50000
20	PAVING	1	HA	150000	150000
21	ROOFING	1	HA	100000	100000
22	MECHANICAL	1	HA	100000	100000
23	ELECTRICAL	1	HA	100000	100000
24	PLUMBING	1	HA	100000	100000
25	INTERIORS	1	HA	100000	100000
26	EXTERIORS	1	HA	100000	100000
27	LANDSCAPING	1	HA	50000	50000
28	PAVING	1	HA	150000	150000
29	ROOFING	1	HA	100000	100000
30	MECHANICAL	1	HA	100000	100000
31	ELECTRICAL	1	HA	100000	100000
32	PLUMBING	1	HA	100000	100000
33	INTERIORS	1	HA	100000	100000
34	EXTERIORS	1	HA	100000	100000
35	LANDSCAPING	1	HA	50000	50000
36	PAVING	1	HA	150000	150000
37	ROOFING	1	HA	100000	100000
38	MECHANICAL	1	HA	100000	100000
39	ELECTRICAL	1	HA	100000	100000
40	PLUMBING	1	HA	100000	100000
41	INTERIORS	1	HA	100000	100000
42	EXTERIORS	1	HA	100000	100000
43	LANDSCAPING	1	HA	50000	50000
44	PAVING	1	HA	150000	150000
45	ROOFING	1	HA	100000	100000
46	MECHANICAL	1	HA	100000	100000
47	ELECTRICAL	1	HA	100000	100000
48	PLUMBING	1	HA	100000	100000
49	INTERIORS	1	HA	100000	100000
50	EXTERIORS	1	HA	100000	100000

SITE PLAN  
 SCALE 1:500

BY: UG WORKS  
 FOR: PLANNING APPLICATION 04/2018

**MARKHAM + STEUDLE / UG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 Aylesford North Melbourne VIC 3061 p 0393299833 f 0393293044 www.mskm.com.au  
 1402 BOYLE STREET  
 SITE PLAN PROPOSED AD

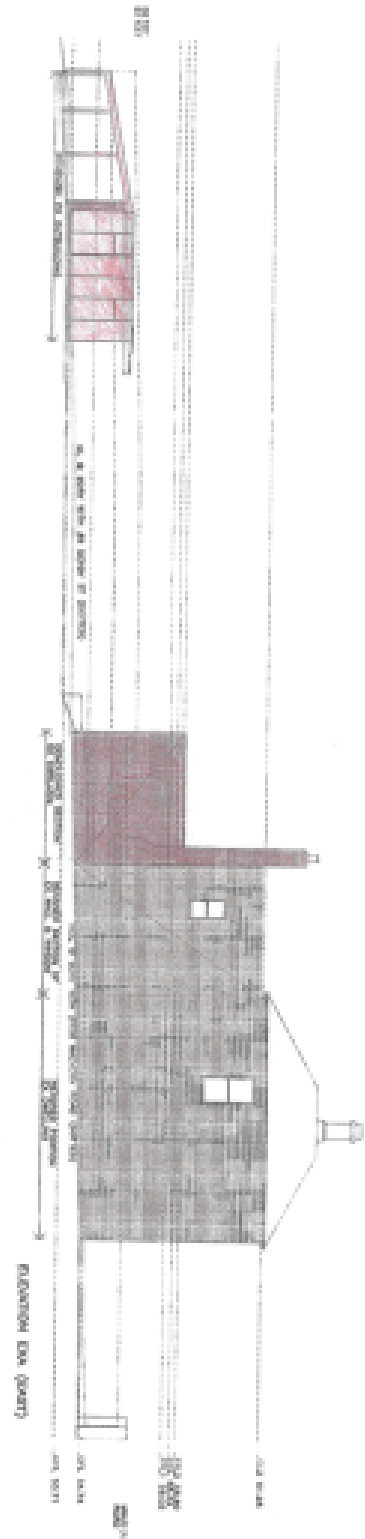
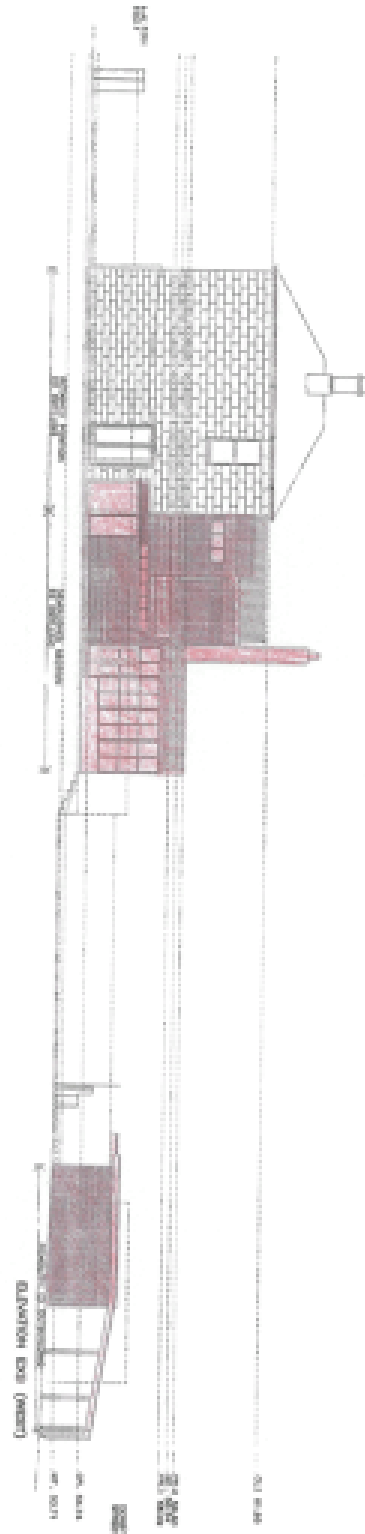
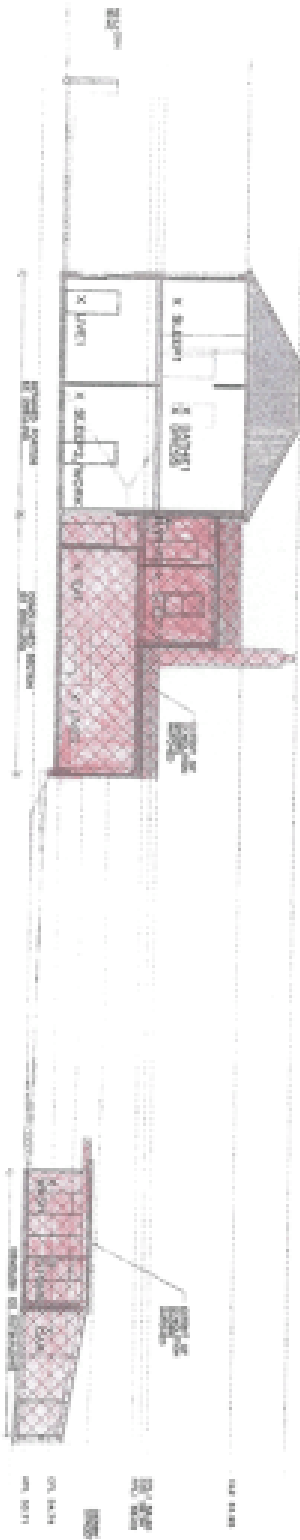


PLAN  
 EXISTING  
 DEMOLITION  
 SCALE 1:500  
 REV  
 DATE

BY	DETAILS
DR	PLANNING APPLICATION 04/2016

**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 rogan street south melbourne vic 3051 p 35024000 f 35020644 theurbangreen.com.au  
 3433  
 DOYLE HOUSE  
 EXISTING CONDITIONS  
 DEMOLITION PLAN  
 AD

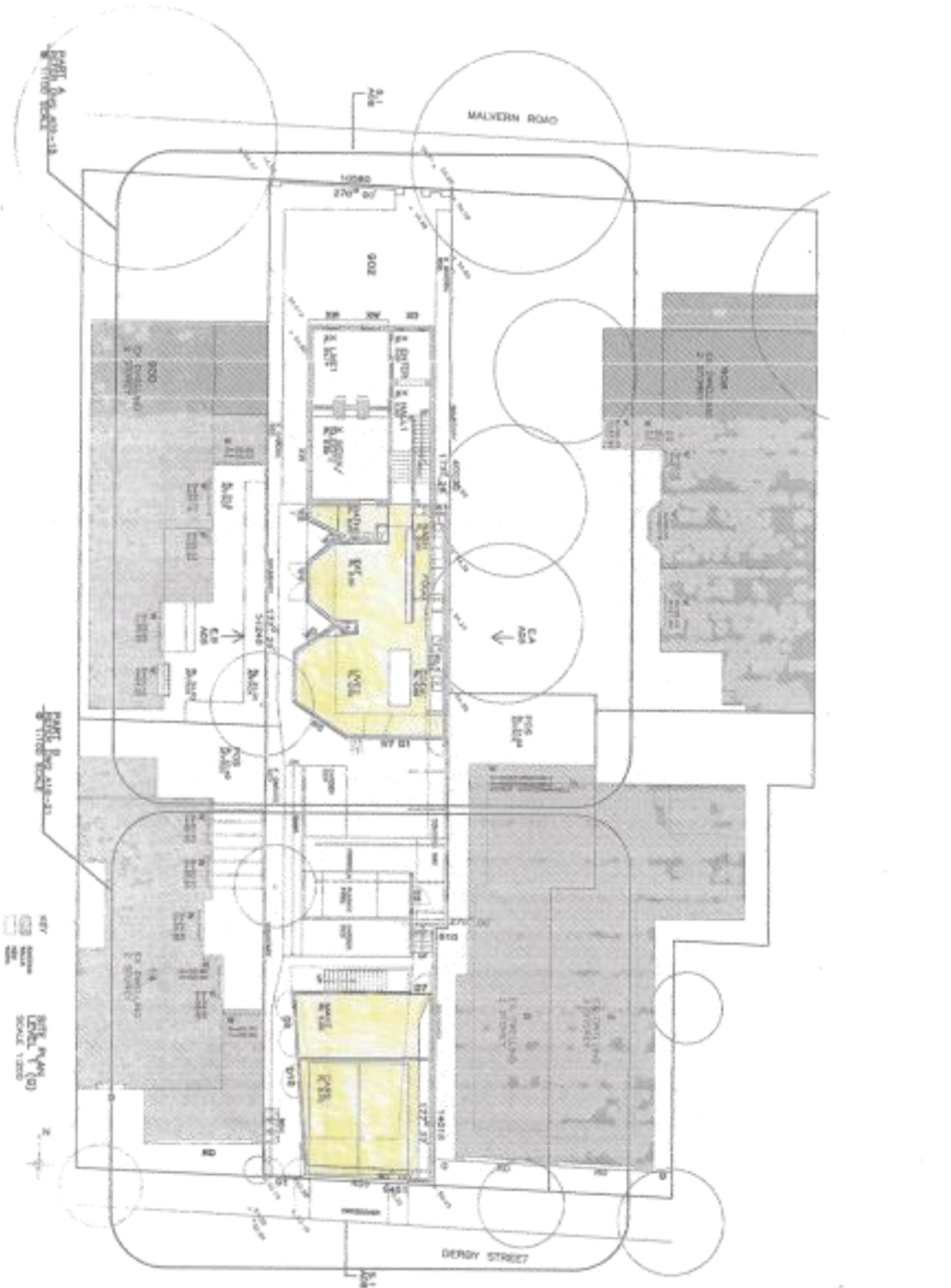




BY	DETAILS
MM	PLANNING APPLICATION 09/2018

**MARKHAM + STEUDLE / iUG workshop**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 regina street north melbourne vic 3000 | 0393290000 | 0393290044 | theurbangreen.com.au

1403  
 EXISTING CONDITIONS  
 AD



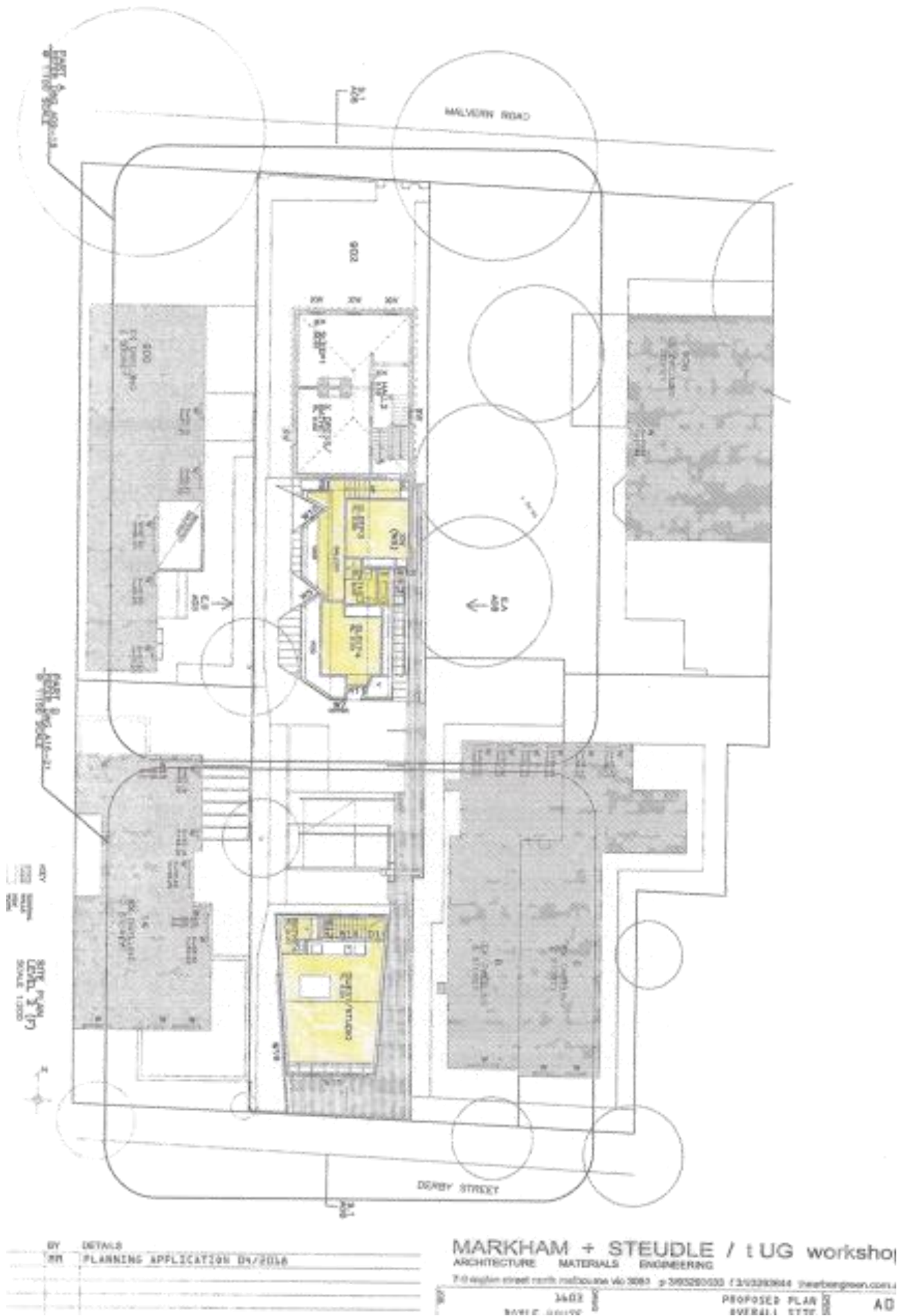
BY	DETAILS
HR	PLANNING APPLICATION 04/2018

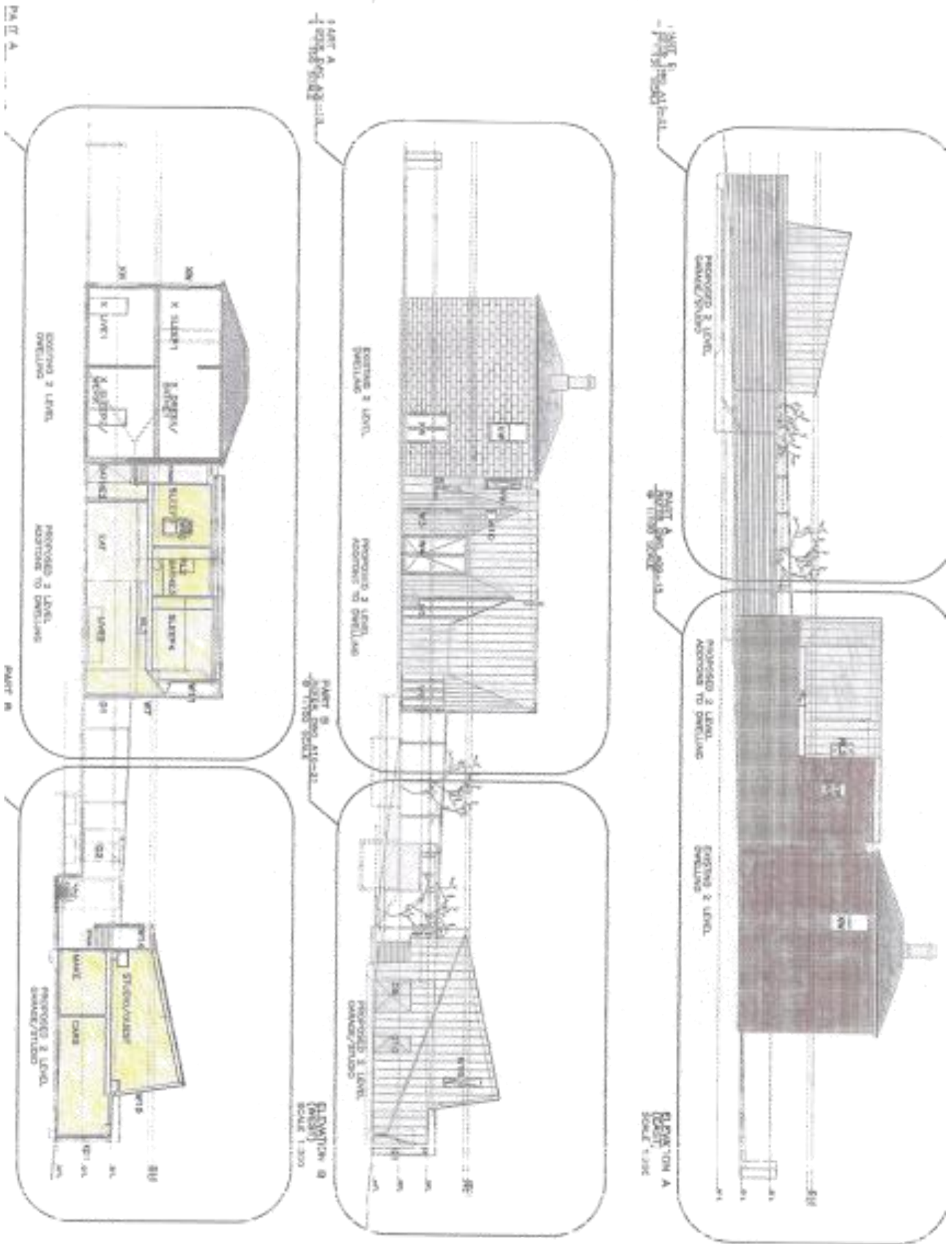
**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-11 rugin street north melbourne vic 3051 p 34320903 f 34320644 thebangwee.com.au

1:100  
 SCALE BAR

PROPOSED PLAN  
 OVERALL SITE

AD1





1/1 05/18/16  
 1/1 11/18/16  
 PLANNING APPLICATION 04/2016

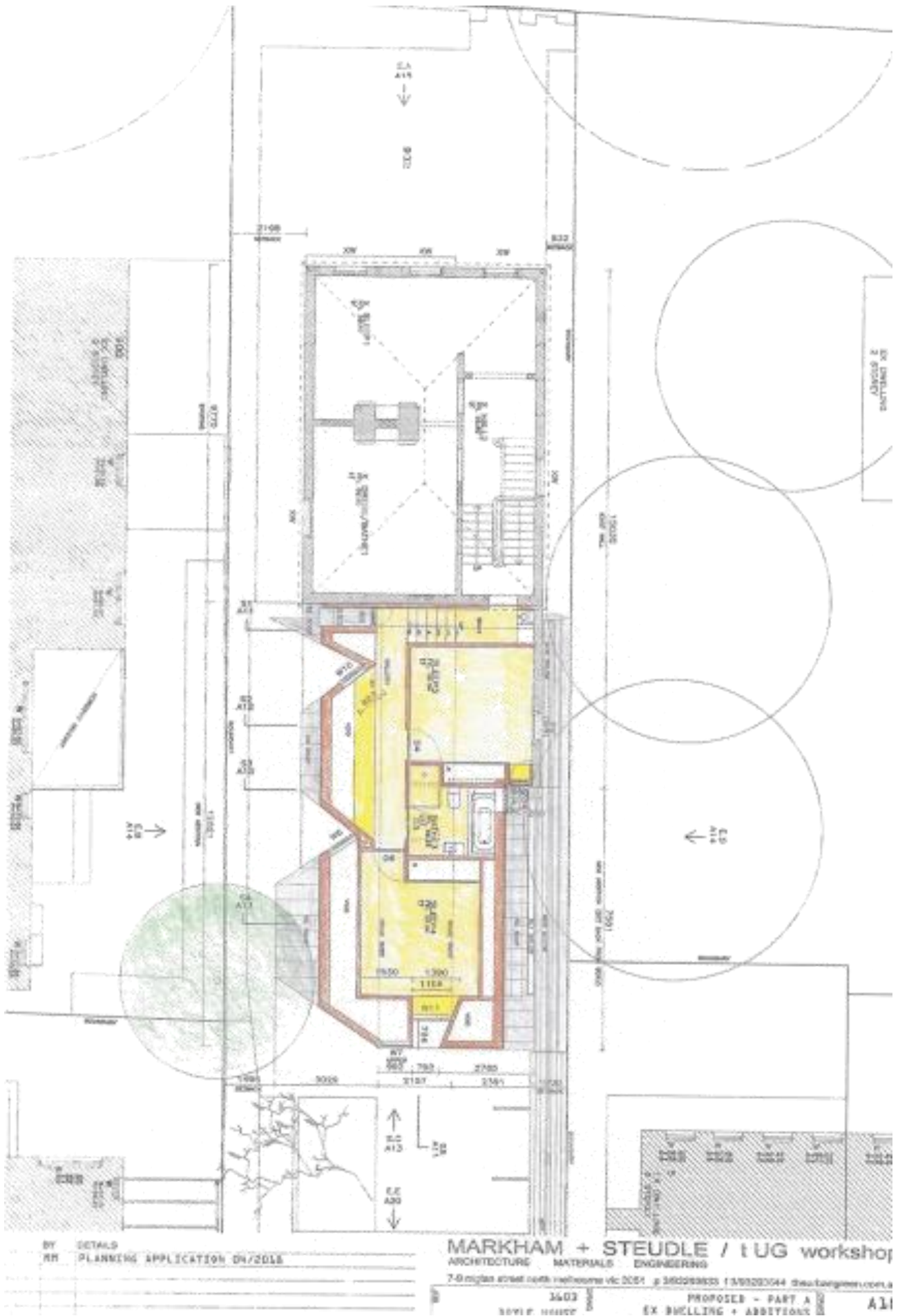
**MARKHAM + STEUDLE / IUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 zigzag street north melbourne vic 3051 p 340286320 f 393200544 theurbangreen.com.au  
 1603  
 SECTION A  
 PROPOSED  
 OVERALL SECTION 1  
 AD

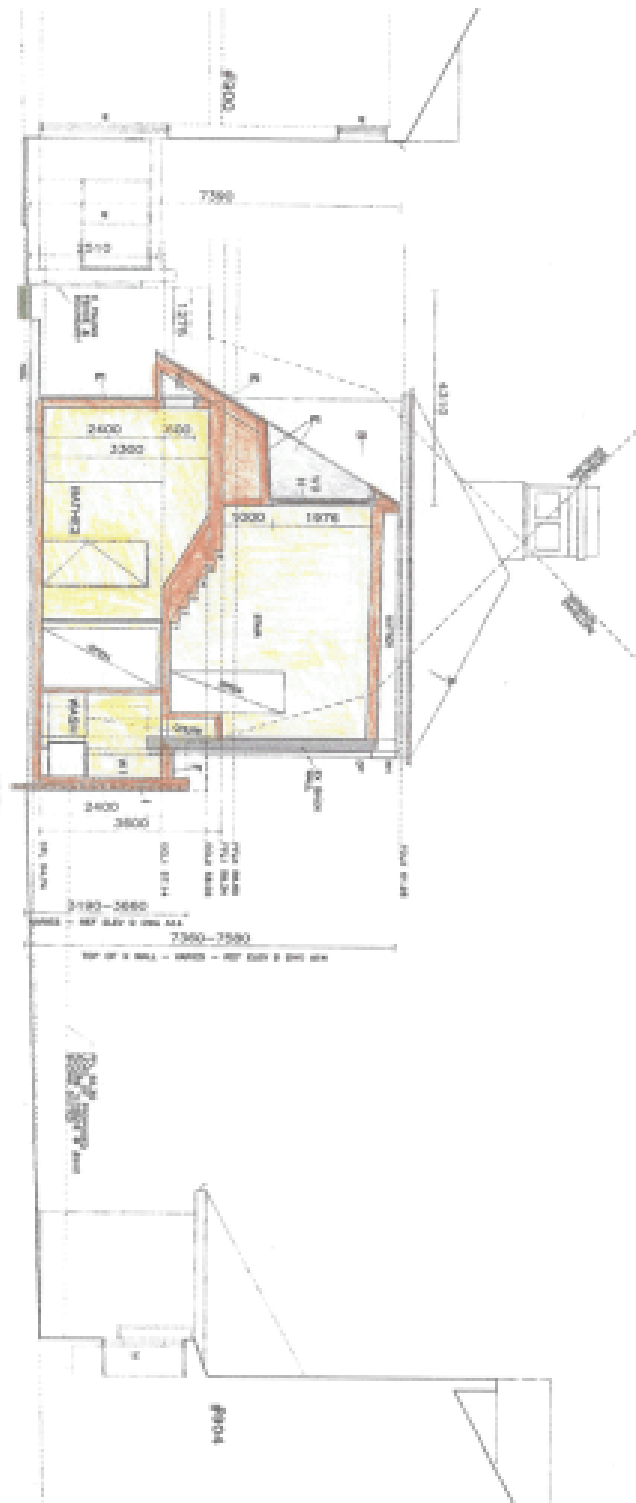




BY DETAILS  
 RE PLANNING APPLICATION DA/2018

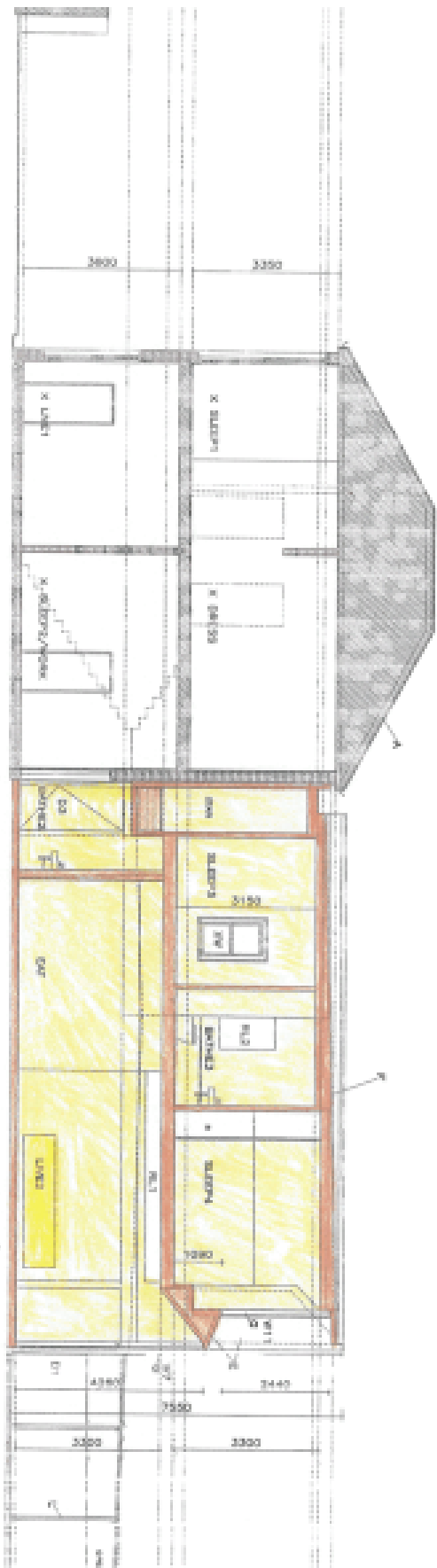
**MARKHAM + STEUDLE / tUG workshop**  
 ARCHITECTURE MATERIALS ENGINEERING  
 748 ryeley street north melbourne vic 3051 p 043200633 f 050220344 theurbangreen.com.au  
 1603  
 PROPOSED - PART 4  
 ES BULLING + ASSOCIATES



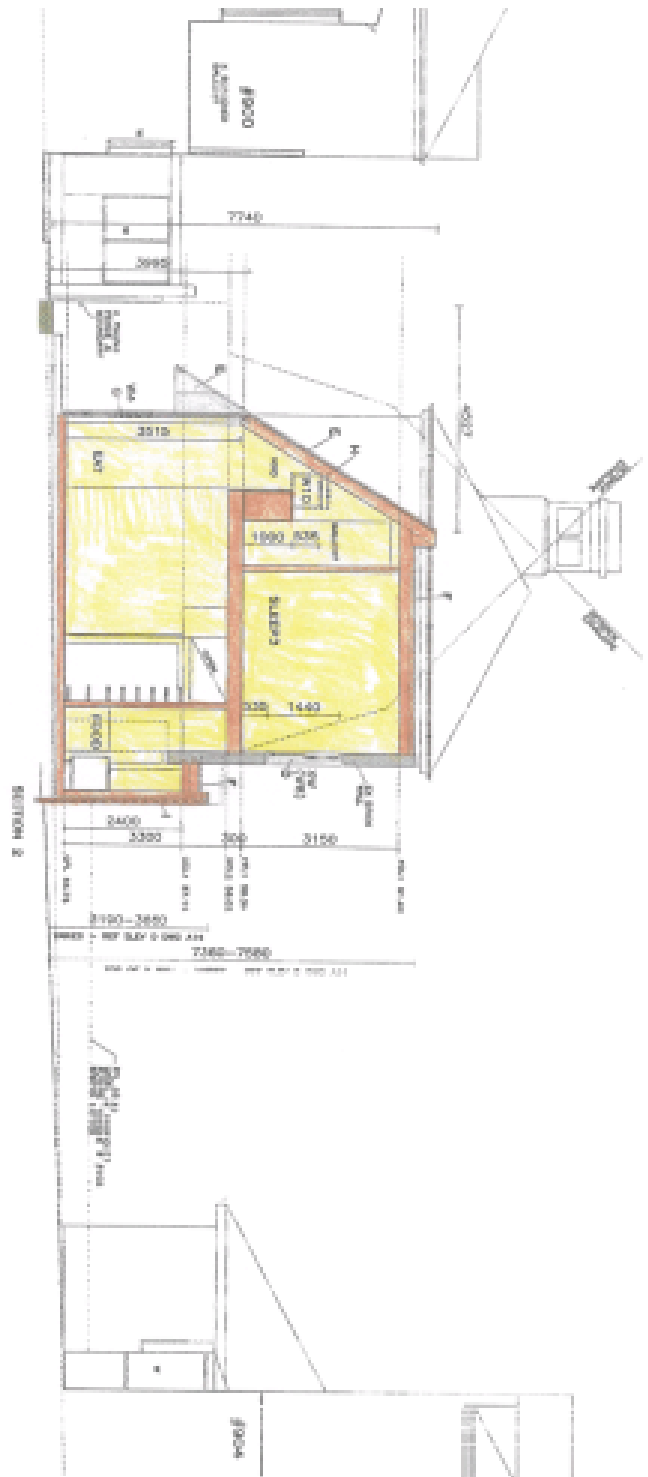
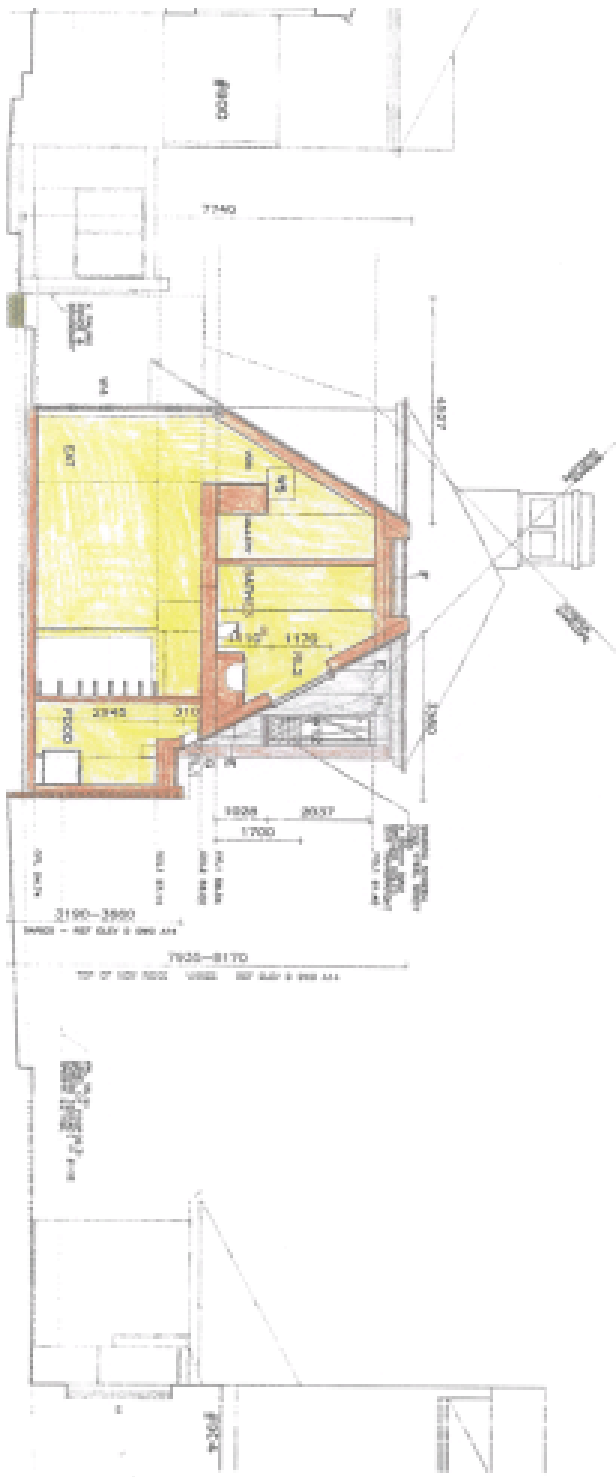


- KEY TO MATERIALS**
- A BRICK - EXTERIOR
  - B BRICK - INTERIOR
  - C CONCRETE - FLOOR
  - D CONCRETE - WALL
  - E CONCRETE - ROOF
  - F GYPSUM BOARD - WALL
  - G GYPSUM BOARD - CEILING
  - H GYPSUM BOARD - FLOOR
  - I GYPSUM BOARD - PARTITION
  - J GYPSUM BOARD - LINING
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  - Z GYPSUM BOARD - LINING

BY	DETAILS
MR	PLANNING APPLICATION 04/2018



**MARKHAM + STEUDLE / IUG workshop**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 regina street north melbourne vic 3001 p 526220000 f 529220044 theurbangreen.com.au  
 3403  
 PREPARED - PART A  
 02/07/2018

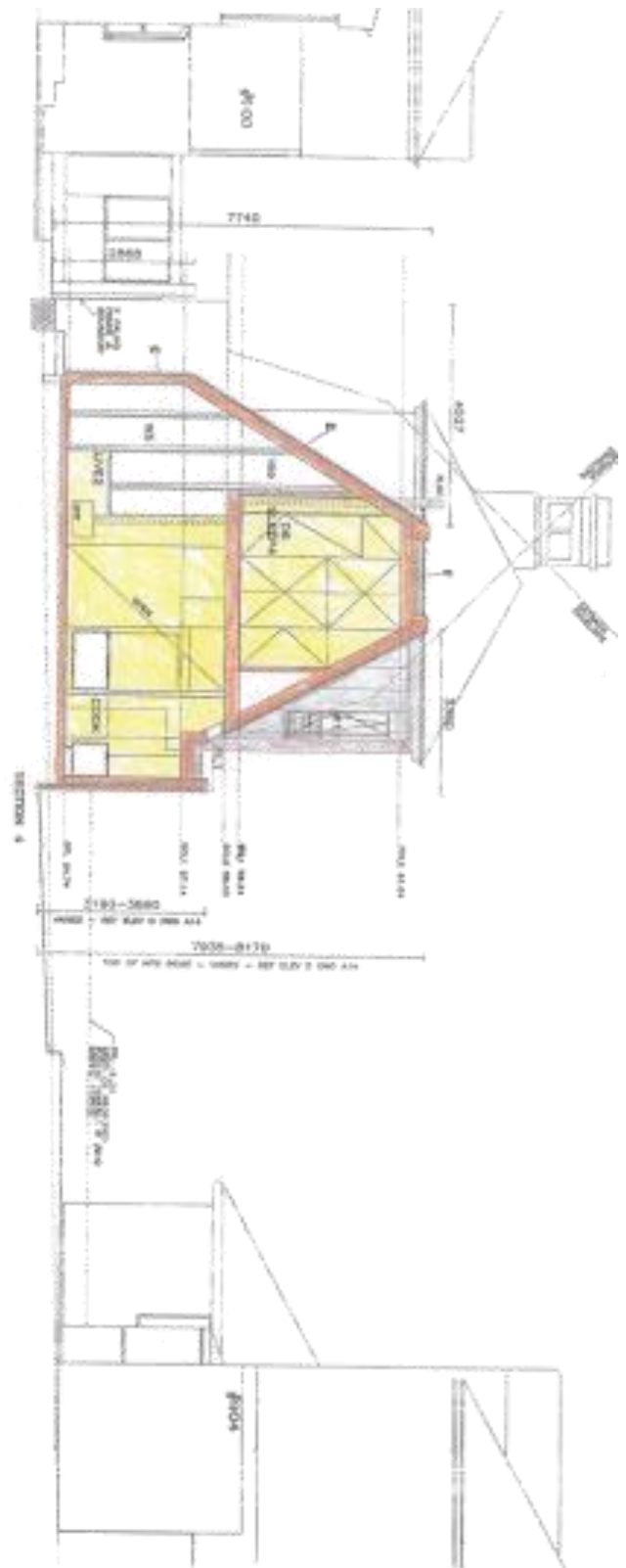
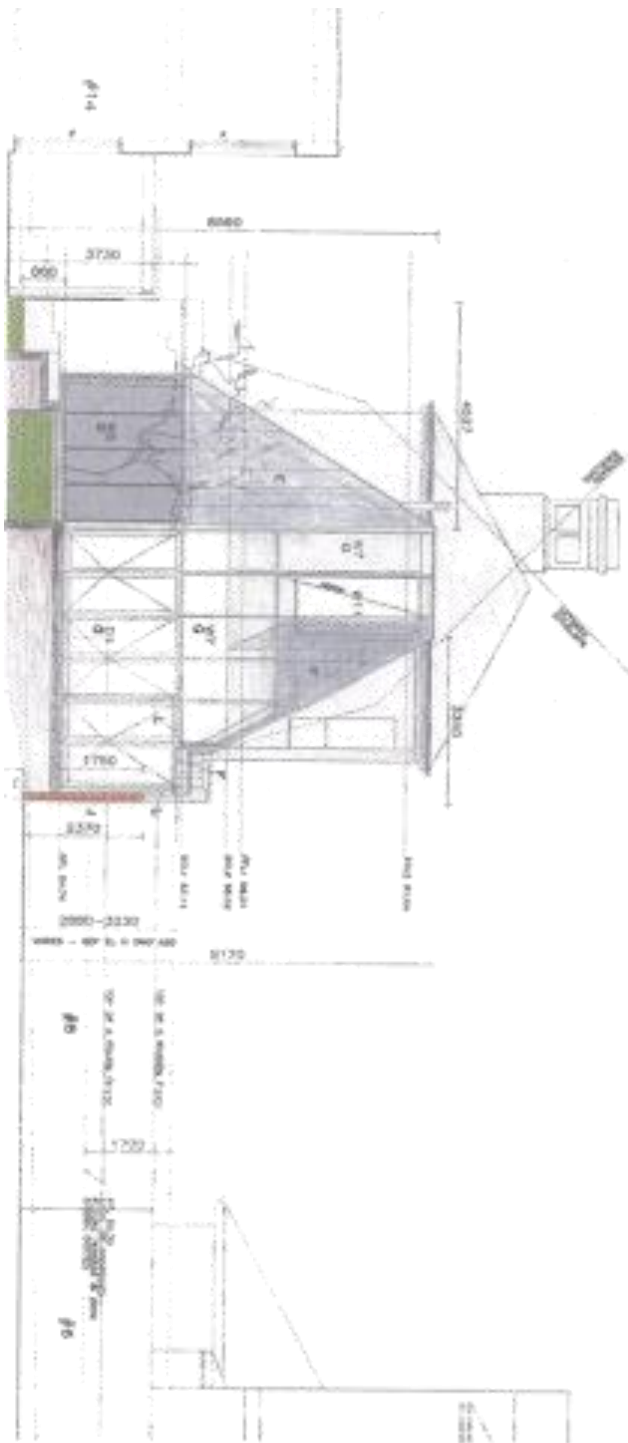


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  - 100. Slab - 100mm

BY	DETAILS
BY	PLANNING APPLICATION D472016

**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 taglio street north melbourne vic 3051 p 0393804833 f 0393200444 theubangreen.com.au

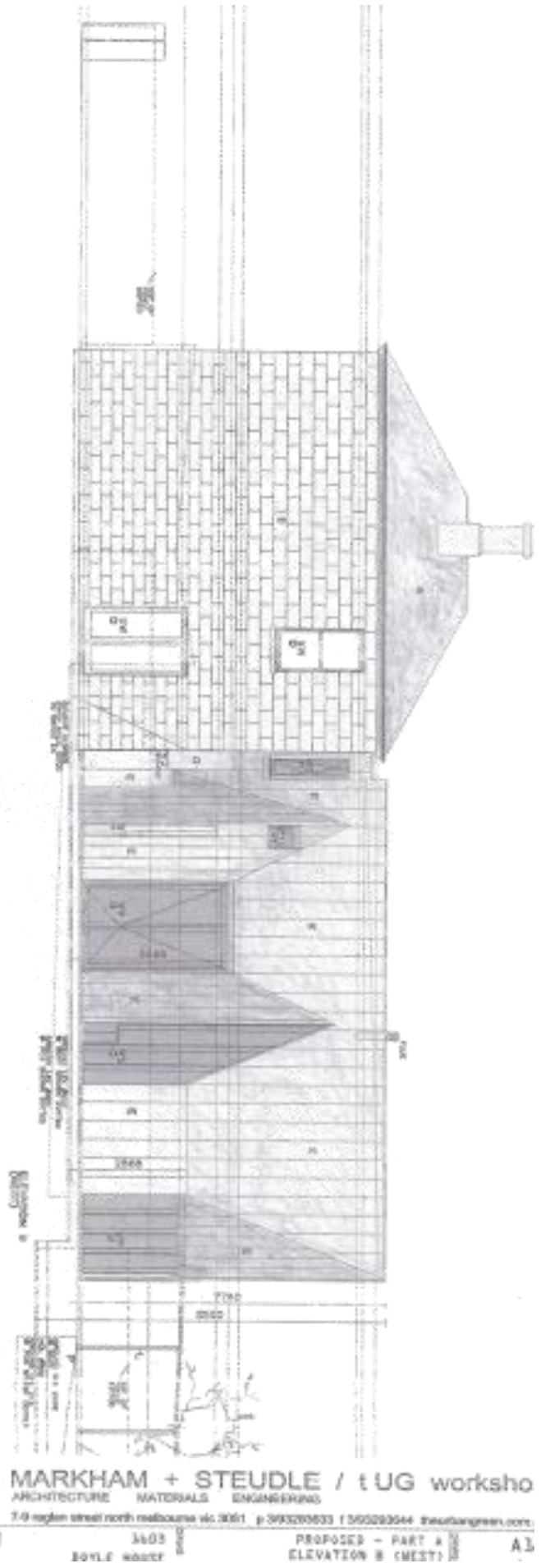
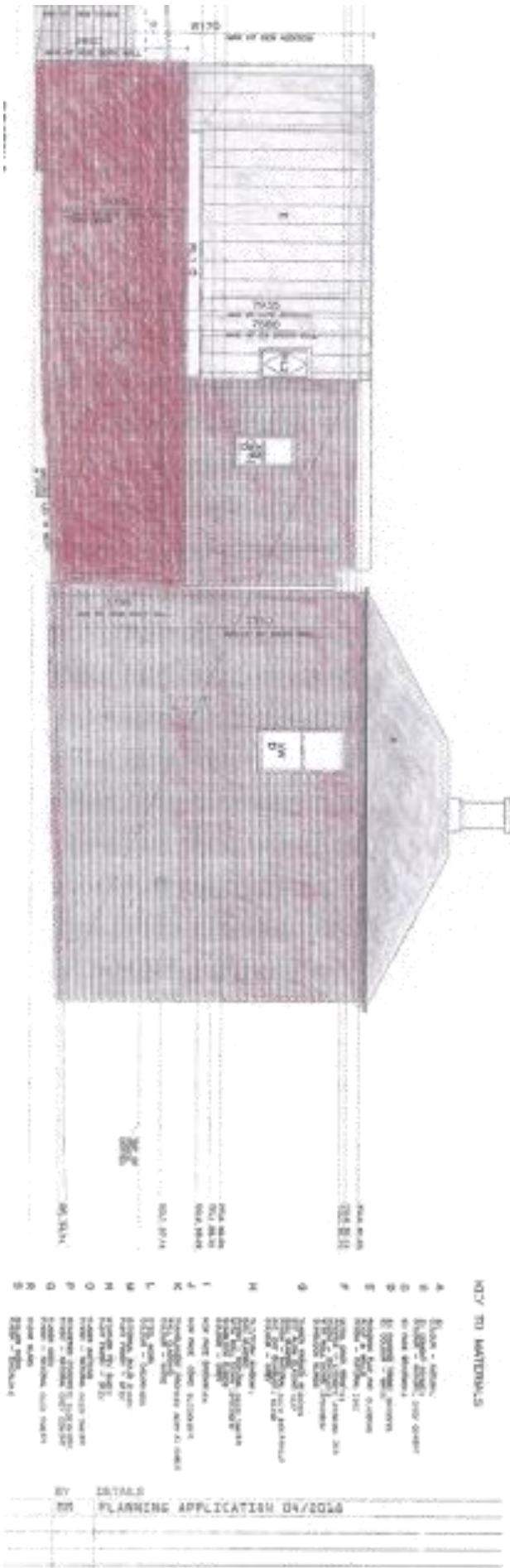
1603  
 PART 5  
 PROPOSED - PART 8  
 SECTION 3.1  
 A1



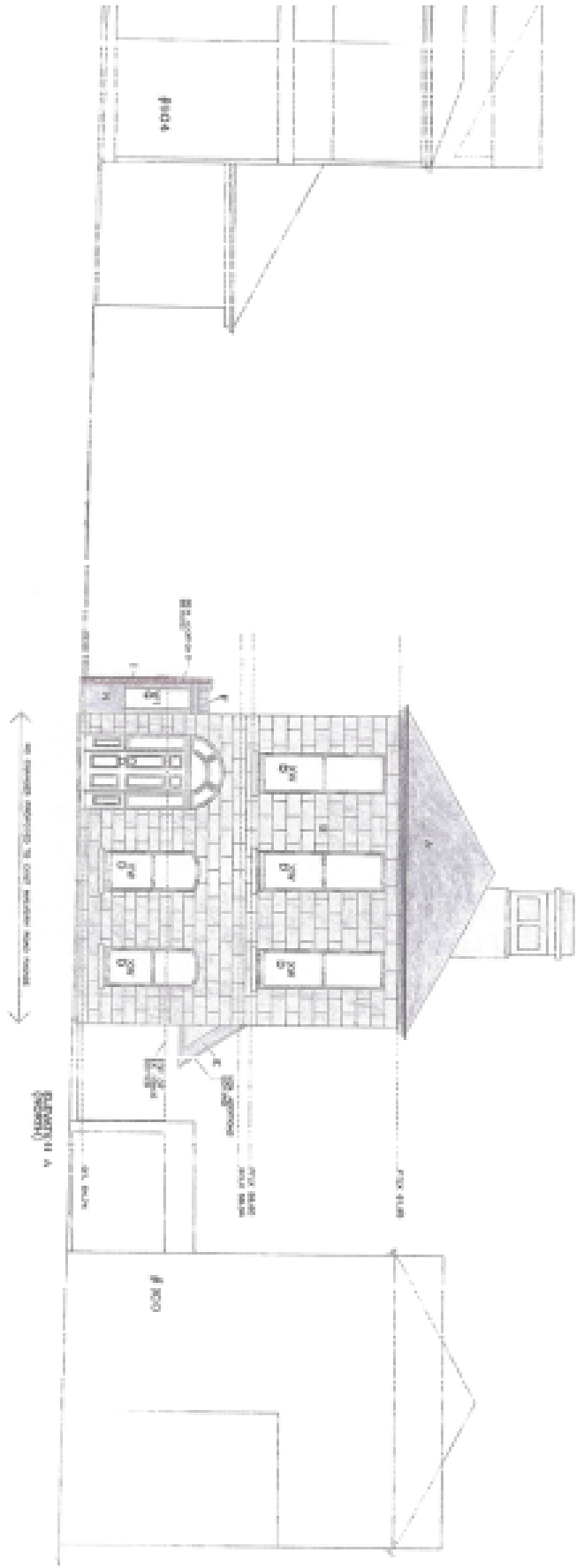
- KEY TO MATERIALS**
- 1 BRICK - EXTERIOR
  - 2 BRICK - INTERIOR
  - 3 CONCRETE - FOUNDATION
  - 4 CONCRETE - SLAB
  - 5 CONCRETE - BEAM
  - 6 CONCRETE - COLUMN
  - 7 CONCRETE - WALL
  - 8 CONCRETE - ROOF
  - 9 CONCRETE - TERRACE
  - 10 CONCRETE - DRIVEWAY
  - 11 CONCRETE - DRIVEWAY
  - 12 CONCRETE - DRIVEWAY
  - 13 CONCRETE - DRIVEWAY
  - 14 CONCRETE - DRIVEWAY
  - 15 CONCRETE - DRIVEWAY
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  - 49 CONCRETE - DRIVEWAY
  - 50 CONCRETE - DRIVEWAY

NO	DETAILS
01	PLANNING APPLICATION 04/2018

**MARKHAM + STEUDLE / IUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 regent street north melbourne vic 3051 p 350223303 f 393220644 (hurbangreen.com.au)  
 1603  
 PROPOSED - PART A  
 11/11/18



- KEY TO MATERIALS**
- A. Brick - white
  - B. Light grey brick
  - C. Red brick
  - D. Dark grey brick
  - E. Dark grey brick
  - F. Dark grey brick
  - G. Dark grey brick
  - H. Dark grey brick
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  - W. Dark grey brick
  - X. Dark grey brick
  - Y. Dark grey brick
  - Z. Dark grey brick



BY	DETAILS
BY	PLANNING APPLICATION 09/2018

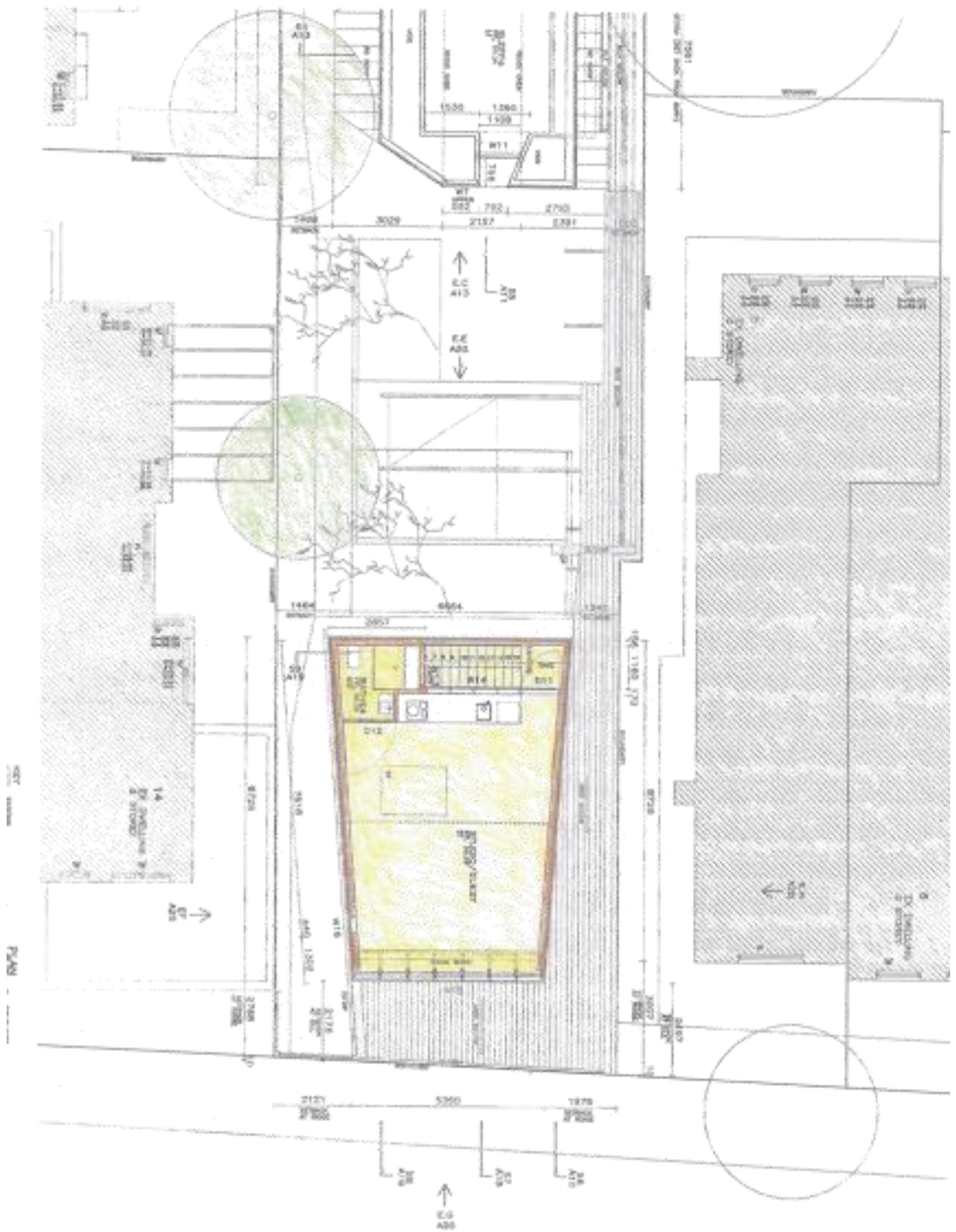
**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 mylar street north melbourne vic 3001 p 030209830 f 030209844 thesturgeon.com.au  
 1403  
 50m P WATER  
 PROPOSED - PART A  
 ELEVATION & INSERT  
**A1**



BY DETAILS  
 MM PLANNING APPLICATION 01/2016

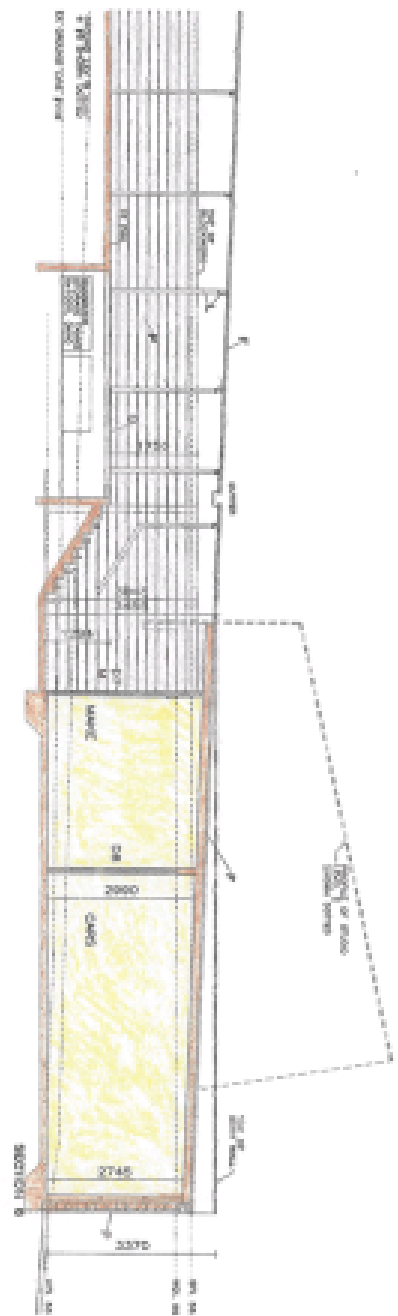
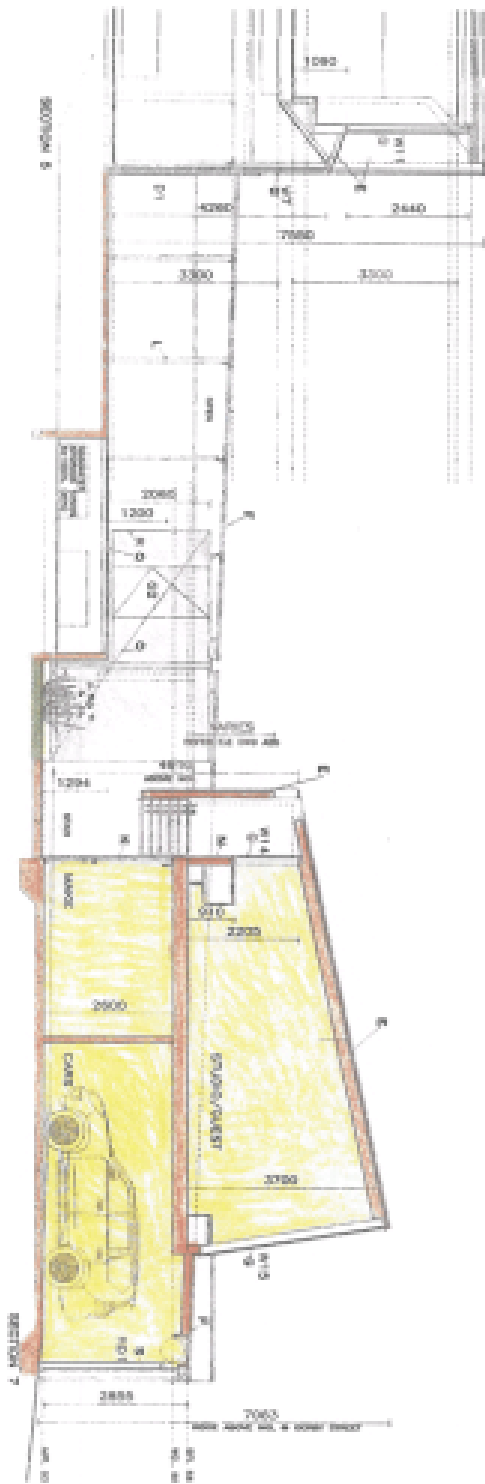
**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 High Street North Melbourne VIC 3061 p 393228633 f 393228664 [www.tugworkshop.com.au](http://www.tugworkshop.com.au)  
 1403 BOYLE HOUSE PROPOSED - PART B GARAGE & STUDIO A1





BY	DETAILS
NR	PLANNING APPLICATION 05/2015

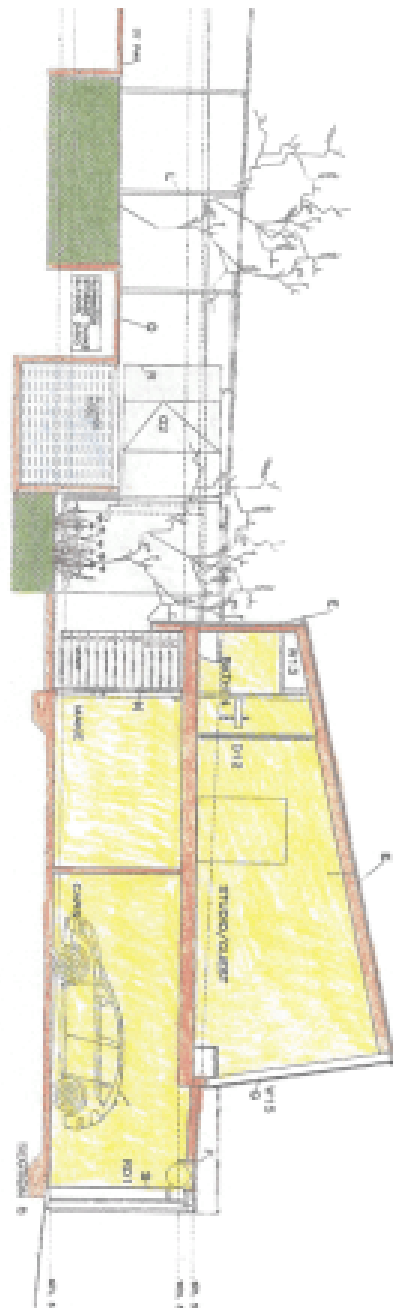
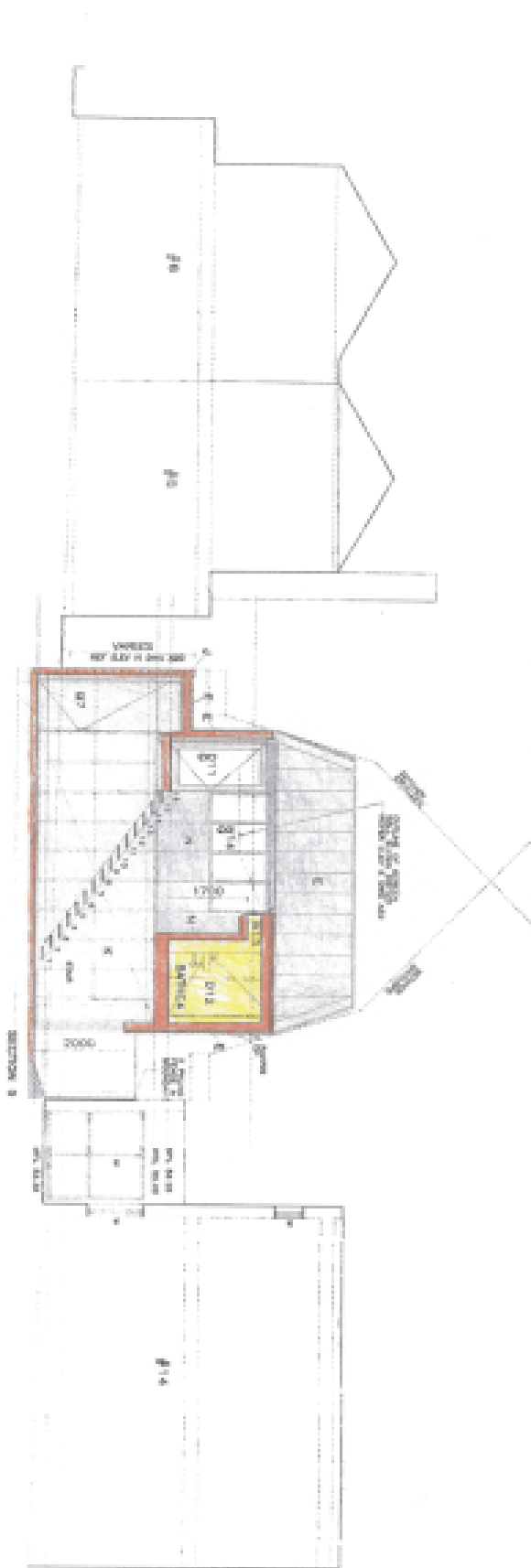
**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 taglin street north melbourne vic 3001 p 593293633 f 593293644 #wehurgreen.com  
 3603  
 8011 f 5000  
 PROPOSED - PART 2  
 GARAGE & STUDIOS  
**A1**



- KEY TO MATERIALS**
- 1. Slab - concrete
  - 2. Slab - concrete
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BY DETAILS  
 RE PLANNING APPLICATION 04/2018

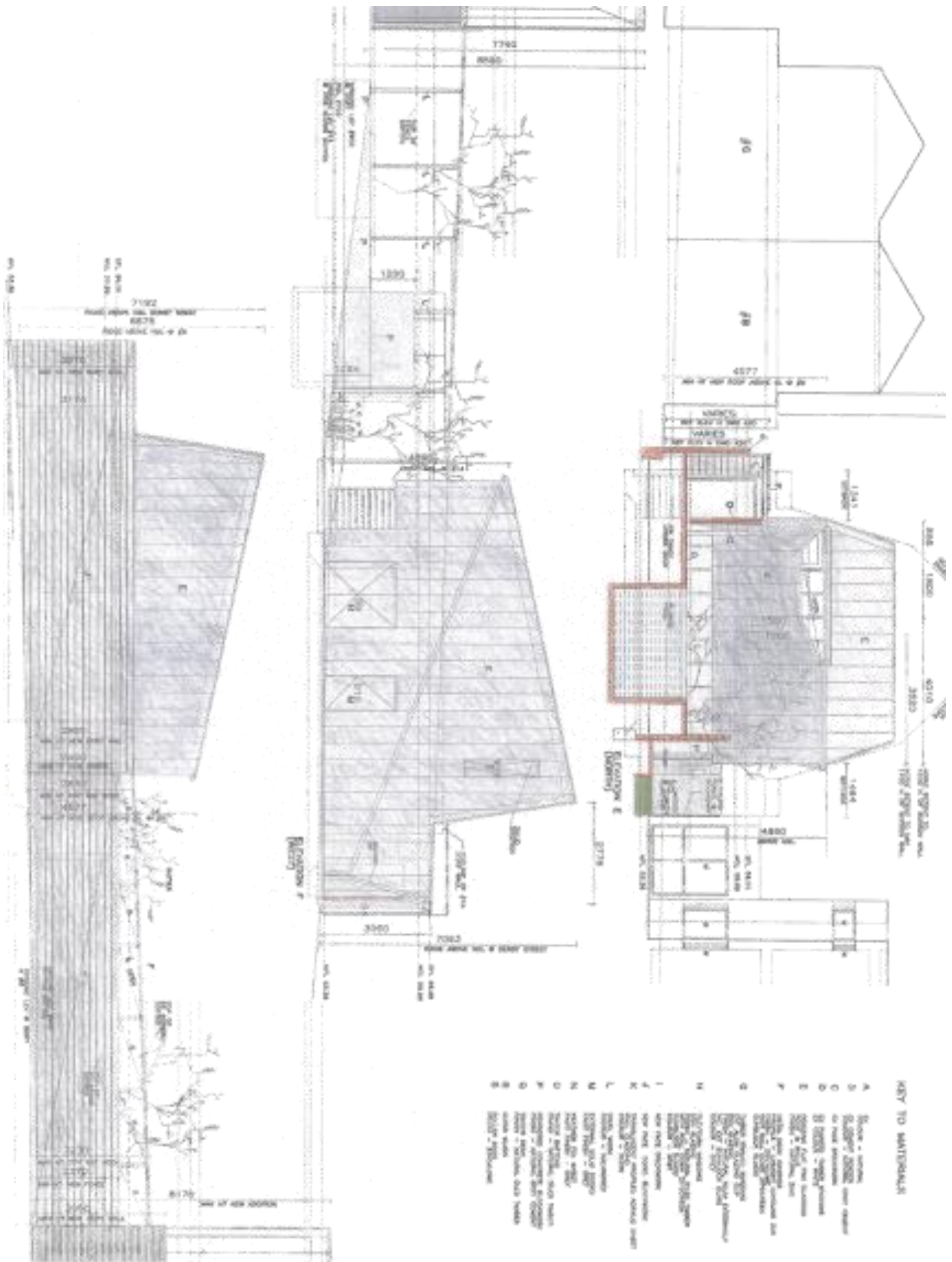
**MARKHAM + STEUDLE / IUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 T: 03 9422 0000 F: 03 9422 0044 theurbangreen.com  
 1400  
 PREPARED - PART B SECTION 6  
 A1



- KEY TO MATERIALS
1. Structural Steel
  2. Concrete
  3. Brickwork
  4. Masonry
  5. Timber
  6. Glass
  7. Insulation
  8. Roofing
  9. Cladding
  10. Floor Finish
  11. Wall Finish
  12. Ceiling Finish
  13. Staircase
  14. Lift
  15. Mechanical Services
  16. Electrical Services
  17. Plumbing Services
  18. Landscaping
  19. Retaining Walls
  20. Fencing

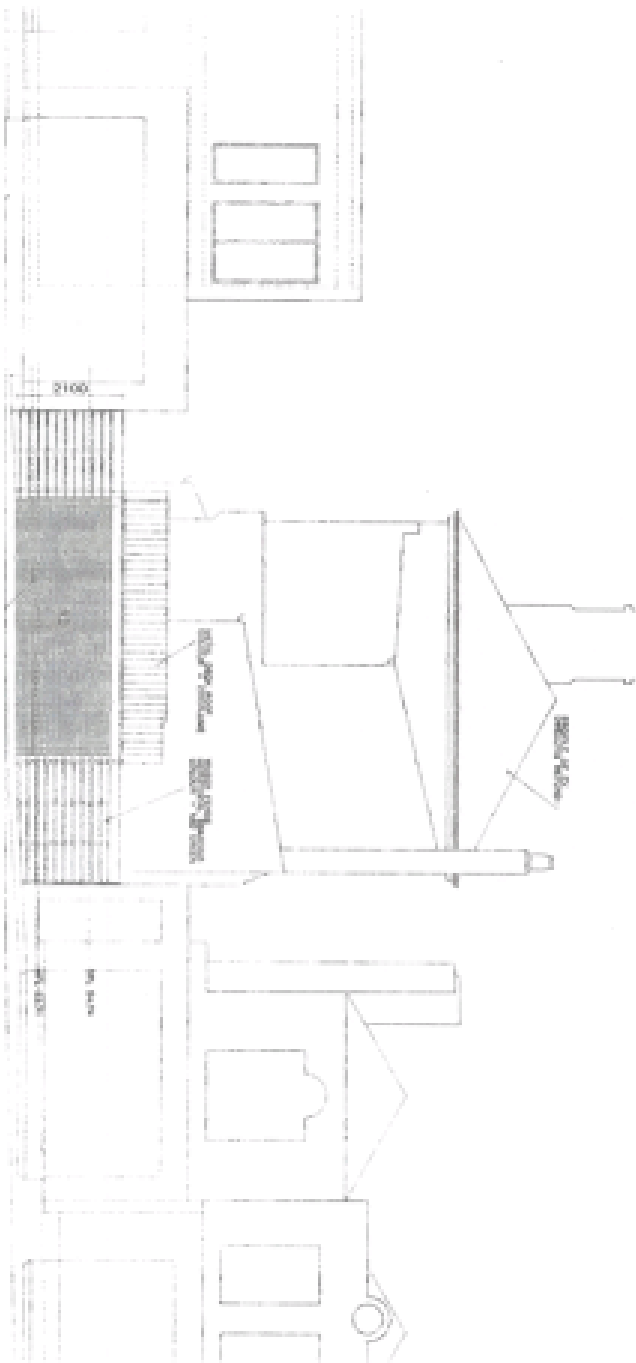
BY DETAILS  
 BY PLANNING APPLICATION 08/2018

**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-G Craigie Street North Melbourne VIC 3001 p 380288820 f 380283614 theartsgroup.com  
 1403  
 BOYD MAHAR  
 PROPOSED - PART B  
 SECTION 4  
 A1



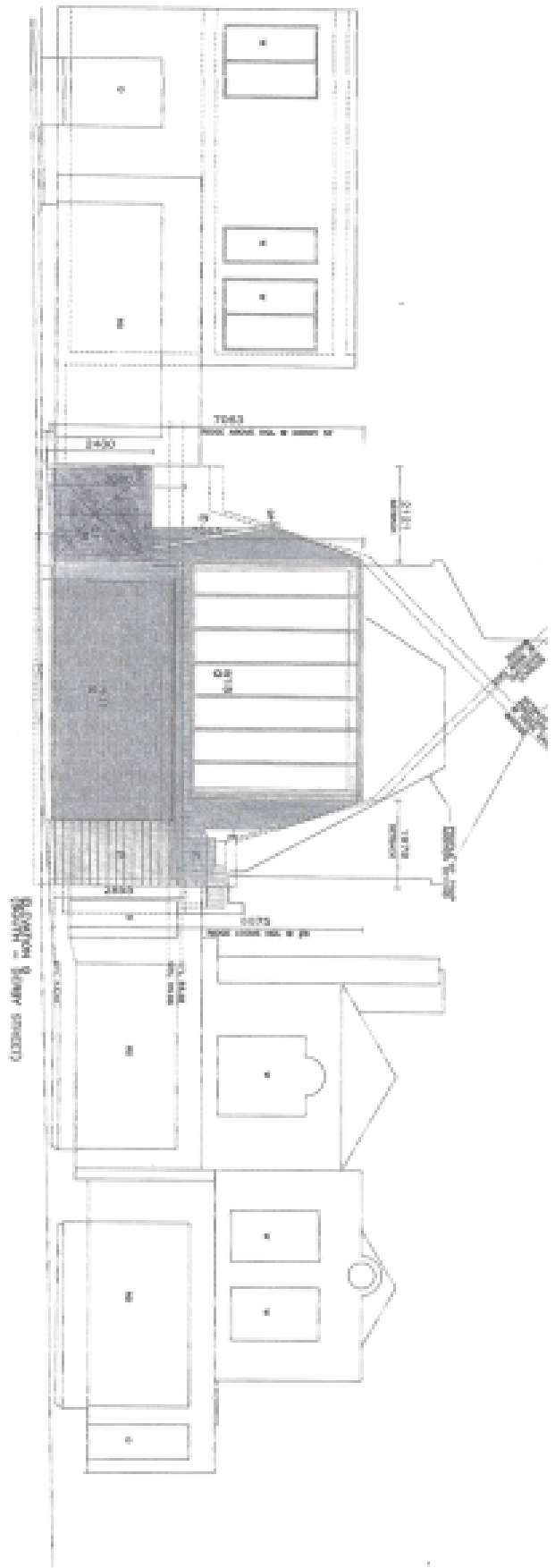
BY	DETAILS
BY	PLANNING APPLICATION 04/2016

**MARKHAM + STEUDLE / tUG workshc**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-8 ryalan street north melbourne vic 3051 p 060200820 f 030293044 thebiggreen.com  
 1403  
 BOYLE HOUSE  
 PROPOSED - PART 3  
 ELEV E (NORTH)  
 AC



- KEY TO MATERIALS**
- A Blue - metal
  - B SILVER ANODISED ALUMINIUM
  - C BROWN ANODISED ALUMINIUM
  - D BROWN ANODISED ALUMINIUM
  - E BROWN ANODISED ALUMINIUM
  - F BROWN ANODISED ALUMINIUM
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  - W BROWN ANODISED ALUMINIUM
  - X BROWN ANODISED ALUMINIUM
  - Y BROWN ANODISED ALUMINIUM
  - Z BROWN ANODISED ALUMINIUM

BY DETAILS  
 RN PLANNING APPLICATION 04/2018



**MARKHAM + STEUDLE / tUG worksho**  
 ARCHITECTURE MATERIALS ENGINEERING  
 7-9 rogan street north melbourne vic 3051 p 340283603 f 383200844 theurbangreen.com  
 1603 PROPOSED - PART 0  
 88YLE HOUSE (ELEV G 180BY ST - SOUTH) AC

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## STORM Rating Report

TransactionID: 701948  
 Municipality: STONNINGTON  
 Rainfall Station: STONNINGTON  
 Address: 902  
 Malvern Road  
 Armadale  
 VIC 3143  
 Assessor: Michael Markham - tUG workshop architects  
 Development Type: Residential - Extension  
 Allotment Site (m2): 537.60  
 STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Area 1	54.60	None	0.00	0	0.00	0.00
Area 2	181.00	Rainwater Tank	5,500.00	4	121.60	97.30
Area 3	89.00	Rainwater Tank	3,000.00	1	100.00	100.00
Area 4	68.00	Raingarden 100mm	8.80	0	134.00	0.00

Date Generated: 09-Dec-2018

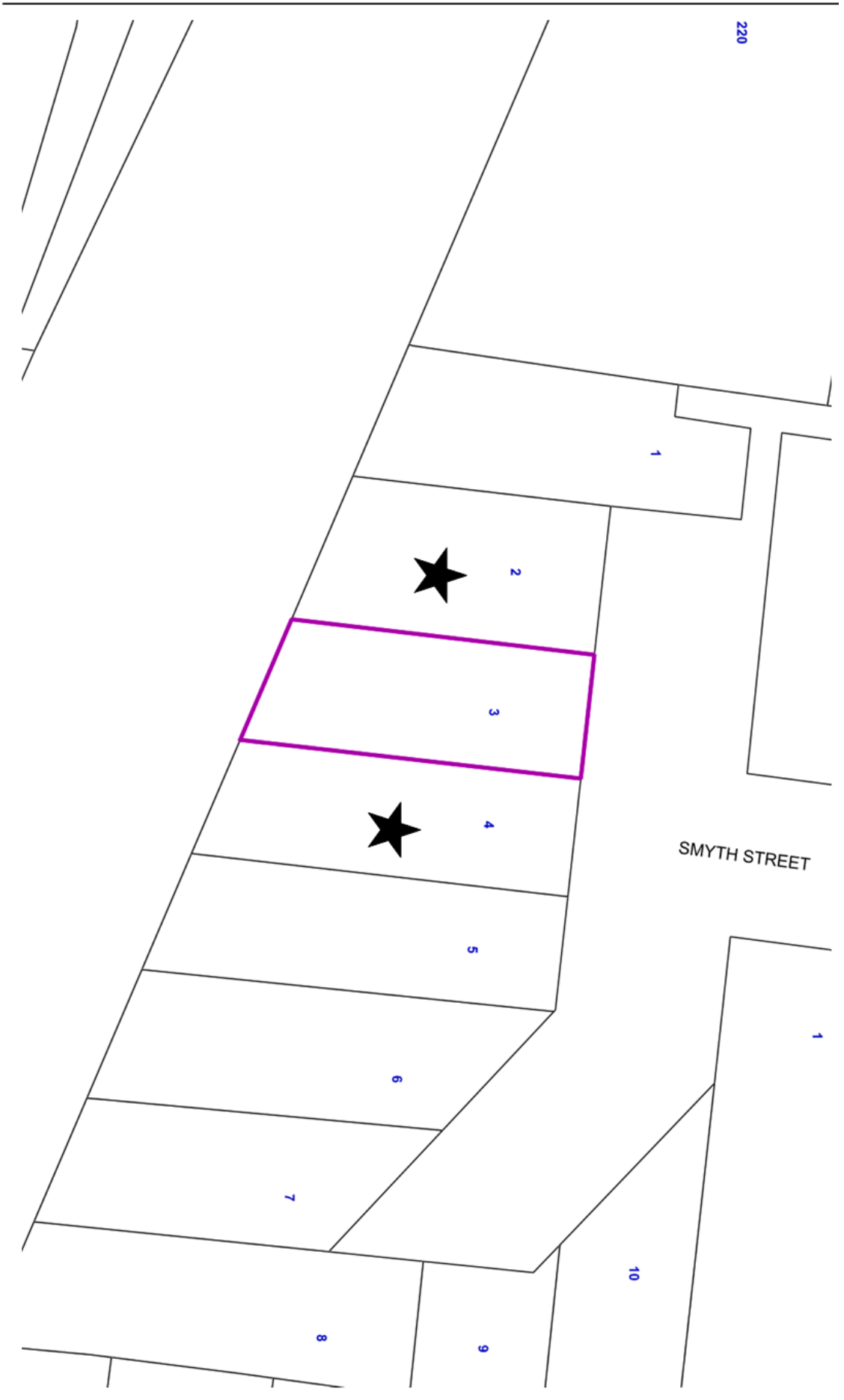
Program Version: 1.0.0



Item 6

Attachment 1 PA - 4-19 - 3 Ashe Grove Toorak -  
Attachment 1 of 1





The State of Victoria does not warrant the accuracy or completeness of information in this publication and any person using or relying upon such information does so on the basis that the State of Victoria shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

No Guarantee or warranty is given as to the accuracy or completeness of the details shown on this map. The City of Stonnington shall not be liable in any way for loss of any kind including, damages, costs, interest, loss of profits arising from error, inaccuracy, incompleteness of this information.

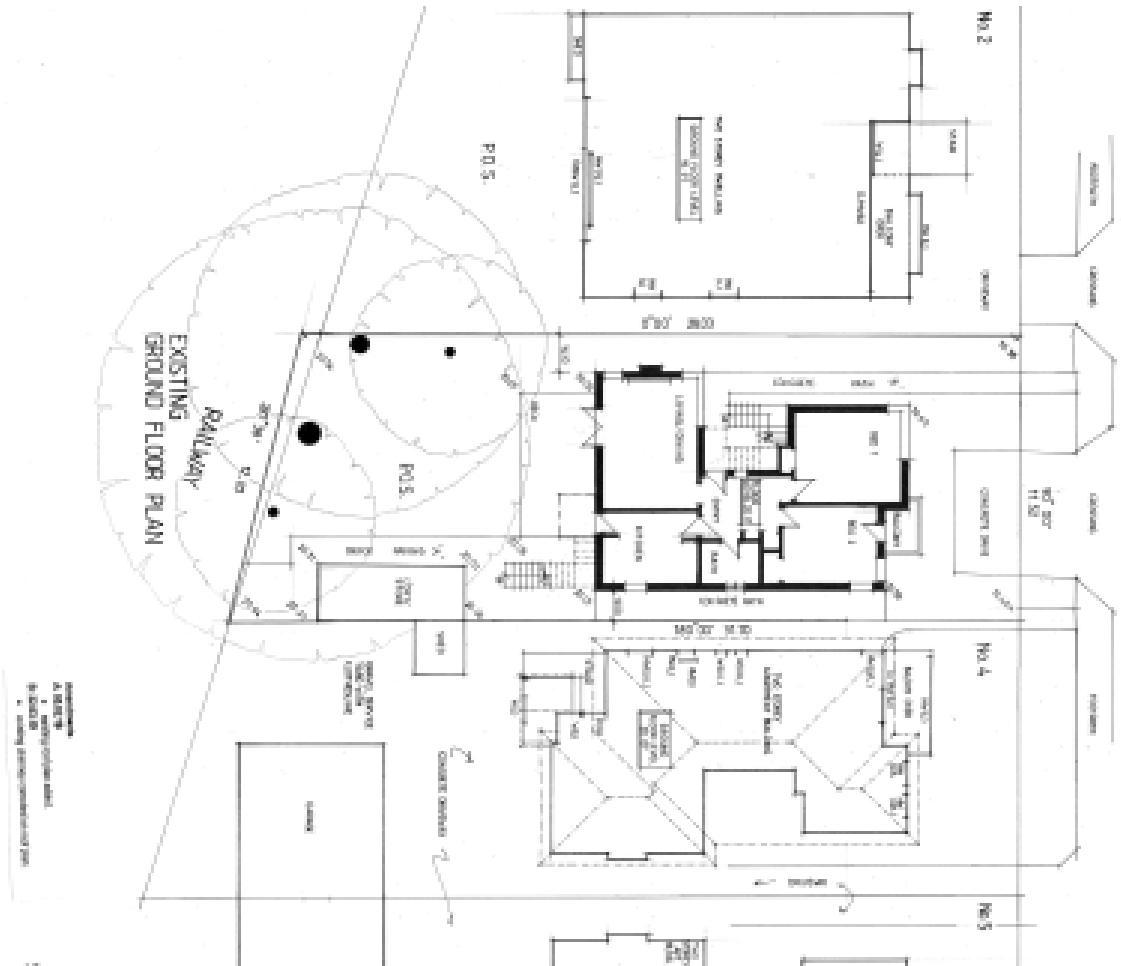


**3 Ashe Grove, Toorak**  
 = Objector

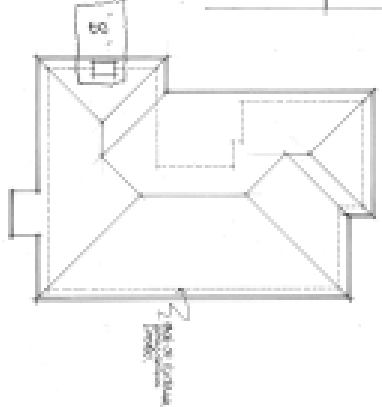
Date printed: 22/05/2019  
 Scale: 1:470



ASHE GROVE



1. SITE  
 2. EXISTING BUILDING  
 3. EXISTING DRIVEWAY  
 4. EXISTING DRIVEWAY  
 5. EXISTING DRIVEWAY  
 6. EXISTING DRIVEWAY  
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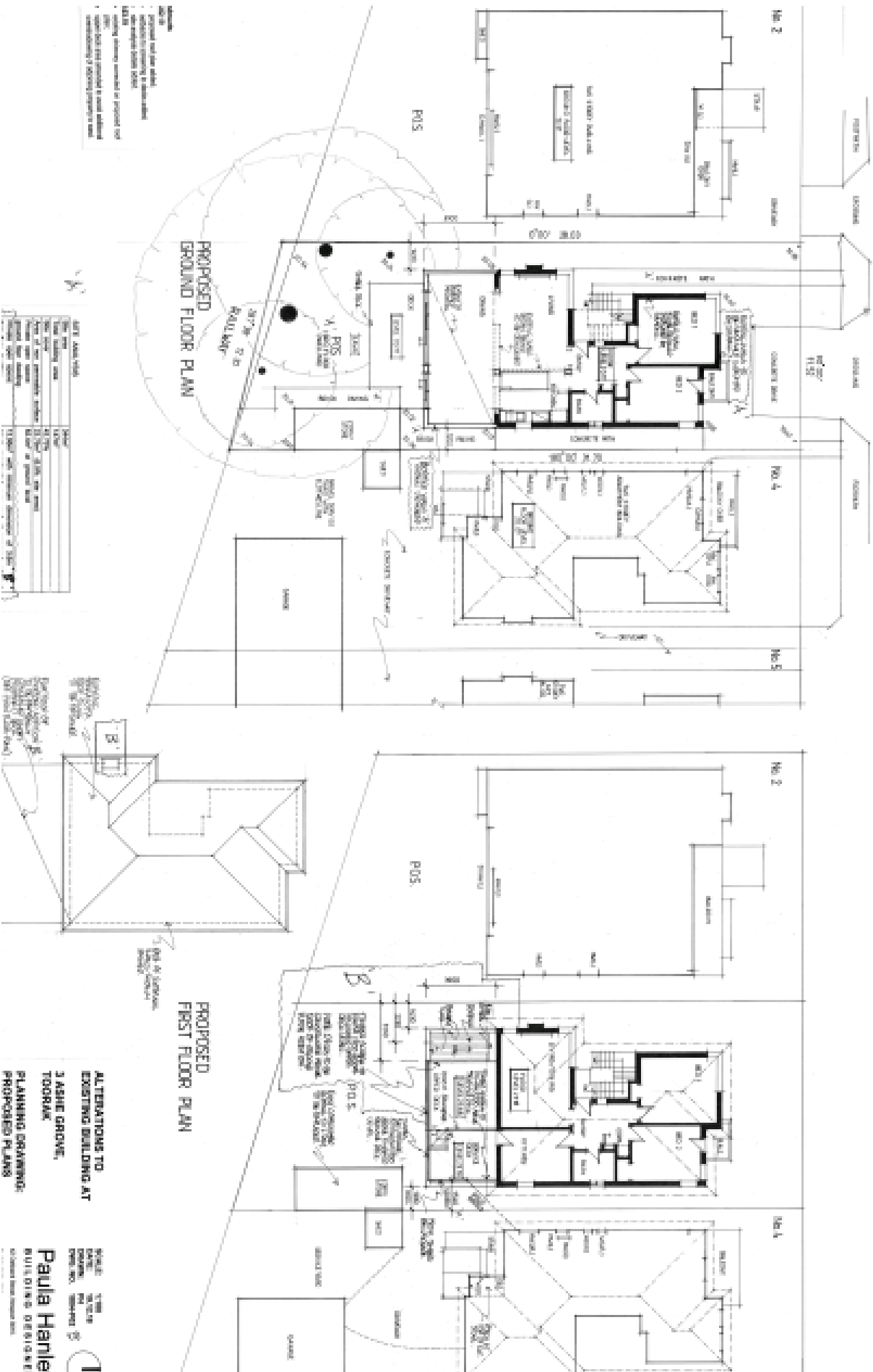


EXISTING FIRST FLOOR PLAN

ALTERATIONS TO  
 EXISTING BUILDING AT  
 ASHE GROVE,  
 TOORAK  
 PLANNING DRAWING:  
 EXISTING CONDITIONS

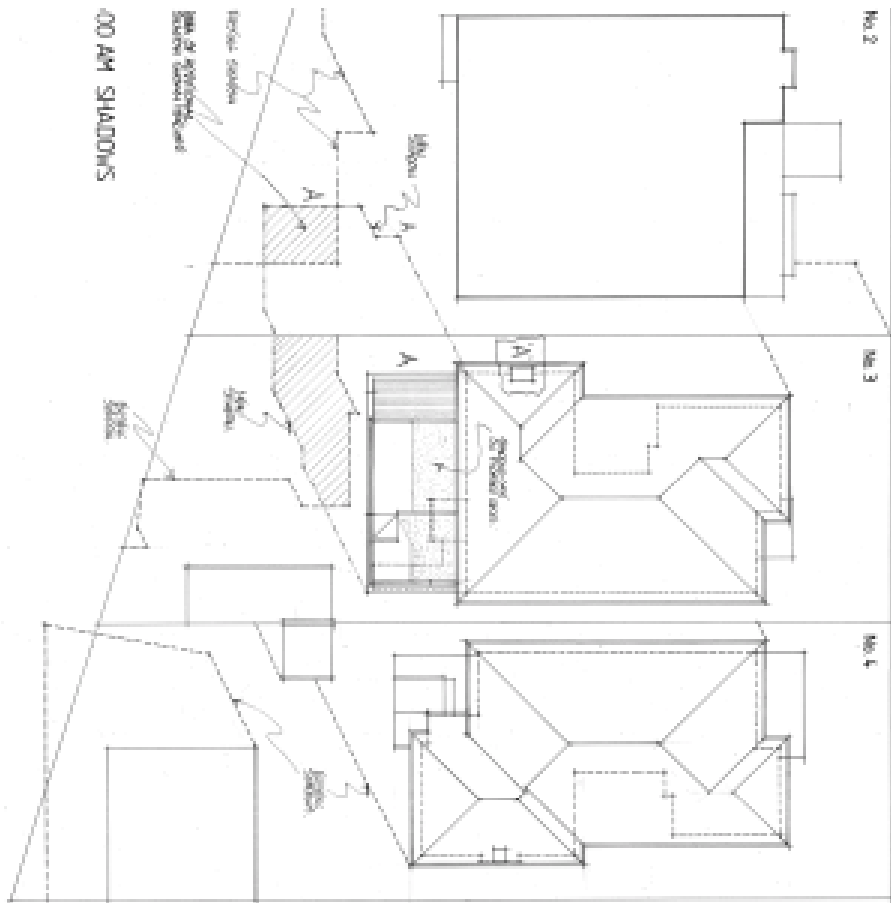
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 DATE: 11/11/11  
 DRAWN BY: PAULA HANLE  
 CHECKED BY: PAULA HANLE  
 PROJECT NO.: 11/11/11  
 Paula Hanle  
 BUILDING DESIGN

ASHE GROVE

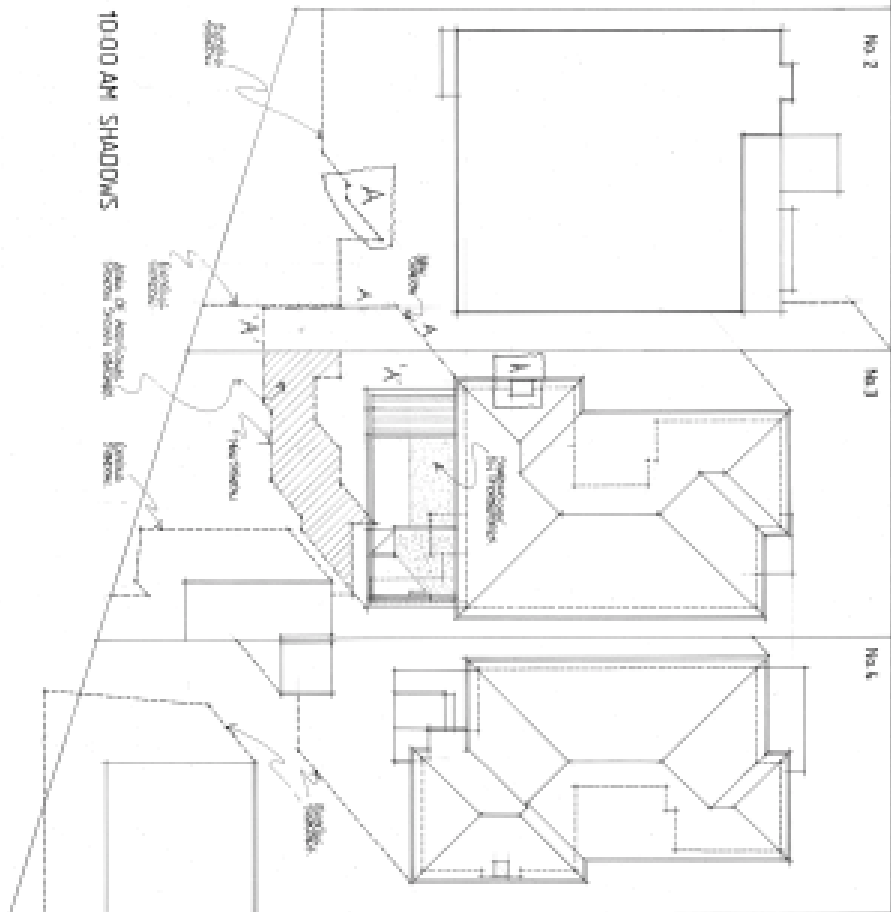




ASHE GROVE



ASHE GROVE

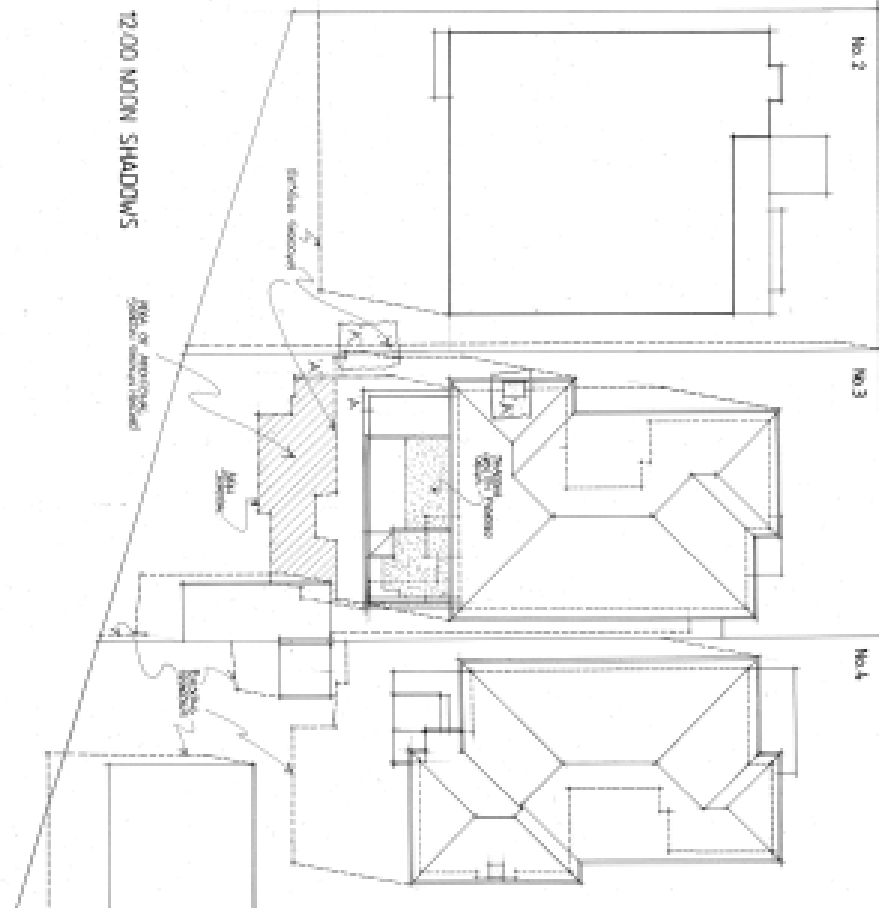
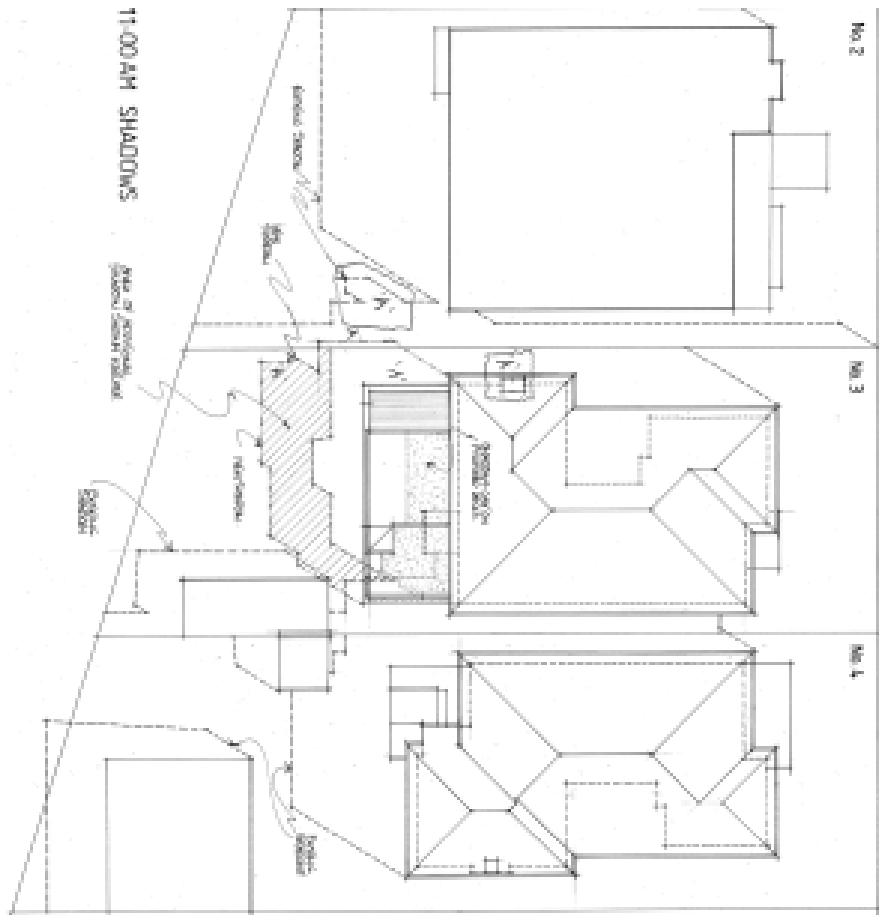


ALTERATIONS TO  
EXISTING BUILDING AT  
3 ASHE GROVE,  
TOORAK  
PLANNING DRAWING

SCALE: 1:100  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
**Paula Hanle**  
BUILDING DESIGNER  
OF HANLE TEAM ARCHITECTS

ASHE GROVE

ASHE GROVE



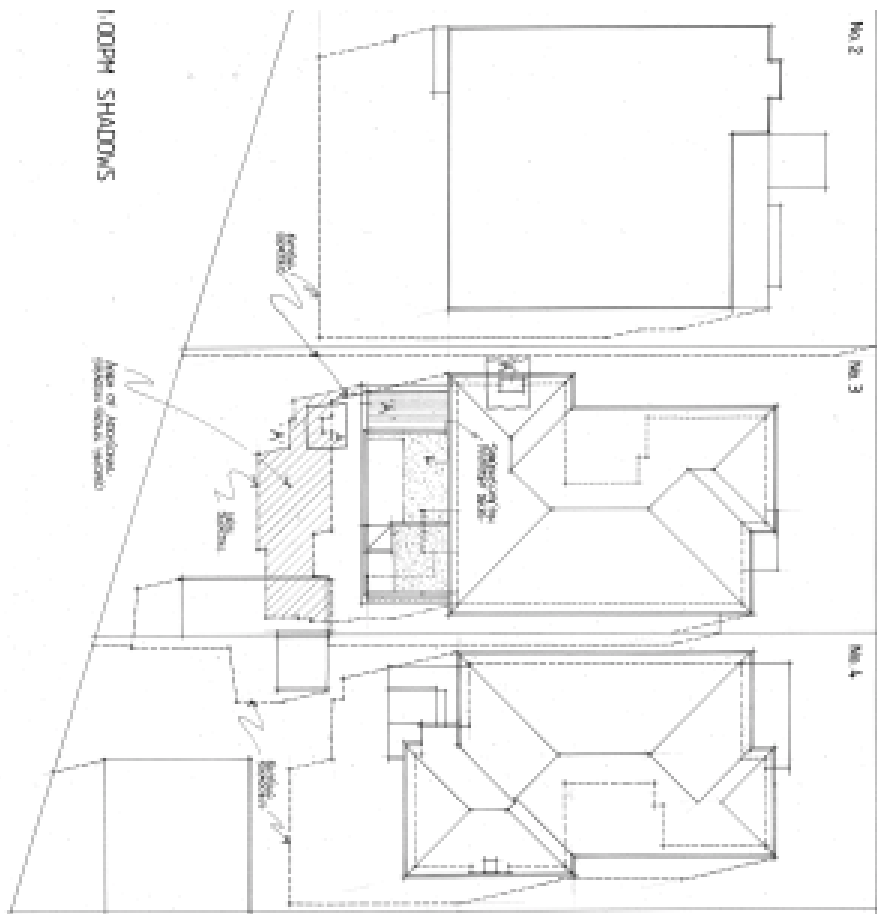
**Annotations**  
 1. SHOWN FOR REFERENCE ONLY  
 2. NOT TO SCALE  
 3. DIMENSIONS TO FACE UNLESS NOTED OTHERWISE

**LEGEND**  
 - - - - - EXISTING STRUCTURE OF EXISTING BUILDING  
 - - - - - EXISTING WALL TO BE DEMOLISHED AND RECONSTRUCTED  
 - - - - - EXISTING EXTERIOR WALL  
 - - - - - EXISTING ROOF  
 - - - - - EXISTING FLOOR  
 - - - - - EXISTING CEILING  
 - - - - - EXISTING STAIRS  
 - - - - - EXISTING ELEVATOR  
 - - - - - EXISTING MECHANICAL ROOM  
 - - - - - EXISTING ELECTRICAL ROOM  
 - - - - - EXISTING TELEPHONE ROOM  
 - - - - - EXISTING JANETRY  
 - - - - - EXISTING PLUMBING  
 - - - - - EXISTING PAINT  
 - - - - - EXISTING FINISHES  
 - - - - - EXISTING MATERIALS  
 - - - - - EXISTING STRUCTURE  
 - - - - - EXISTING UTILITIES  
 - - - - - EXISTING SERVICES  
 - - - - - EXISTING INFRASTRUCTURE  
 - - - - - EXISTING LANDSCAPE  
 - - - - - EXISTING VEGETATION  
 - - - - - EXISTING TREES  
 - - - - - EXISTING SHRUBS  
 - - - - - EXISTING GRASS  
 - - - - - EXISTING PAVEMENT  
 - - - - - EXISTING DRIVEWAYS  
 - - - - - EXISTING PATHWAYS  
 - - - - - EXISTING FENCES  
 - - - - - EXISTING GARDENS  
 - - - - - EXISTING POOLS  
 - - - - - EXISTING SPAS  
 - - - - - EXISTING BBQ AREAS  
 - - - - - EXISTING PATIOS  
 - - - - - EXISTING DECKS  
 - - - - - EXISTING PORCHES  
 - - - - - EXISTING TERRACES  
 - - - - - EXISTING BALCONIES  
 - - - - - EXISTING TERRAZZO  
 - - - - - EXISTING MARBLE  
 - - - - - EXISTING GRANITE  
 - - - - - EXISTING SLATE  
 - - - - - EXISTING CONCRETE  
 - - - - - EXISTING BRICK  
 - - - - - EXISTING CLAY  
 - - - - - EXISTING STONE  
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 - - - - - EXISTING GLASS  
 - - - - - EXISTING CERAMIC

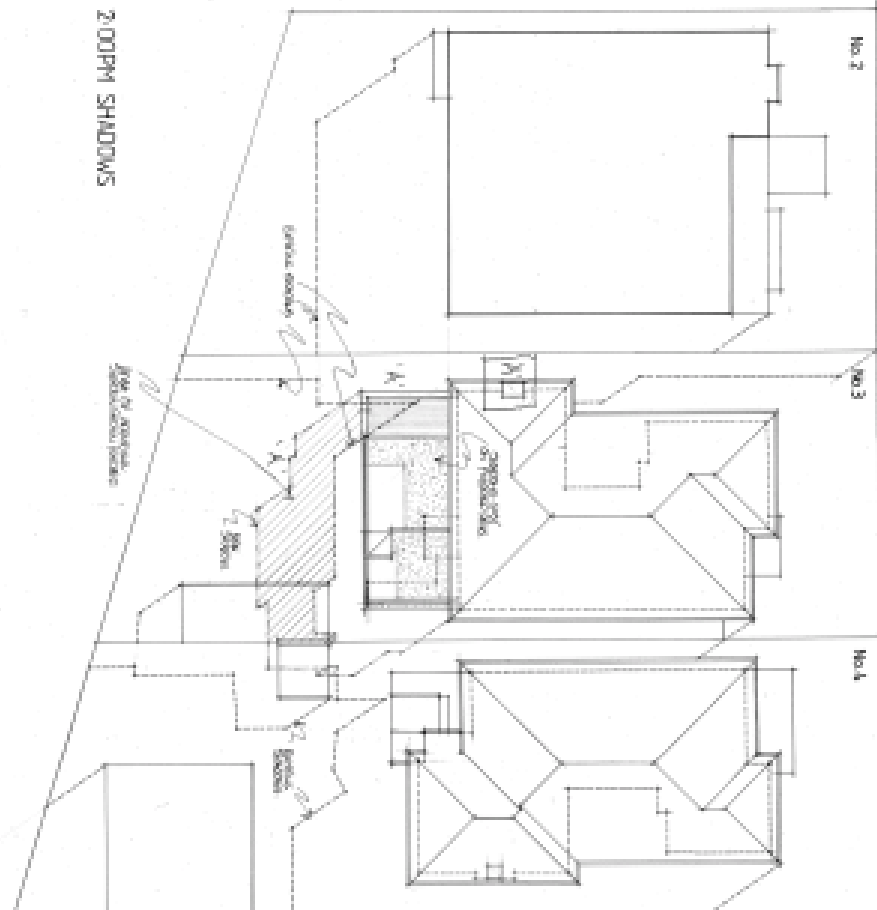
**ALTERATIONS TO EXISTING BUILDINGS AT 1 ASHE GROVE, TOORAK**  
 BY PAULIA HANIE ARCHITECTS  
 SCALE: 1:50  
 DATE: 2024  
 SHEET NO: 100001  
 PROJECT NO: 100001  
**Paulia Hanie**  
 BUILDING DESIGNER  
 100001

ASHE GROVE

ASHE GROVE



- Footprints**
- 100% SHADING
  - 50% SHADING
  - 25% SHADING
  - 0% SHADING



- LEGEND**
- Line of Assessment
  - Proposed Footprint
  - Existing Footprint
  - Proposed Footprint
  - Existing Footprint
- NOTES**
- Shading not to be taken into account.
  - Shading from trees to be taken into account.
  - Shading from other buildings to be taken into account.

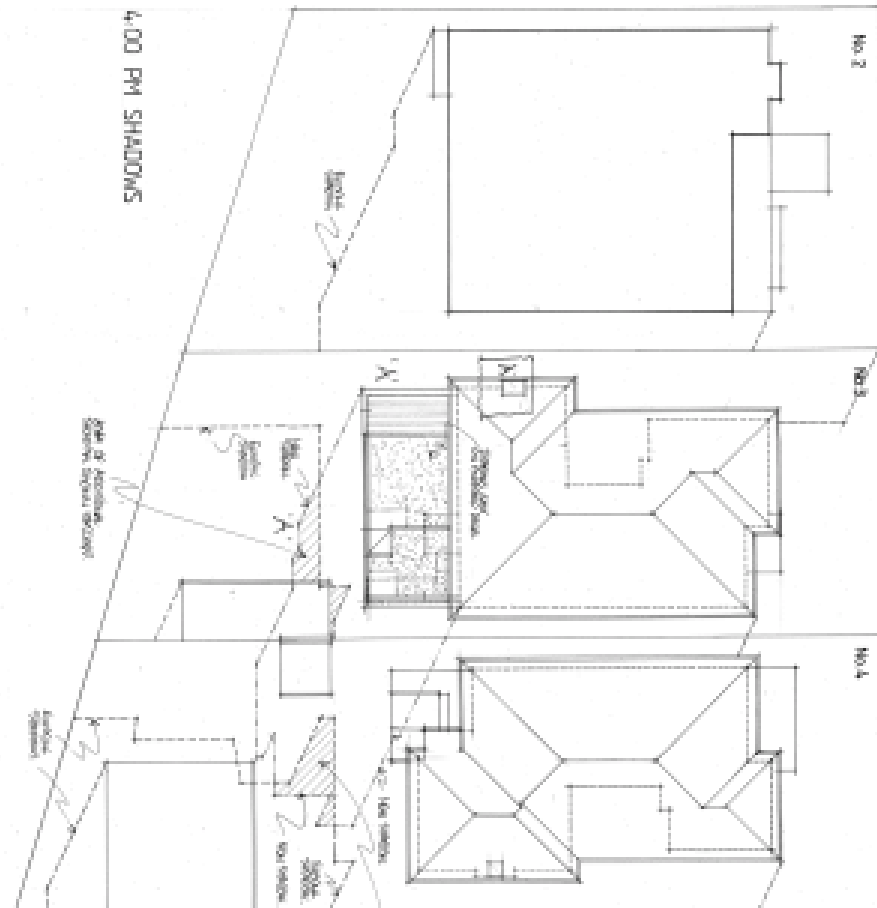
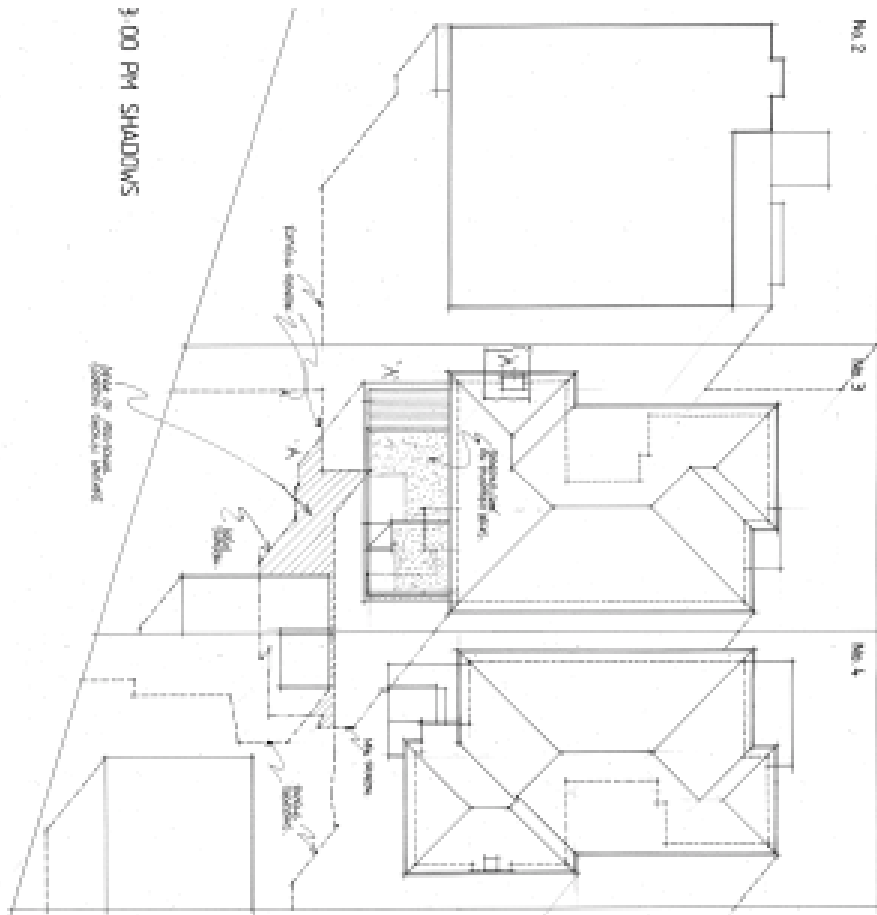
ALTERNATIONS TO  
EXISTING BUILDING AT  
3 ASHE GROVE,  
TOORAK  
PLANNING DRAWING:  
PLAN NUMBER: 2024/0000000

SCALE: 1:100  
DATE: 10/10/2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
**Paula Hanley**  
BUILDING DESIGNER  
10/10/2024



ASHE GROVE

ASHE GROVE



- LEGEND**
- 1. IN EXISTENCE
  - 2. NEW PROPOSED
  - 3. EXISTING TO BE DEMOLISHED
  - 4. EXISTING TO BE RECONSTRUCTED

- LEGEND**
- 1. SHADOWS CAST BY EXISTING BUILDINGS
  - 2. SHADOWS CAST BY PROPOSED BUILDINGS
  - 3. SHADOWS CAST BY PROPOSED BUILDINGS AT 4:00 PM
- NOTES**
- 1. Shadows are indicated by hatching.
  - 2. Existing shadows are indicated by diagonal hatching.
  - 3. Proposed shadows are indicated by horizontal hatching.

ALTERNATIVES TO EXISTING BUILDINGS AT ASHE GROVE, TOORAK

PLANNING CHARGES: SHADOW DIAGRAMS

SCALE: 1:100

DATE: 10/11/2011

PAULA HANLE BUILDERS DESIGN

10/11/2011

Item 7

Attachment 1 PA - 811-18 - 1 Claremont Avenue  
Malvern - Attachment 1 of 1



The State of Victoria does not warrant the accuracy or completeness of information in this publication and any person using or relying upon such information does so on the basis that the State of Victoria shall bear no responsibility or liability whatsoever for any errors, faults, defects or omissions in the information.

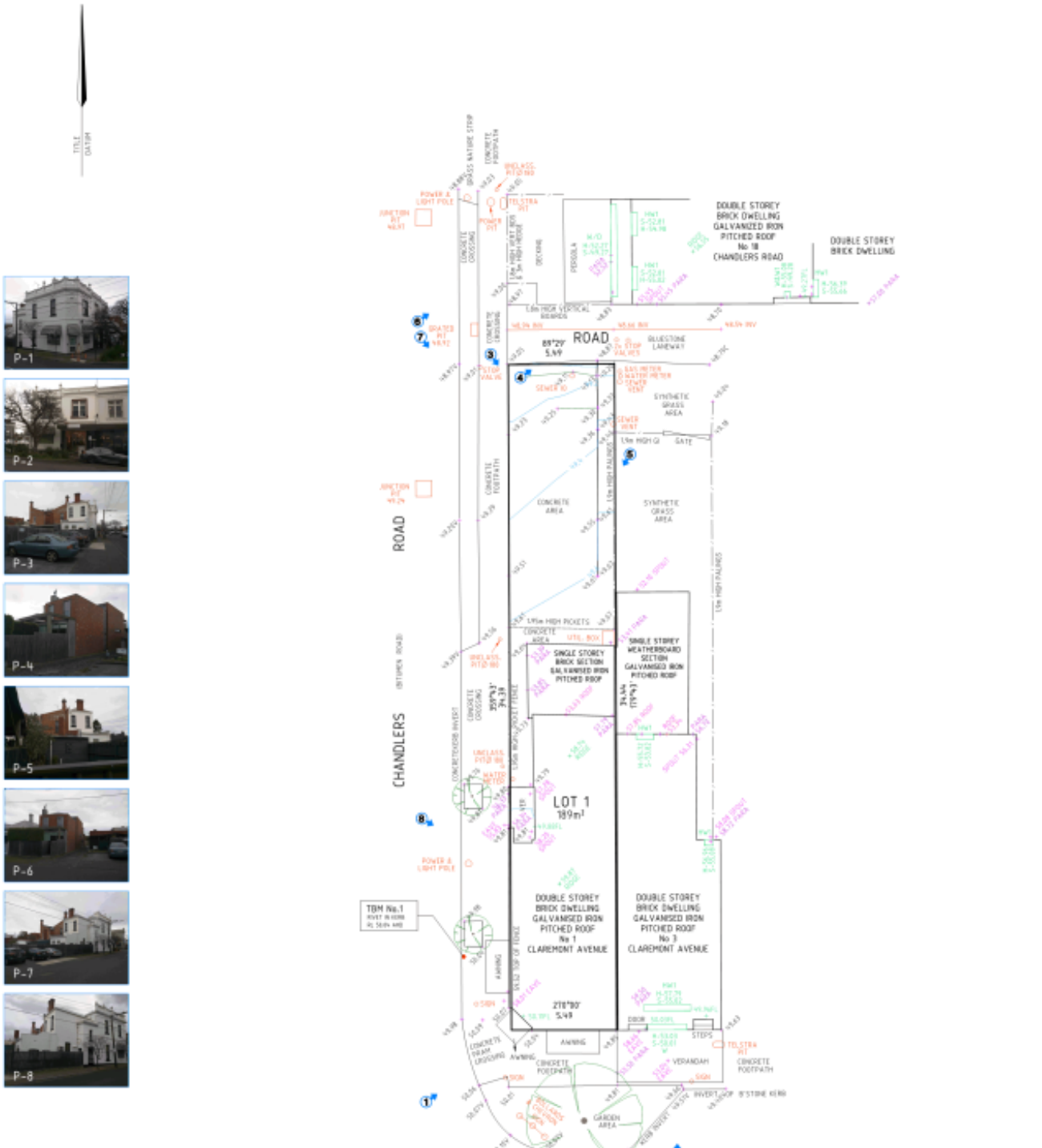
No Guarantee or warranty is given as to the accuracy or completeness of the details shown on this map. The City of Stonnington shall not be liable in any way for loss of any kind including damages, costs, interest, loss of profits arising from error, inaccuracy, incompleteness of this information.



**1 Claremont Avenue, Malvern**  
 Objector Properties

Date printed: 17/05/2019  
 Scale: 1:1250





**NOTE:**

This survey has been carried out for the exclusive use of Colin B. See-Clayton for the purpose of design & development on the site and should not be used for any other purpose or by any other person or corporation.

The levels and features shown on this plan have been taken from this survey, any other surveys and features which also lie in the area but have not been shown and do not refer to adjacent titles and/or other titles shown.

Structures below the surface level of any existing building projecting into the site from adjoining properties have not been located by this survey. We have not marked the title area to determine their existence.

Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to ascertain the possible locations of, further services and detailed locations of all services.

Unless shown otherwise the position of buildings is to plotting accuracy and the dimensions of buildings should NOT be determined from computer data for any final design plans or working drawings.

Occupation buildings, fences etc shown along the boundaries are for identification purposes only. Only for the purpose of a preliminary survey. No liability for the recording but not for the title boundary.

MSL (mean) datum has been defined from GPS observations of Precise Point Reception (PPR) located at the corner of each street & Malvern Road using Leica AT11 G2S-G2S-G2S-2000 GPS receiver and SPOT observations.

The GPD datum has been established from GPS observations only. If a precise connection to MSL is required a detailed levelling network should be used for verification. If this is required please contact the office of CRA Survey Pty Ltd.

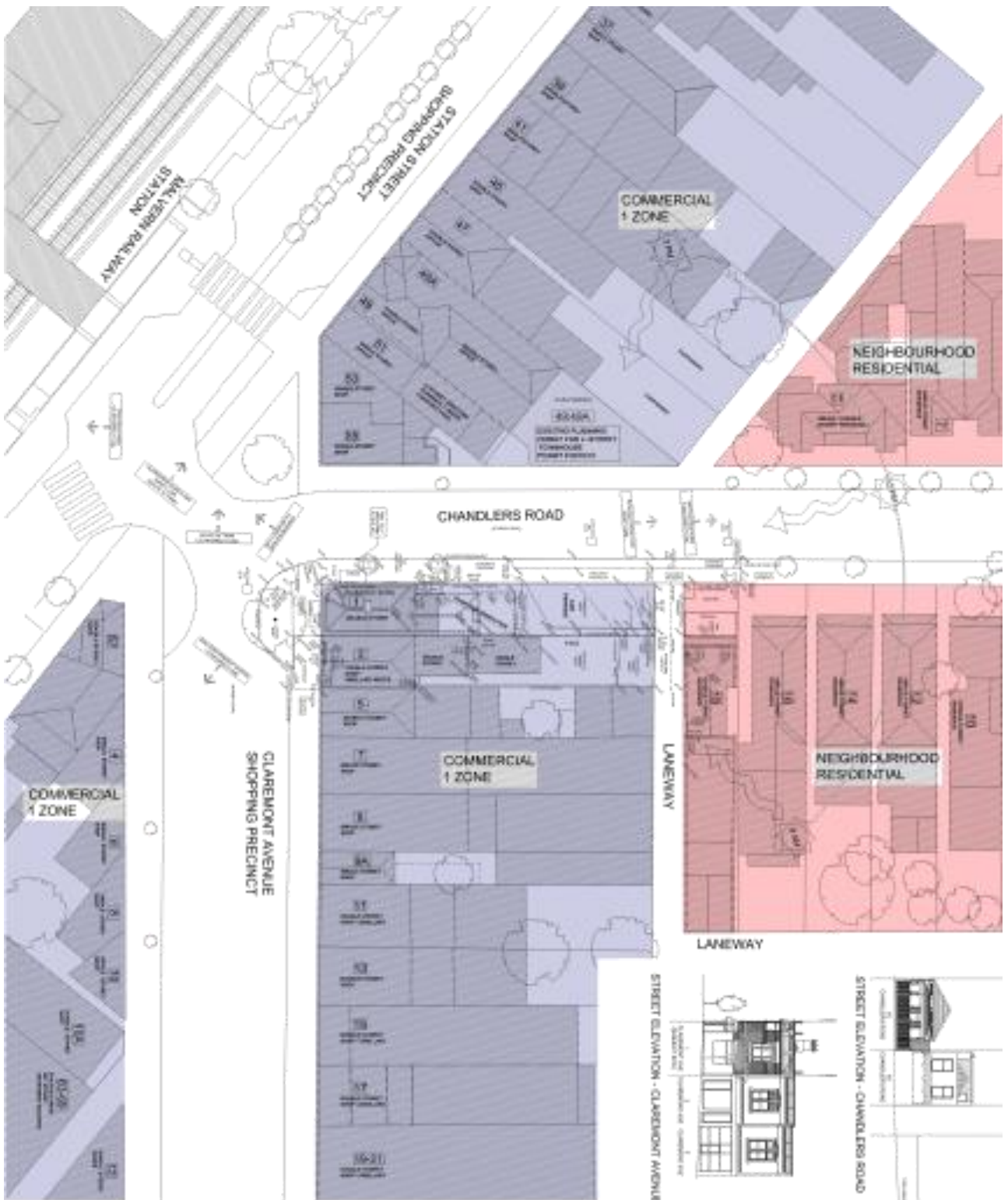
This plan has been printed as a hard-copy plan and also in digital format. The hard-copy format prevails over the digital data so to participate in the plan to transfer of data to another system.

CRA Survey Pty Ltd accept no responsibility for any loss or damage whatsoever suffered by any person or corporation that might use or rely on this plan in connection with the discharge.

**LEGEND**

- 29.85 SPKRT GUTTER LEVEL 29.85
- 29.85 RIDGE ROOF LEVEL 29.85
- 29.85 PARAPET LEVEL 29.85
- R/Wn FL FLOOR LEVEL R/Wn
- HW1 FIRST FLOOR HABITABLE WINDOW
- HW HABITABLE WINDOW
- W WINDOW
- H.81.25 HEAD HEIGHT
- S.81.25 SILL HEIGHT
- 1 PHOTO NUMBER AND DIRECTION

<p><b>CRA SURVEY PTY LTD</b> LAND SURVEYORS, TOWN PLANNERS DEVELOPMENT CONSULTANTS</p> <p>17-145 Bellarine Road Malvern, Vic. 3103</p> <p>03 9593 8888 03 9593 8822</p> <p>REF: 6/18/1 ORIGINAL SHEET SIZE: A1</p>	<p>LEVEL DATUM: AHD COMPOUND INTERVAL: 0.30m LENGTH: AGE IN METRES</p> <p>DRAWN BY: JVC DATE OF SURVEY: 15/04/2017 VERSION: 2 (17/04/17)</p>	<p>1 CLAREMONT 4/8/16 MALVERN 374 WOL 395, PBL 53 TP 3/15/16/17 (LOT 1)</p> <p>COUNTY: BOURKE PARISH: PEAKHURST CROWN POSITION: 55 (PART)</p>	<p><b>PLAN OF FEATURE &amp; LEVEL SURVEY</b></p>
	<p>SHEET 1 OF 1 SHEET ORIGINAL SCALE 1:100</p>		



**SITE CONTEXT**



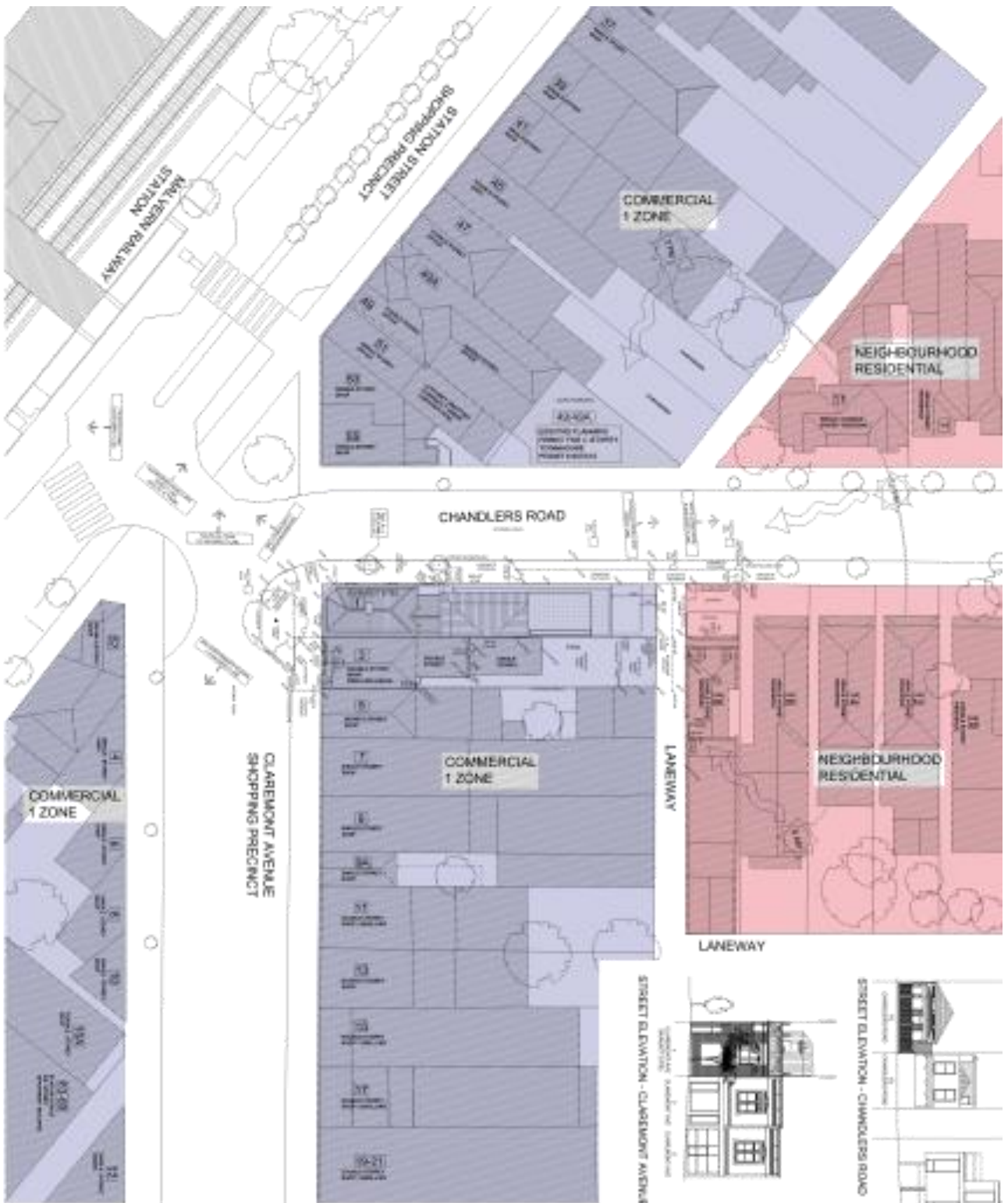
THE PROPOSED DEVELOPMENT IS SITUATED ON A CORNER SITE AT THE INTERSECTION OF CLAREMONT AVENUE AND CHANDLER'S ROAD. THE SITE IS BOUNDARY BY STATION STREET TO THE NORTH AND CHANDLER'S ROAD TO THE SOUTH. THE PROPOSED DEVELOPMENT IS A THREE-STORY BUILDING WITH A GROUND FLOOR COMMERCIAL USE AND RESIDENTIAL USE ABOVE. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT THAT WILL PROVIDE A RANGE OF SERVICES AND ACCOMMODATIONS TO THE COMMUNITY. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT THAT WILL PROVIDE A RANGE OF SERVICES AND ACCOMMODATIONS TO THE COMMUNITY. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT THAT WILL PROVIDE A RANGE OF SERVICES AND ACCOMMODATIONS TO THE COMMUNITY.

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DATE	REVISION
15/05/2018	ISSUED FOR PERMIT
15/05/2018	ISSUED FOR PERMIT
15/05/2018	ISSUED FOR PERMIT

**APPROVING & ALTERNATIVE:**  
 1 CLAREMONT AVENUE MALVERN  
 COLIN & SUE CHAMBERLAIN  
 NEIGHBOURHOOD CHAMBERLAIN PLAN

**TP01**



**DESIGN RESPONSE**

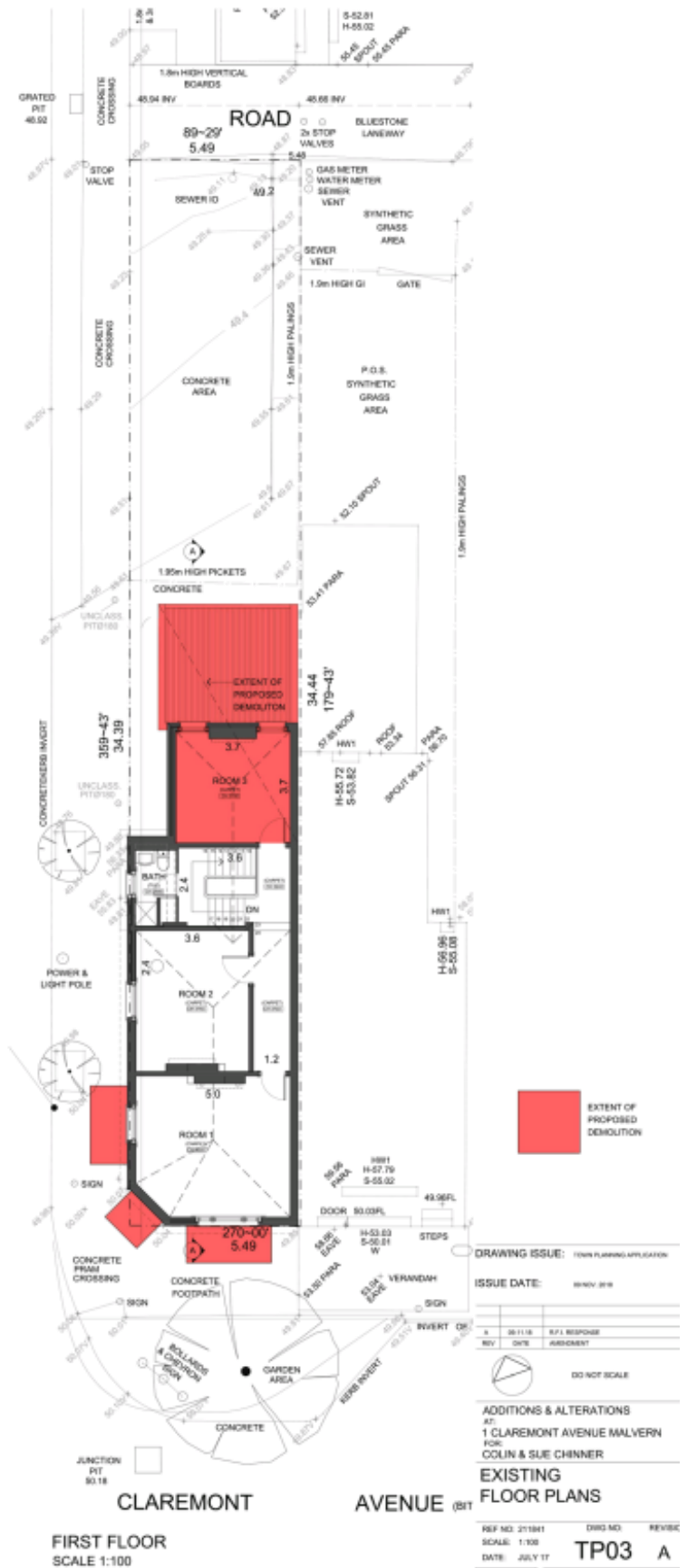
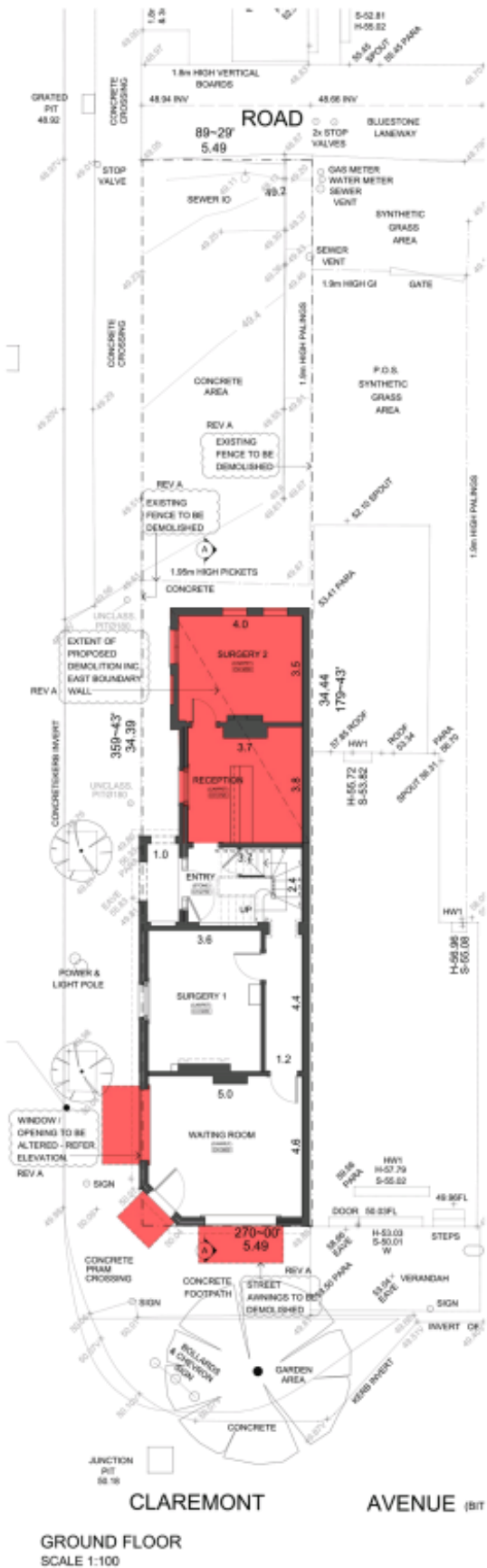
THE PROPOSED BUILDING IS A TWO-STORY COMMERCIAL BUILDING WITH A GABLED ROOF AND A CENTRAL ENTRANCE. THE BUILDING IS DESIGNED TO BE A HIGH-QUALITY COMMERCIAL BUILDING THAT IS SENSITIVE TO THE SURROUNDING ENVIRONMENT. THE BUILDING IS DESIGNED TO BE A HIGH-QUALITY COMMERCIAL BUILDING THAT IS SENSITIVE TO THE SURROUNDING ENVIRONMENT.

AREA	AREA	AREA
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L2	1,100	1,100
L3	1,100	1,100
L4	1,100	1,100
L5	1,100	1,100
L6	1,100	1,100
L7	1,100	1,100
L8	1,100	1,100
L9	1,100	1,100
L10	1,100	1,100

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REVISION	DATE	BY	DESCRIPTION
1	15/01/2018	TP02	ISSUE FOR PERMIT
2	15/01/2018	TP02	ISSUE FOR PERMIT
3	15/01/2018	TP02	ISSUE FOR PERMIT
4	15/01/2018	TP02	ISSUE FOR PERMIT
5	15/01/2018	TP02	ISSUE FOR PERMIT

**TP02**  
 SCALE: 1:100  
 DATE: 15/01/2018  
 DRAWN BY: TP02  
 CHECKED BY: TP02  
 APPROVED BY: TP02



DRAWING ISSUE: TOWN PLANNING APPLICATION

ISSUE DATE: 06/09/2018

REV	DATE	R/I RESPONSE	REVISION
1	20/11/18	R/I RESPONSE	
2	06/18	JAW	

DO NOT SCALE

ADDITIONS & ALTERATIONS AT:  
1 CLAREMONT AVENUE MALVERN  
FOR:  
COLIN & SUE CHINNER

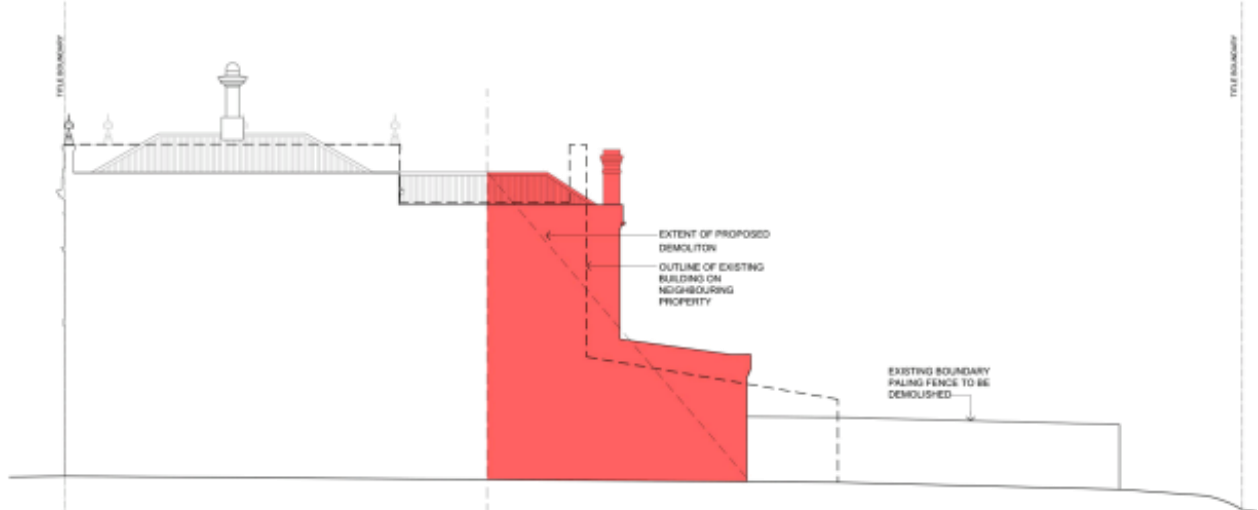
**EXISTING FLOOR PLANS**

REF NO: 211981 DWG NO: REVISED  
SCALE: 1:100  
DATE: JULY 17

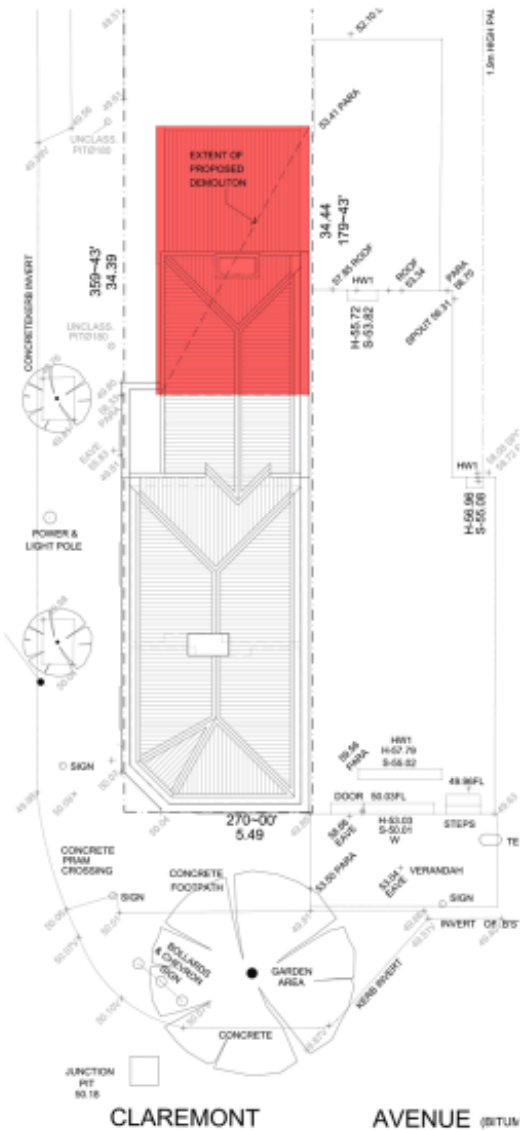
**TP03 A**

**CATT ARCHITECTS**  
P.O. BOX 477, MALVERN 3444 AUSTRALIA  
TEL: +61 8 9329 4650 FAX: +61 8 9329 4189  
www.cattarchitects.com.au





EAST ELEVATION SCALE 1:100



ROOF PLAN  
SCALE 1:100



DRAWING ISSUE: TOWN PLANNING APPLICATION

ISSUE DATE: 06 NOV 2018

REV	DATE	REVISION

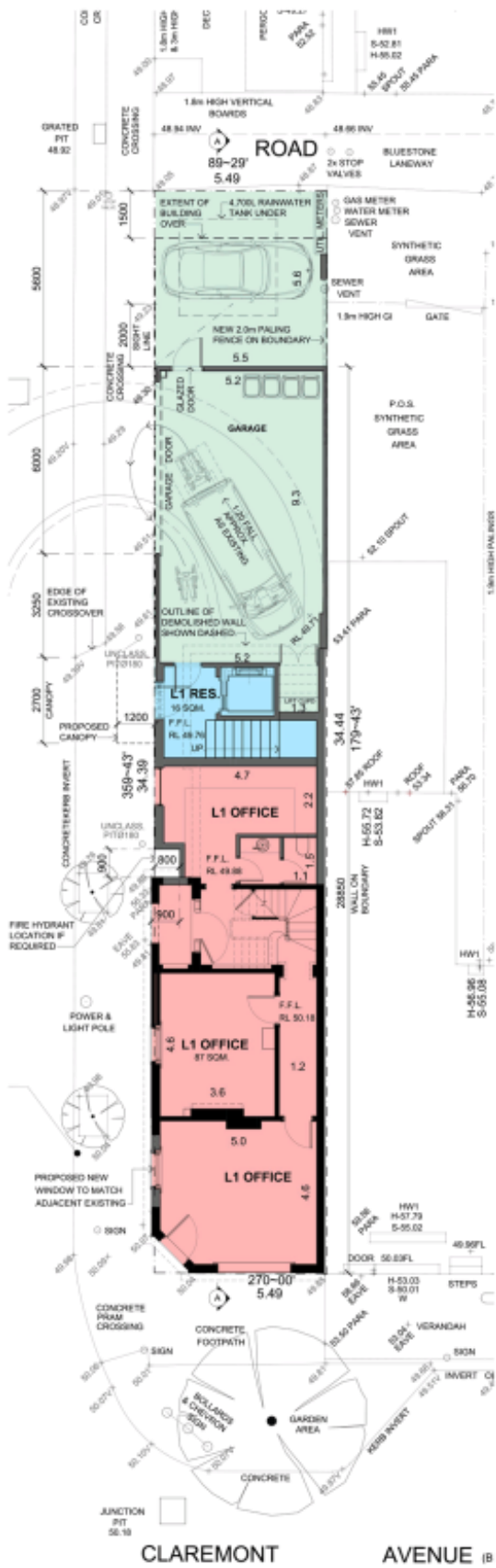
DO NOT SCALE

ADDITIONS & ALTERATIONS  
AT:  
1 CLAREMONT AVENUE MALVERN  
FOR:  
COLIN & SUE CHINNER  
**EXISTING ROOF PLAN &  
EAST ELEVATION**

REF NO: 211841    DWG NO:    REVISE:  
SCALE: 1:100    DATE: JULY 17    **TP03a**

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P.O. BOX 477, MALVERN 3444 WA  
TEL: +61 8 9331 8553 FAX: +61 8 9331 8559  
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LEVEL 1 SCALE 1:100



LEVEL 2 SCALE 1:100

- REVISION A:**
- NEW PALING FENCE ON EAST BOUNDARY NOTED
  - EXTENT OF EAST BOUNDARY WALL DEMOLITION CLARIFIED
  - CARPOT SLAB FALLS / LEVELS NOTED
  - ADDITIONAL DIMENSIONS SHOWN PER RFI ITEM 10.
  - BIN STORAGE NOTED
  - LIFT MACHINE CLIPBOARD NOTED
  - UTILITIES / METERS NOTED AND FIRE HYDRANT IF REQUIRED
  - L2 RESIDENTIAL STUDY SEPARATED FROM OFFICE SPACE BY FIRE DOOR
  - LOCATION OF EXISTING VEHICLE CROSSINGS CLARIFIED
  - GARAGE DELETED, CARPORT EXTENDED (TO ACHIEVE TRAFFIC SIGHT LINE COMPLIANCE)
  - GLAZED CORNER NORTH OF RESIDENTIAL ENTRY TO ACHIEVE TRAFFIC SIGHT LINE COMPLIANCE
  - RAINWATER TANK UNDER CARPORT SLAB
  - DESIGN REVISION: RECESSED SEPARATION BETWEEN NEW & EXISTING STREET-FRONTING BUILDING FABRIC
- REVISION B:**
- WALL & WINDOW ADDED TO AT NORTH END OF PARKING AREA
- REVISION D:**
- LEVEL 1 - REDESIGN OF GARAGE / PARKING AREA PER COUNCIL COMMENT.

**AREAS:**

- L1**
- GARAGE: 51 SQM
  - RESIDENTIAL: 16 SQM
  - OFFICE: 87 SQM
- L2**
- RESIDENTIAL: 111 SQM
  - OFFICE: 68 SQM
- L3**
- RESIDENTIAL: 96 SQM
  - BALCONY: 16 SQM
- L4**
- RESIDENTIAL: 42 SQM
  - BALCONY: 28 SQM
- RESIDENTIAL TOTAL: 265 SQM  
BALCONY TOTAL: 44 SQM  
OFFICE TOTAL: 155 SQM

- SITE AREA: 189 SQM
- PROPOSED SITE COVER: 178 SQM (94%)
- PROPOSED PERMEABILITY: 0% (AS EXISTING)
- PROPOSED P.O.S.L: 44 SQM (BALCONIES)

**LEGEND:**

- EXISTING WALLS
- PROPOSED WALLS

DRAWING ISSUE: TYPING/AMENDMENT

ISSUE DATE: 17 MAY 2016

D	17.05.16	REVISED PER FURTHER COUNCIL COMMENT
C	16.05.16	REVISED PER FURTHER COUNCIL COMMENT
B	08.05.16	REVISED CARPORT PER COUNCIL REQUEST
A	08.11.15	A.P. RESPONSE
REV	DATE	AMENDMENT

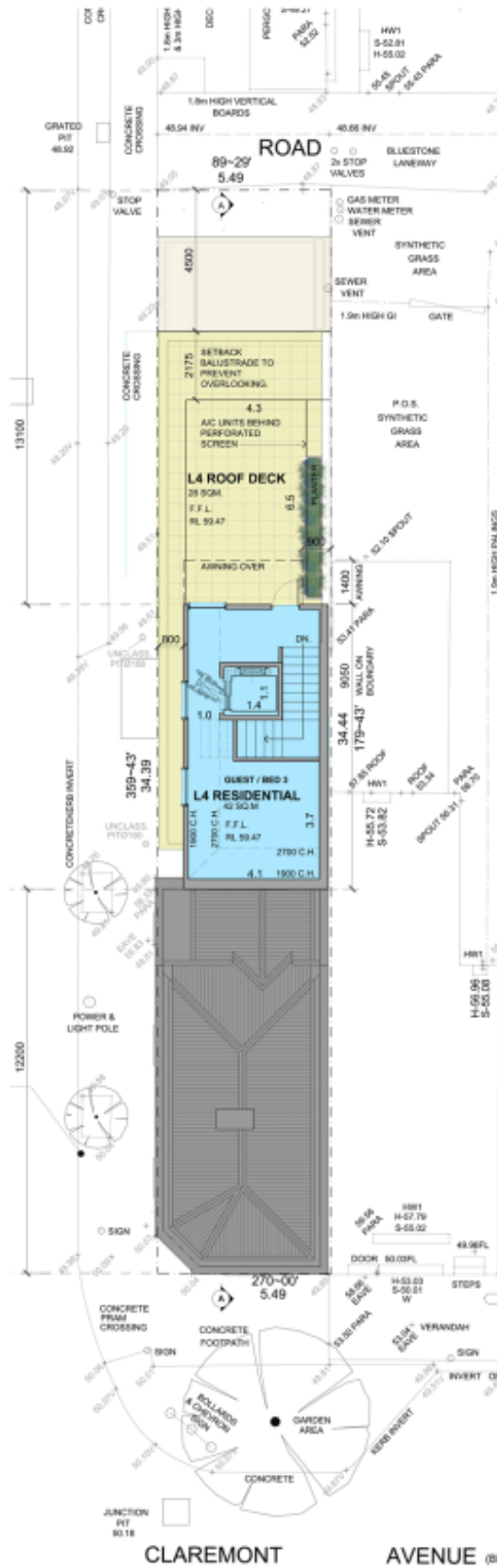
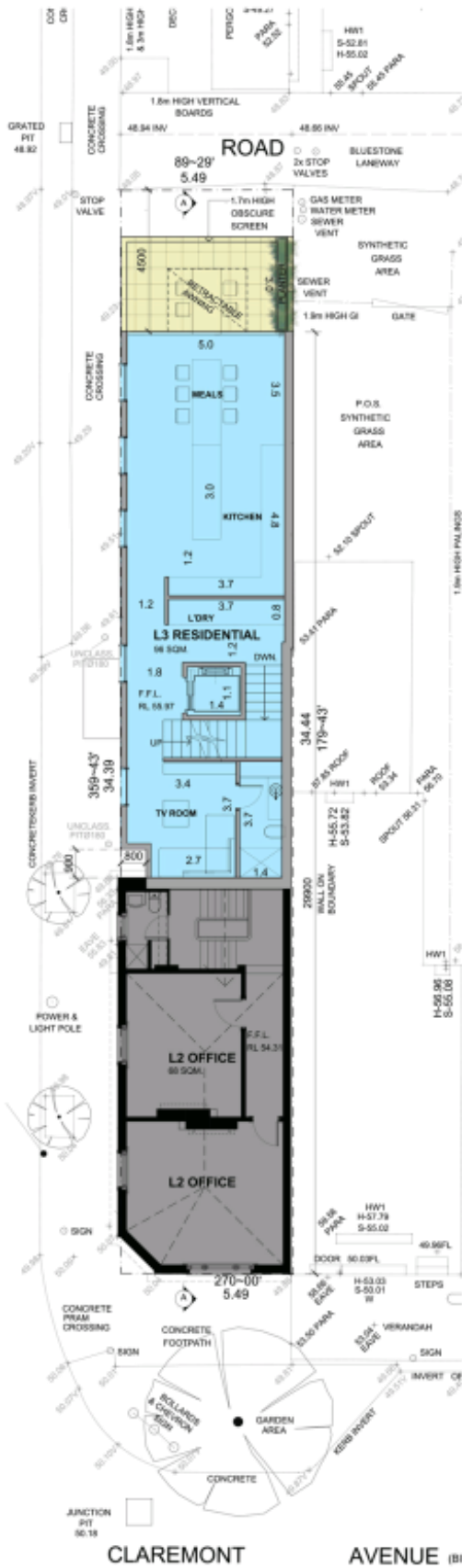


ADDITIONS & ALTERATIONS AT:  
1 CLAREMONT AVENUE MALVERN  
FOR:  
COLIN & SUE CHINNER

**PROPOSED FLOOR PLANS**

REF NO: 211841 DWG NO: TP05 D  
SCALE: 1:100  
DATE: JULY 17

**CATT ARCHITECTS**  
P.O. BOX 477, MALVERN 3144 AUSTRALIA  
TEL: +61 (0)8 928 4622 FAX: +61 (0)8 928 9125  
www.cattarchitects.com.au



**REVISION A:**  
 ADDITIONAL DIMENSIONS SHOWN PER RP1 ITEM 13.  
 A/C PLANT AREA NOTED ON LEVEL 4 ROOF TERRACE.  
 DESIGN REVISION: RECESSED SEPARATION BETWEEN NEW & EXISTING STREET-FRONTING BUILDING FABRIC.  
 DESIGN REVISION: LEVEL 4 REDESIGNED TO BE RECESSED BEHIND CHARLES ROAD STREET WALL. RAISED CEILING/ROOF EMPLOYED TO ACHIEVE LOWER LEVEL 4 WALL HEIGHTS.

**AREAS:**

<b>L1</b>	CARPORT: 81 SQM
	RESIDENTIAL: 16 SQM
	OFFICE: 87 SQM
<b>L2</b>	RESIDENTIAL: 111 SQM
	OFFICE: 68 SQM
<b>L3</b>	RESIDENTIAL: 96 SQM
	BALCONY: 10 SQM
<b>L4</b>	RESIDENTIAL: 42 SQM
	BALCONY: 28 SQM
<b>RESIDENTIAL TOTAL: 265 SQM</b>	
<b>BALCONY TOTAL: 44 SQM</b>	
<b>OFFICE TOTAL: 155 SQM</b>	

**SITE AREA: 188 SQM**

**PROPOSED SITE COVER: 178 SQM (94%)**

**PROPOSED PERMEABILITY: 0% (AS EXISTING)**

**PROPOSED P.O.S.: 44 SQM (BALCONIES)**

**LEGEND:**

- EXISTING WALLS
- PROPOSED WALLS

PRELIMINARY FOR DISCUSSION  
 DRAWING ISSUE: 100% PLANNED APPLICATION

ISSUE DATE: 04 NOV 2016

A	REV	DATE	AMENDMENT

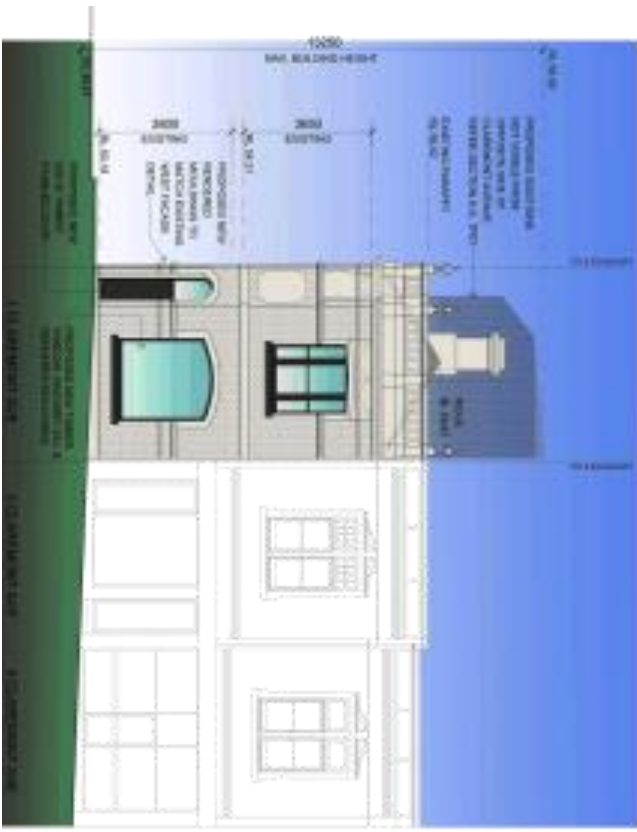
ADDITIONS & ALTERATIONS AT  
 1 CLAREMONT AVENUE MALVERN  
 FOR  
 COLIN & SUE CHINNER

**PROPOSED FLOOR PLANS**

REF NO: 211841 DWD NO: REVISION  
 SCALE: 1:100  
 DATE: JULY 17

**TP06 A**

**CATT ARCHITECTS**  
 P.O. BOX 471 MALVERN 3144 AUSTRALIA  
 TEL: +61 (0)8 9401 4002 FAX: +61 (0)8 9401 4003

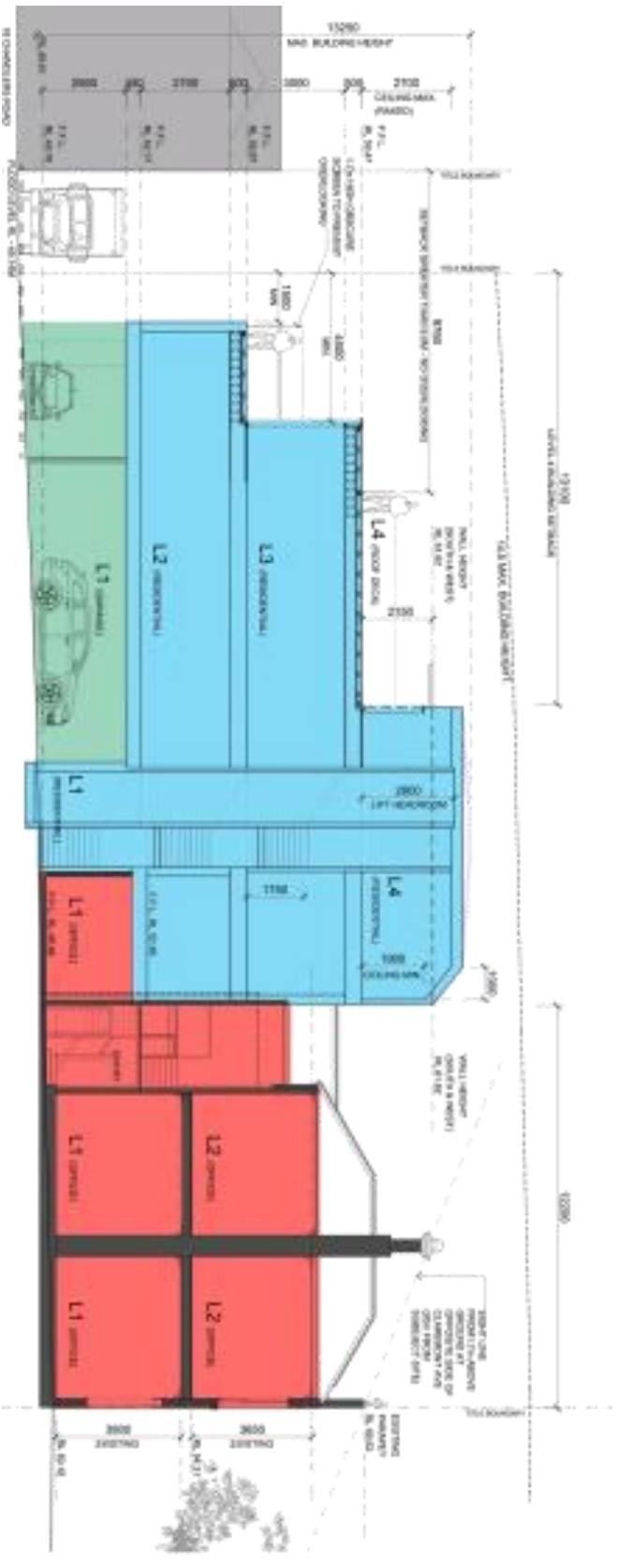


**PROPOSED ELEVATIONS**  
 DATE: 11/20/2018  
 DRAWN BY: J. [Name]  
 CHECKED BY: J. [Name]  
 SCALE: 1/8" = 1'-0"  
 PROJECT: 18-008  
 SHEET: TP08

**MATERIALS KEY:**

[Color swatch]	BRICK
[Color swatch]	ALUMINUM
[Color swatch]	GLASS
[Color swatch]	WOOD
[Color swatch]	ROOFING
[Color swatch]	LANDSCAPE
[Color swatch]	PAVING
[Color swatch]	WATER
[Color swatch]	SKY

REVISIONS:  
 NO. 1 - REVISION OF [Description]  
 APPROVED BY: [Name]  
 COMMENTS:



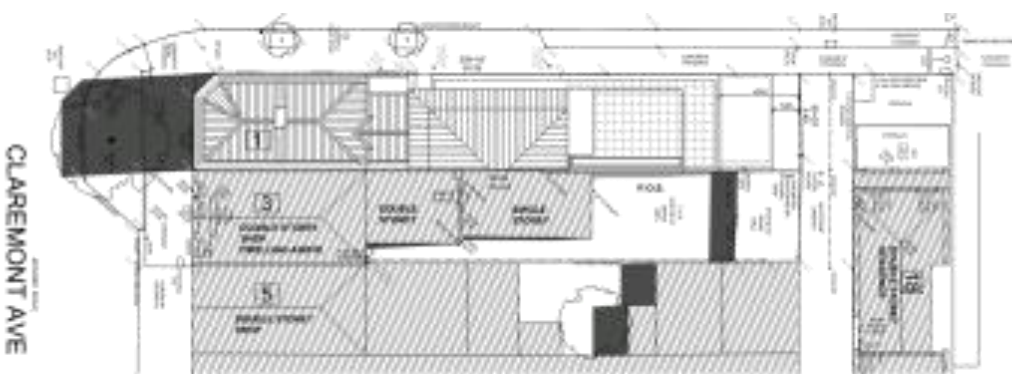
**MATERIALS KEY:**

- RESIDENTIAL UNIT LIGHT
- RESIDENTIAL UNIT DARK
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- RESIDENTIAL UNIT DARK
- RESIDENTIAL UNIT LIGHT
- RESIDENTIAL UNIT DARK

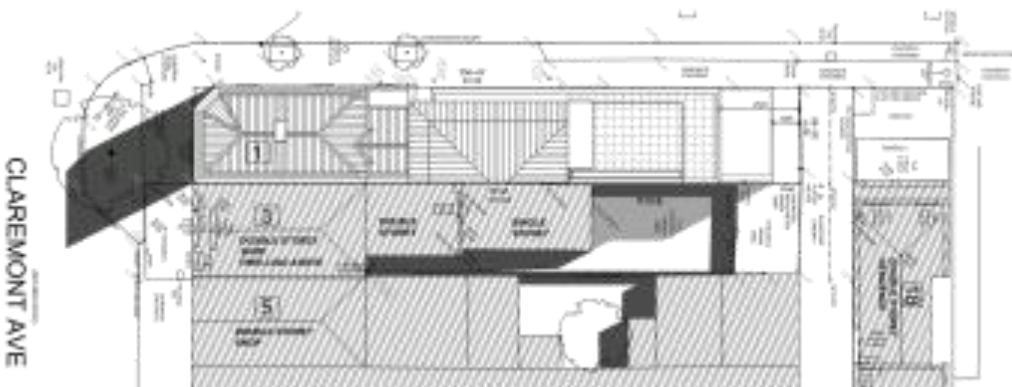
**PROPOSED ELEVATION, SECT K**

DATE: 10/15/18

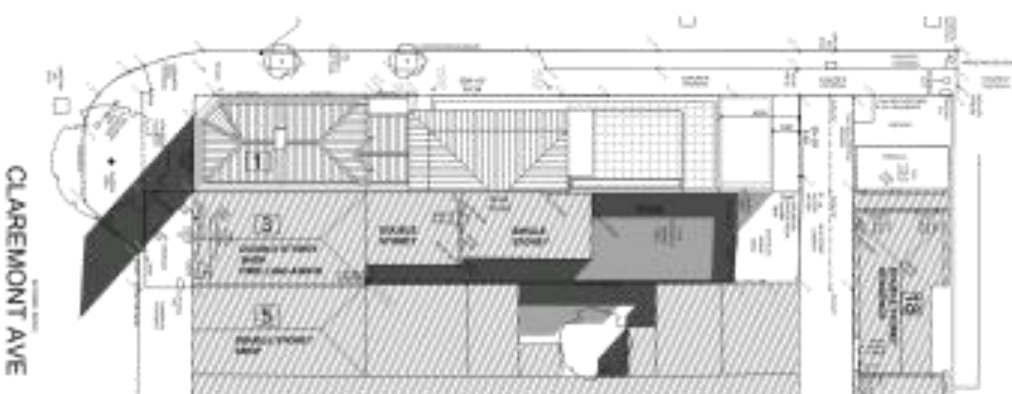
TP07



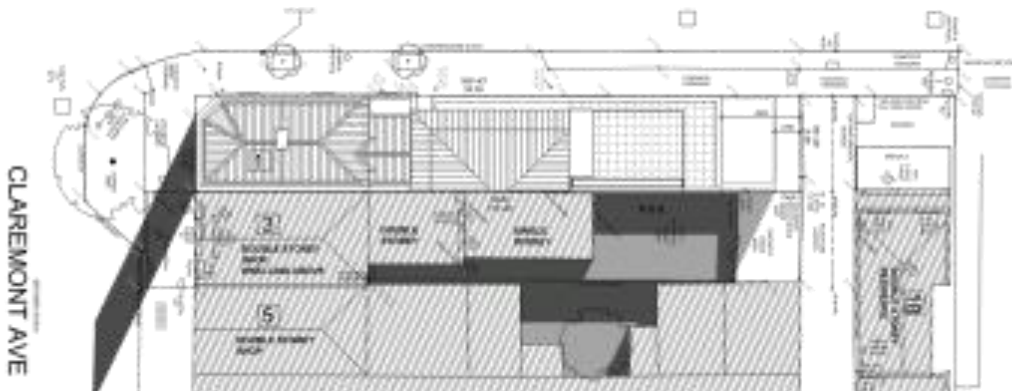
SHADOW DIAGRAM - 12 NOON SEPT EQUINOX  
1:300



SHADOW DIAGRAM - 1PM SEPT EQUINOX  
1:300



SHADOW DIAGRAM - 2PM SEPT EQUINOX  
1:300



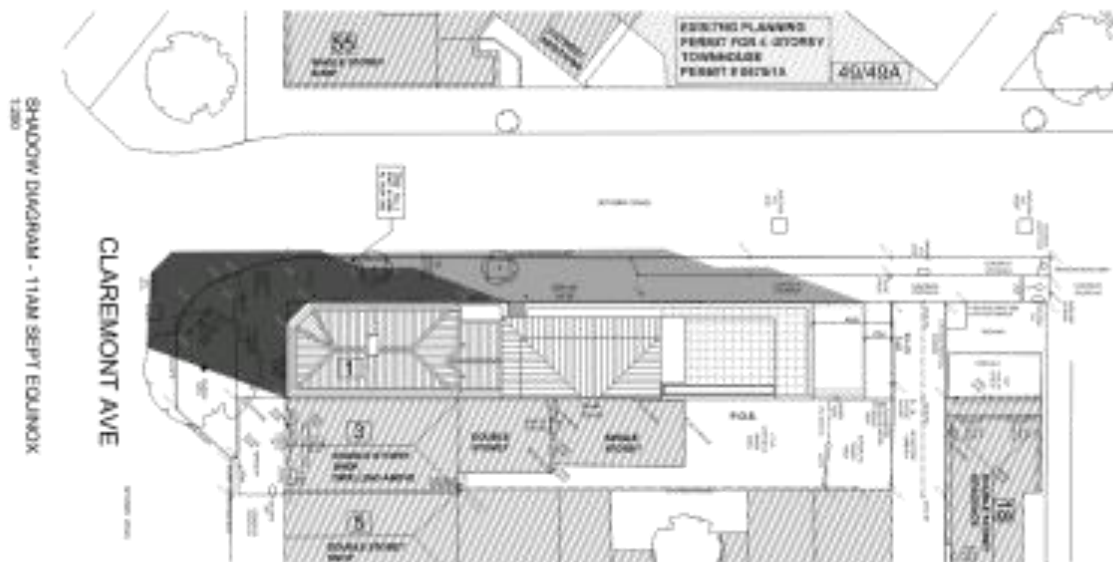
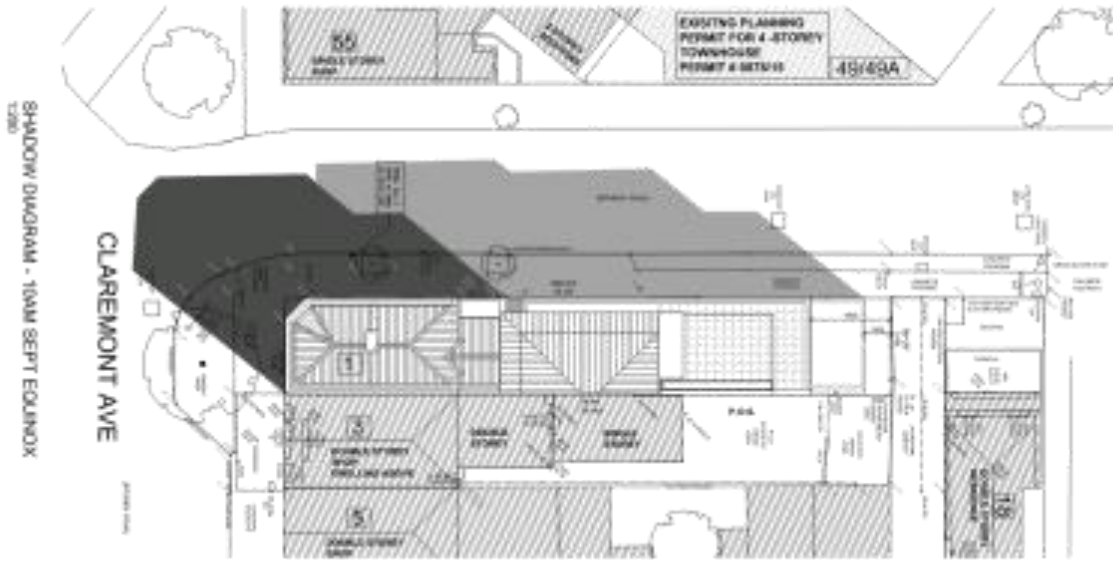
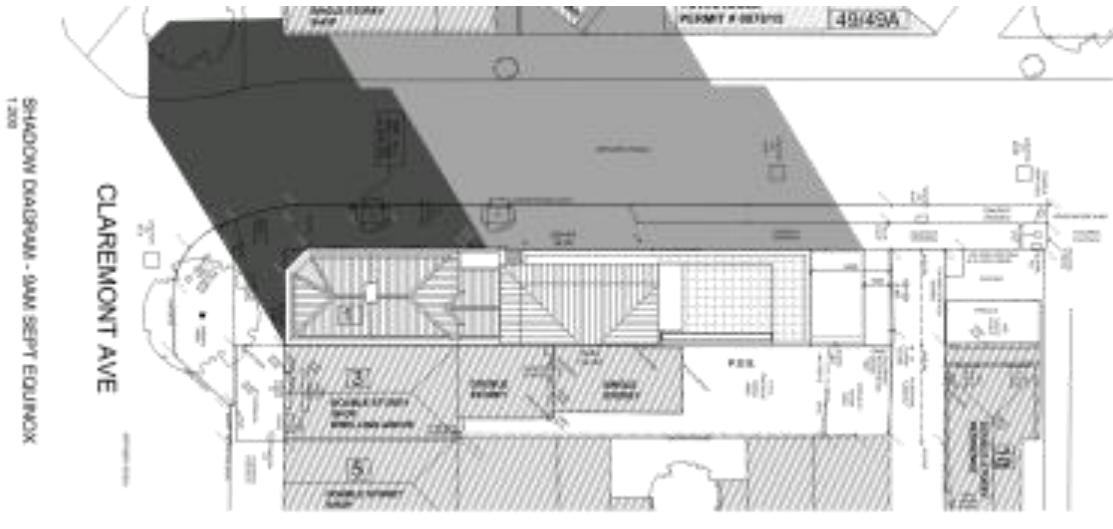
SHADOW DIAGRAM - 3PM SEPT EQUINOX  
1:300

**KEY:**  
 ■ SHADOW CAST BY EXISTING OR NEW BUILDING OR ELEMENT WITHIN SHADOW STUDY  
 ■ SHADOW CAST BY EXISTING OR NEW BUILDING OUTSIDE OF SHADOW STUDY  
 ■ SHADOW CAST BY EXISTING OR NEW BUILDING OUTSIDE OF SHADOW STUDY  
 ■ SHADOW CAST BY EXISTING OR NEW BUILDING OUTSIDE OF SHADOW STUDY

SHADING ISSUE: SHOWN AS SHOWN  
 ISSUE DATE: NOV 2014  
 PREP BY: [Redacted]  
 DRAWN BY: [Redacted]

KLINGSTUBBINS & ASSOCIATES  
 15 CLAREMONT AVENUE, SUITE 200  
 MALVERN, PA 19353  
**SHADOW DIAGRAM**

SCALE: 1/8" = 1'-0"  
 DATE: 11/13/14  
 TP-10



**KEY:**

- SHADOW CAST BY EXISTING OR PROPOSED BUILDING SUBJECT TO PERMITTING AGENCIES
- PROPOSED SHADOW CAST BY PROPOSED ADDITION

**SHADING ISSUE:** COMM. MEAS. ISSUE DATE: NOV. 2018

**DATE:** 11/15/18

**SCALE:** 1/8" = 1'-0"

**DATE:** 11/15/18

**PROJECT:** SHADOW DIAGRAM

**CLIENT:** ALBERTSON'S & ALBERTSON'S AT CLAREMONT AVENUE (M&M) COL. M. & SFC. CHRYM

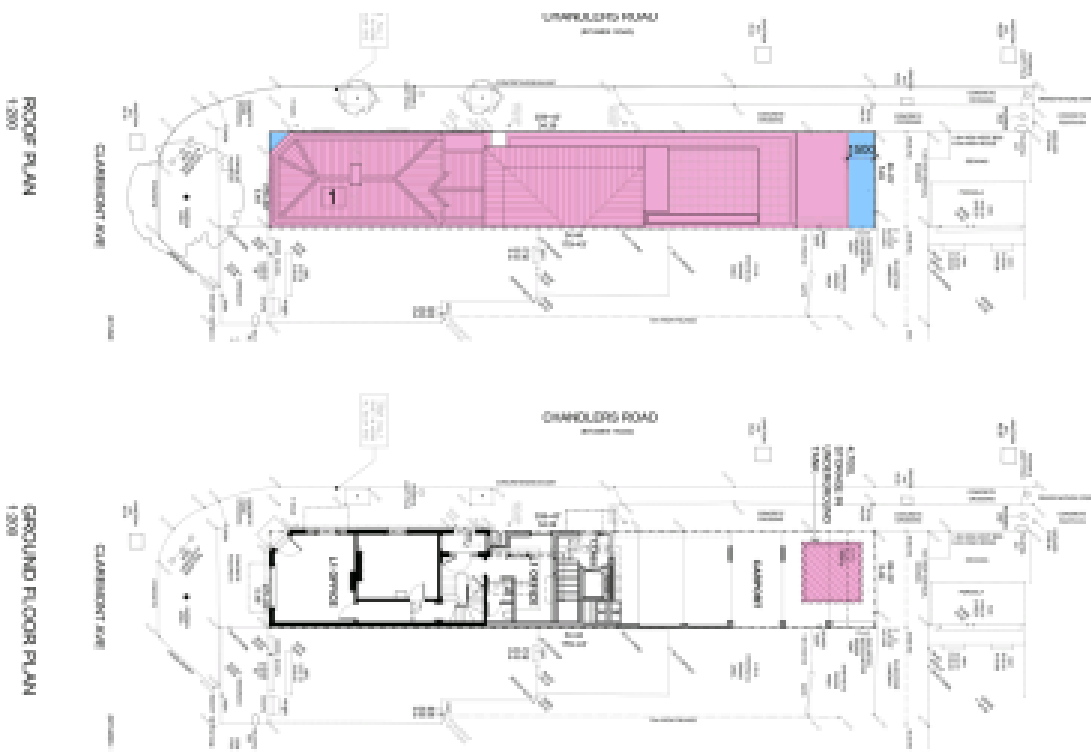
**DATE:** 11/15/18

**SCALE:** 1/8" = 1'-0"

**DATE:** 11/15/18

**PROJECT:** TP09





### STORM RAINING REPORT

**Transmittal:** 898110  
**Mapcode:** STORMWATER  
**Parcel System:** STORMWATER  
**Address:** 1 Claremont Avenue

**Mapcode:** 2141

**VC:** 2141

**VC Manager:** Penetration - Rural Use

**Development Type:** Residential - Rural Use

**Address (as of):** 100.00

**ETCR (as of):** 100

Description	Separate Area (m <sup>2</sup> )	Treated Type	Treatment Area (m <sup>2</sup> )	Discharge to Sewers	Treatment %	Treat Water Retention (m <sup>3</sup> )
Road	178.00	Suburban T100	4,770.00	3	100.00	90.70
Paving	8.00	Road	0.00	0	0.00	0.00
<b>Data Generated:</b>	<b>28-Nov-2018</b>			<b>Program Version:</b>	<b>1.0.0</b>	

- ROAD AREA THAT CHANGES TO A ROAD SEWERAGE TREATMENT CAPACITY PLAN
- ATROAD TREATMENT CAPACITY PLAN TO COLLECT FROM PAVING. TAKE CAPACITY CONNECT TO LOCAL POINT OF DISCHARGE
- ROAD IN LAYERS

**DRAWING TITLE:** STORMWATER  
**SCALE:** 1:500  
**DATE:** 28/11/18  
**PROJECT NO.:** 811-18-1

**ADDITIONAL INFORMATION:**  
 1. CONSULT AVENUE MALVERN COLLECTOR CHANNEL  
 2. COLLECTOR CHANNEL

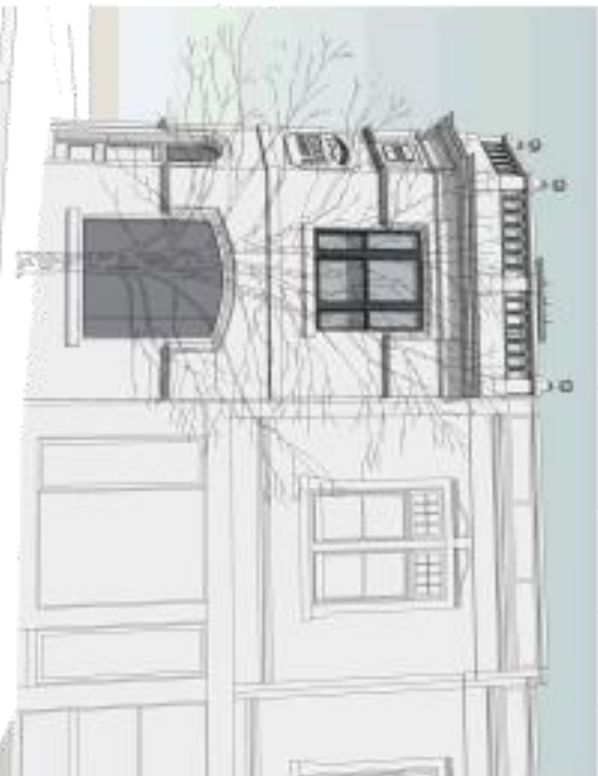
**STORMWATER MANAGEMENT**  
**TP11**



VIEW FROM SOUTH WEST (CHANDLERS ROAD)



VIEW FROM NORTH WEST (CHANDLERS ROAD)



DRAWING TITLE: ARCHITECTURAL  
 ISSUE DATE: 17 MAY 2018

1	DATE	DESCRIPTION
2	17 MAY 2018	ISSUE FOR PERMITTING AND APPROVAL

NOTATIONS & REVISIONS  
 1. CLAREMONT AVENUE 800' N  
 2. CLAREMONT AVENUE 800' N  
 3. CLAREMONT AVENUE 800' N

PREPARED BY: TP12  
 CHECKED BY:  
 DATE: 02/17/18

