


4A and 4B Canberra Road Toorak

 = Objector

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4a & 4b Canberra Rd, Toorak

TOWN PLANNING APPLICATION

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Disclaimer

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Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Aerial Photo & Streetscape

Date
05/16/14

Drawing Status
Town Planning

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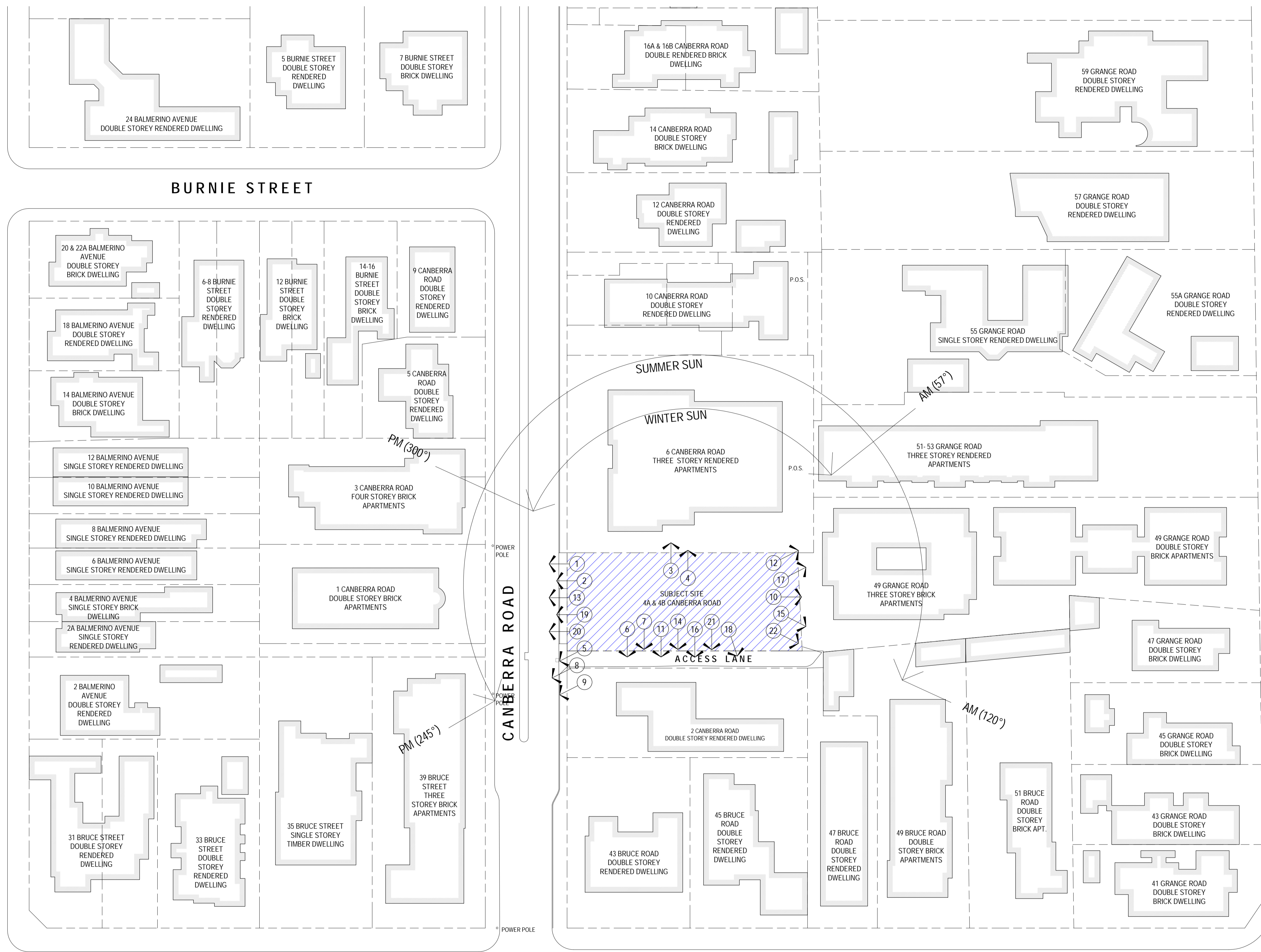
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Scale at A1
1 : 400

Drawing No.
TP01

Revision
F

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THE SITE IS LOCATED WITHIN CLOSE PROXIMITY TO THE FOLLOWING COMMUNITY ASSETS.

- PARKS/GARDENS/RESERVES:
1. COMO HOUSE, 0.5KM WEST
 2. COMO PARK & COMO PARK NORTH, 0.5KM WEST
 3. LOY'S PADDOCK RESERVE, 0.6KM NORTH
 4. BURNLEY GOLF CLUB, 1.3KM NORTH
 5. ROCKLEY GARDENS, 1.3KM SOUTH WEST

- SHOPPING & RETAIL PRECINCT:
6. TOORAK RD RETAIL STRIP, 0.7KM SOUTH
 7. WOOLWORTHS SUPERMARKET, 0.7KM SOUTH
 8. VOGUE SHPPING CENTRE, 1.7KM EAST
 9. CHAPEL ST, 1.7KM EAST

- EDUCATION:
10. ST CATHERINE'S SCHOOL, 0.9KM EAST
 11. TOORAK PRIMARY SCHOOL, 0.9KM SOUTH
 12. ST KEVIN'S SCHOOL, 1.2KM EAST
 13. MELBOURNE HIGH SCHOOL, 1.3KM WEST

- PUBLIC TRANSPORT:
14. BRUCE ST BUS STOP, 0.1KM SOUTH
 15. GRANGE RD BUS STOP, 0.4KM SOUTH-EAST
 16. TOORAK RD TRAM STOP, 0.8KM SOUTH
 17. HEYINGTON TRAIN STATION, 1.5KM EAST
 18. HAWKS BURN TRAIN STATION, 1.5KM SOUTH

- COMMUNITY:
19. ROYAL SOUTH YARRA TENNIS CLUB, 0.5KM WEST
 20. SOUTH YARRA CRICKET CLUB, 0.5KM WEST
 21. GEELONG GRAMMAR EARLY LEARNING CENTRE, 0.7KM SOUTH
 22. ST JOHN'S ANGLICAN KINDERGARTEN, 1.0KM SOUTH-EAST

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Site Analysis

Date
09/04/15

Drawing Status
Town Planning

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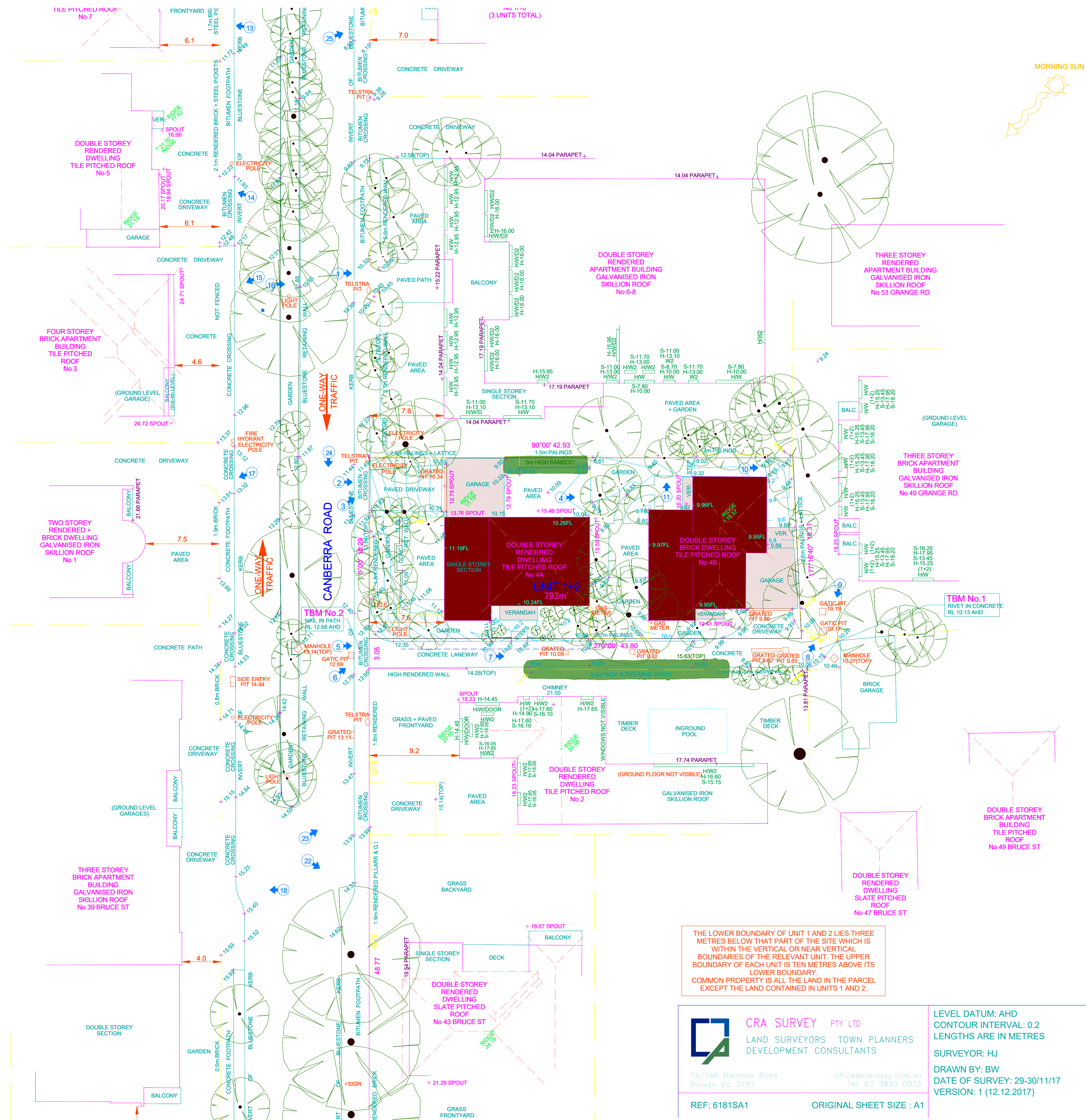
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Scale at A1
1 : 400

Drawing No.
TP02

Revision
F

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NOTE:
 This survey has been carried out for the exclusive use of OSANRAE for the purpose of DESIGN & DEVELOPMENT on the site and should not be used for any other purpose or by any other person or corporation.
 Structures below the surface level (if any) including footings projecting into the site from adjoining properties have not been located by this survey. We have not excavated the site to determine their existence.
 The levels and features shown on this plan have been located by this survey. Any other services and features which may be in the area have not been shown and no attempt to ascertain their existence has been made.
 Prior to any demolition, excavation or construction on the site the relevant authority should be contacted to ascertain the possible locations of further services and detailed locations of all services.
 Unless shown otherwise the position of buildings is to plotting accuracy and the dimensions of buildings should NOT be determined from computer data for any final design plans or workshop details. The position of the boundary structures and fences are shown relative to title in our plan 6181SA1.
 AHD Level Datum has been derived from GPS observations at PRAHRAN PM 133 (RL 10.628) using Leica VIVA GPS receiver and GPSnet observations.
 The AHD datum has been established from GPS observations only. If a precise connection to AHD is critical a differential levelling method should be used for verification. If this is required please contact the office of CRA Survey.
 This plan has been provided as a hard-copy plan and also in digital format. The hard-copy takes precedence over the digital data as no guarantee can be given to transfer of data to another system.
 CRA Survey accepts no responsibility for any loss or damage howsoever suffered to any person or corporation that might use or rely on this plan in contravention of this disclaimer.

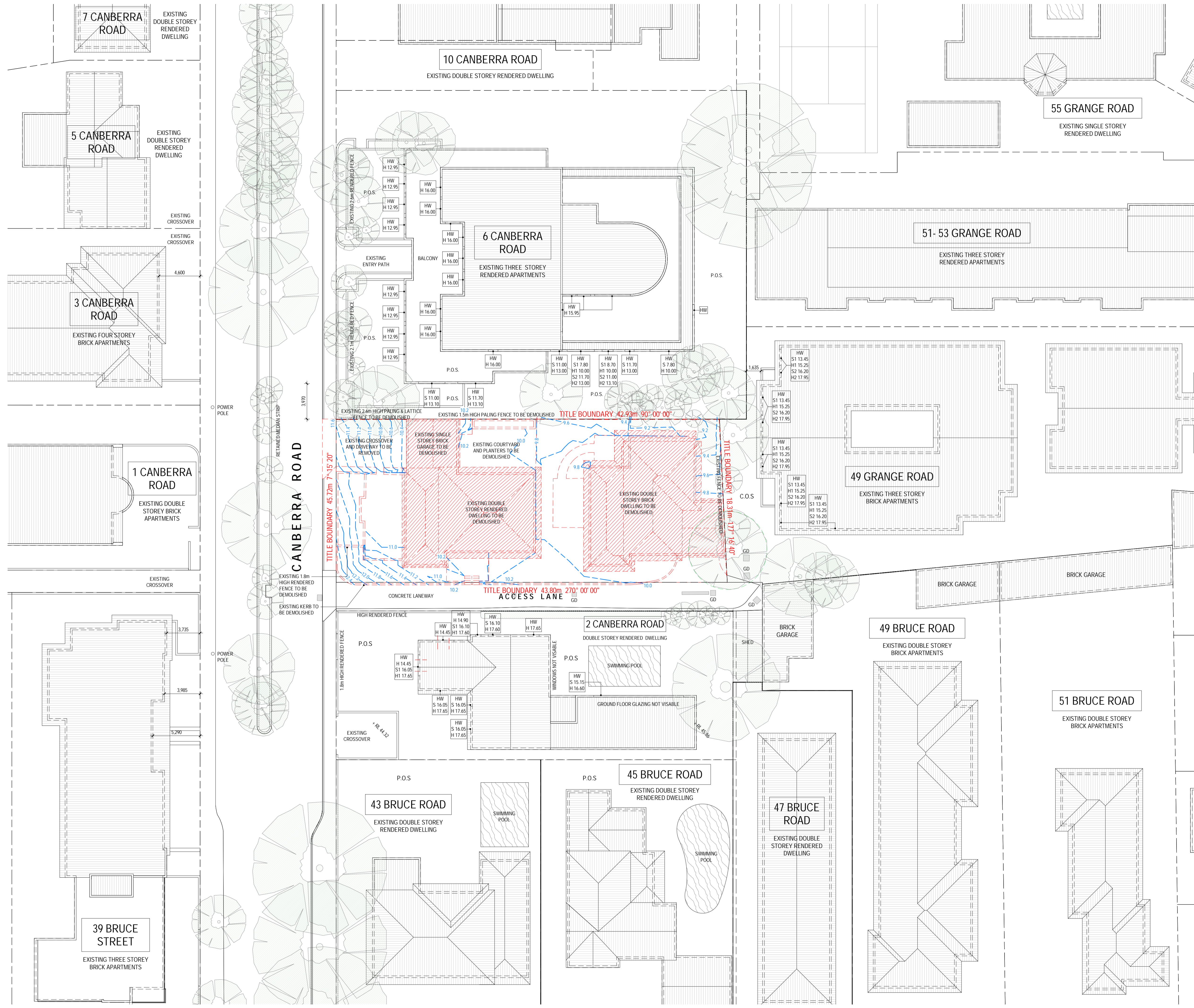
LEGEND

15.20 SPOUT	GUTTER LEVEL 15.20
16.57 RIDGE	FLOOR LEVEL 16.57
9.96 FL	RIDGE LEVEL 9.96
HW	HABITABLE WINDOW
W	WINDOW
H-17.60	HEAD HEIGHT
S-16.10	SILL HEIGHT
1	PHOTO NUMBER AND DIRECTION

THE LOWER BOUNDARY OF UNIT 1 AND 2 LIES THREE METRES BELOW THAT PART OF THE SITE WHICH IS WITHIN THE VERTICAL OR NEAR VERTICAL BOUNDARIES OF THE RELEVANT UNIT. THE UPPER BOUNDARY OF EACH UNIT IS TEN METRES ABOVE ITS LOWER BOUNDARY. COMMON PROPERTY IS ALL THE LAND IN THE PARCEL EXCEPT THE LAND CONTAINED IN UNITS 1 AND 2.

<p>CRA SURVEY PTY LTD LAND SURVEYORS TOWN PLANNERS DEVELOPMENT CONSULTANTS</p> <p>7A/346 Belmore Road Balwyn Vic 3103 office@craurvey.com.au Tel: 03 9890 0933</p> <p>REF: 6181SA1 ORIGINAL SHEET SIZE : A1</p>	<p>LEVEL DATUM: AHD CONTOUR INTERVAL: 0.2 LENGTHS ARE IN METRES</p> <p>SURVEYOR: HJ</p> <p>DRAWN BY: BW DATE OF SURVEY: 29-30/11/17 VERSION: 1 (12.12.2017)</p>	<p>4A & 4B CANBERRA ROAD TOORAK, 3142 UNIT 1 & UNIT 2 ON SP 17657 VOL: 9469 FOL: 084 & 9469 FOL: 085</p> <p>COUNTY OF BOURKE PARISH OF PRAHRAN CROWN PORTION 14 (PART)</p>	<p>PLAN OF SITE ANALYSIS SURVEY</p>
	<p>SHEET 1 OF 1</p>	<p>ORIGINAL SCALE 1:200</p>	

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- LEGEND**
- EXISTING TREES TO BE RETAINED
 - EXISTING TREES TO BE REMOVED
 - EXISTING EASEMENT TO BE RETAINED
 - EXISTING BUILDINGS TO BE DEMOLISHED
- ABBREVIATIONS**
- | | | | |
|-----|----------------------------------|----|--------------------------------------|
| H | HEAD HEIGHT OF WINDOW | S | SILL HEIGHT OF WINDOW |
| HWG | HABITABLE WINDOW AT GROUND LEVEL | WG | NON-HABITABLE WINDOW AT GROUND LEVEL |
| HW1 | HABITABLE WINDOW AT LEVEL 1 | W1 | NON-HABITABLE WINDOW AT LEVEL 1 |
- NOTES**
- LANDSCAPING IS INDICATIVE ONLY - REFER TO LANDSCAPE DRAWINGS
 - LEVELS ARE PRELIMINARY AND SUBJECT TO FURTHER DESIGN DEVELOPMENT

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Existing Conditions and Demolition

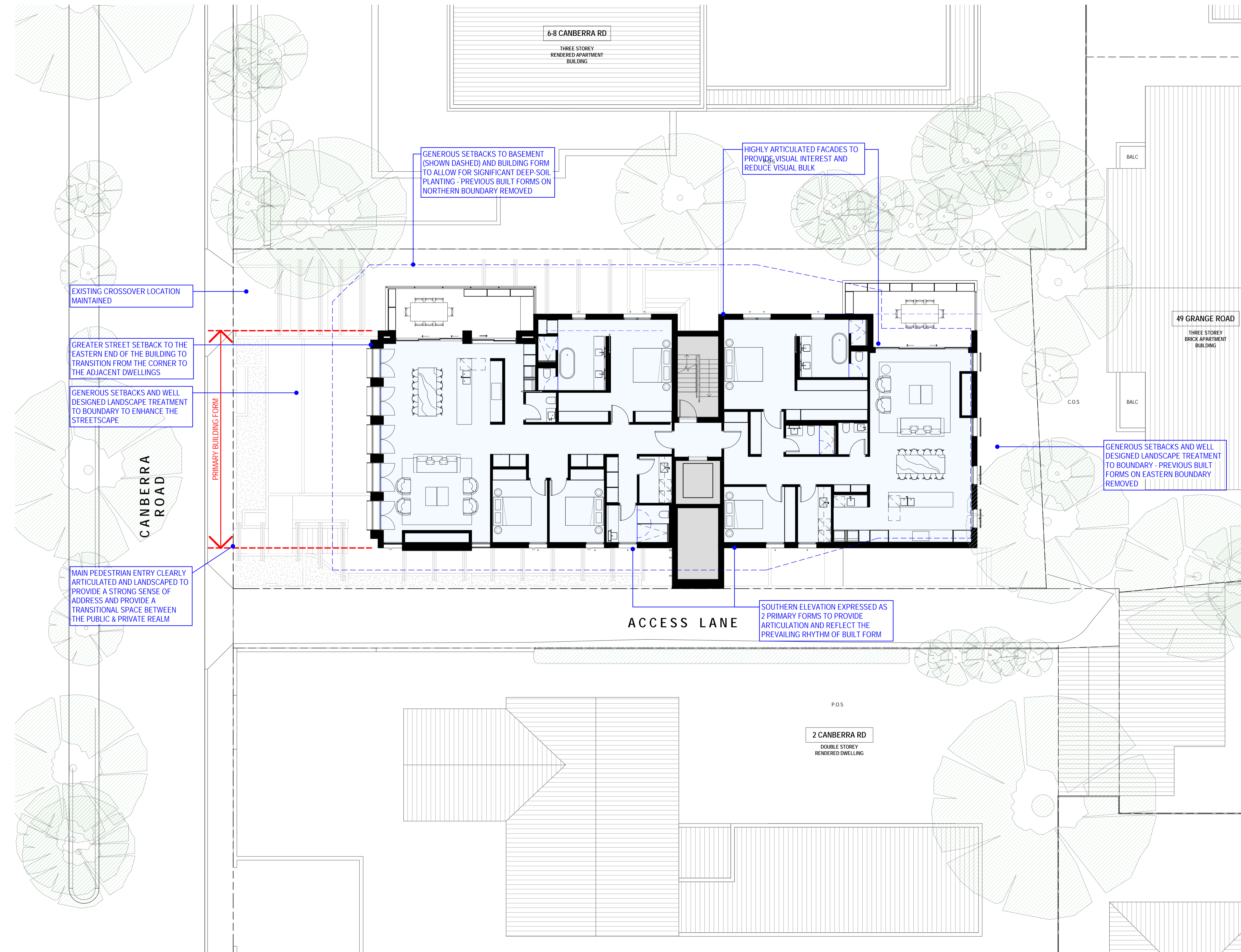
Date
08/29/13

Drawing Status
Town Planning

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4A & 4B CANBERRA ROAD, TOORAK DEVELOPMENT SUMMARY

	Area m ²	%
Total Site Area	793	
EXISTING		
Site Coverage (Ground)	348	43.9
Permeable Area	245	30.9
PROPOSED		
Site Coverage - Ground	438	55.2
Site Coverage - Basement (incl piles)	539.9	68.1
Permeable Area	163	20.5
Site Coverage - Basement including full extent of ramp	548.3	69.1
Apartment Mix:	2 Bed 3 Bed	2 3
	Total:	5
Carpark Mix:	Residential Visitor	10 1
	Total:	11
Bicycle Parking:	Residential Visitor	1 1
	Total:	2
Storage Spaces:	Total:	5

Ground Floor Area Schedule

APARTMENT	TYPE	AREA	POS
G.01	3 BED	173.6 m ²	103.0 m ²
G.02	2 BED	136.8 m ²	146.9 m ²
TOTAL		310.5 m²	249.9 m²

First Floor Area Schedule

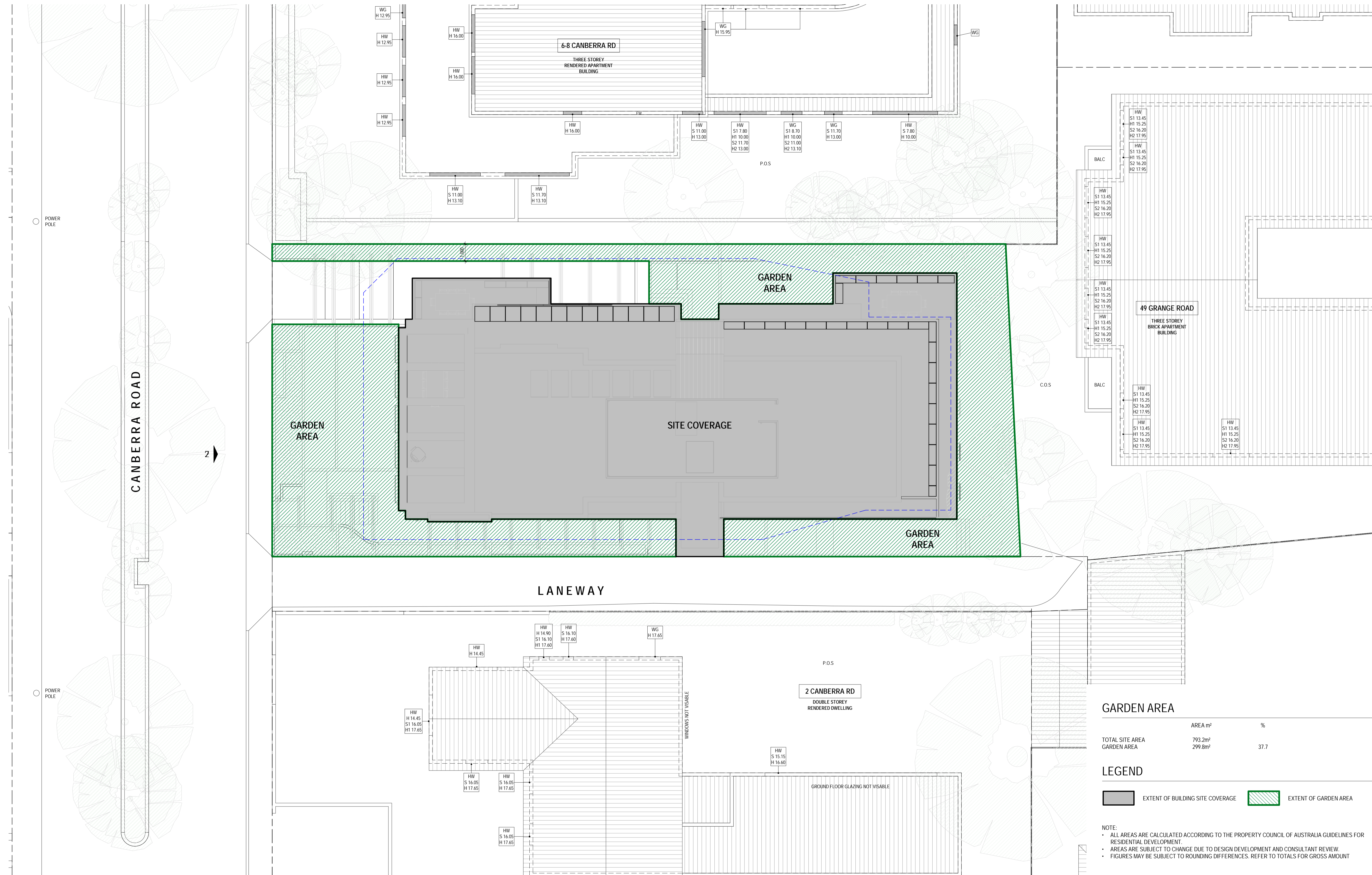
APARTMENT	TYPE	AREA	BALCONY
1.01	3 BED	176.3 m ²	20.7 m ²
1.02	2 BED	149.4 m ²	21.3 m ²
TOTAL		325.7 m²	42.0 m²

Second Floor Area Schedule

APARTMENT	TYPE	AREA	BALCONY
2.01	3 BED	187.1 m ²	126.2 m ²
TOTAL		187.1 m²	126.2 m²

- NOTE:**
- ALL AREAS ARE CALCULATED TO INCLUDE INTERNAL FLOOR AREA ONLY.
 - AREAS ARE SUBJECT TO CHANGE DUE TO DESIGN DEVELOPMENT AND CONSULTANT REVIEW.
 - FIGURES MAY BE SUBJECT TO ROUNDING DIFFERENCES. REFER TO TOTALS FOR GROSS AMOUNT
 - REFER TO TP08 FOR GARDEN AREA DETAILS

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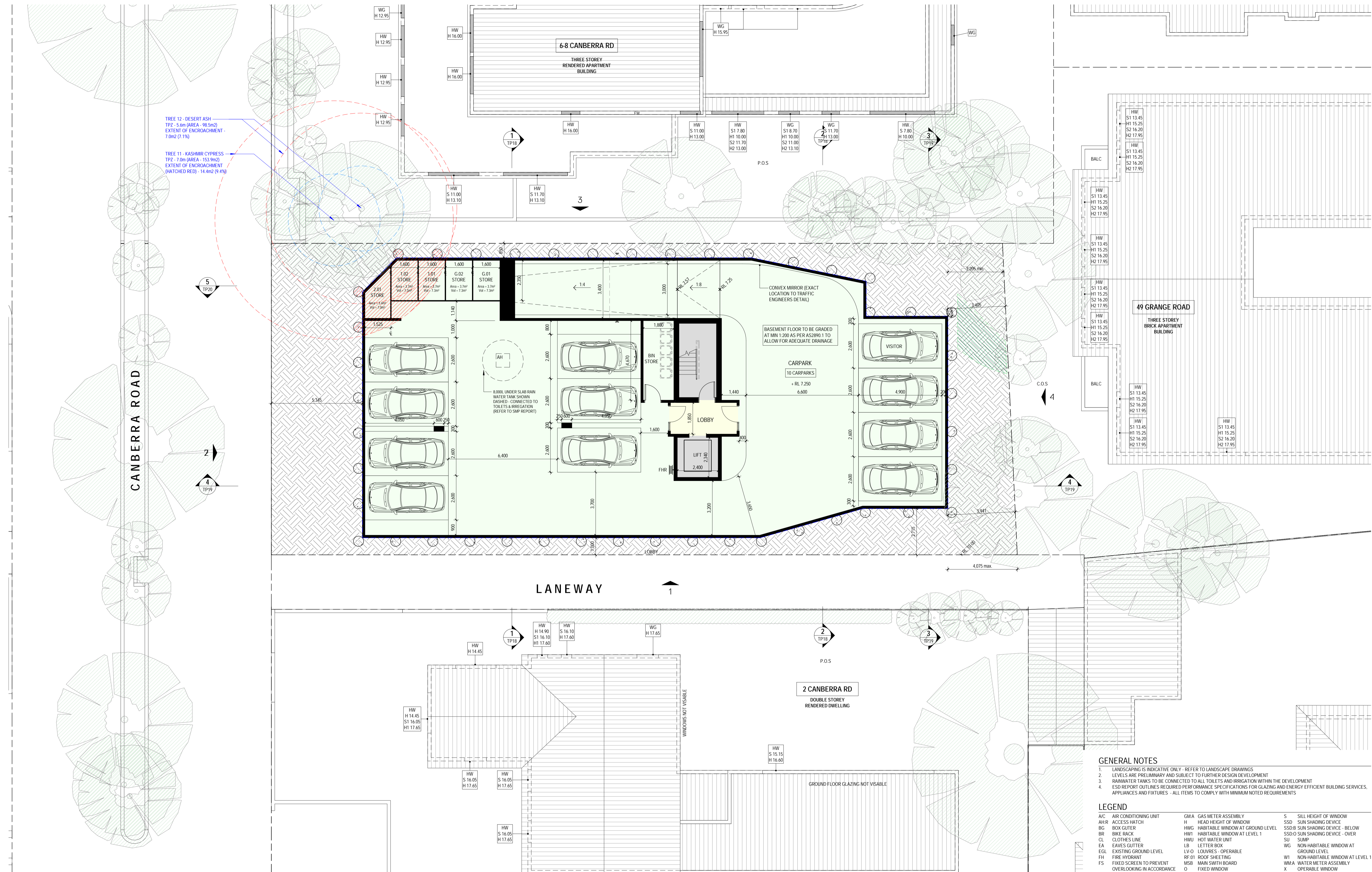
GARDEN AREA		
	AREA m ²	%
TOTAL SITE AREA	793.2m ²	
GARDEN AREA	299.8m ²	37.7

LEGEND	
	EXTENT OF BUILDING SITE COVERAGE
	EXTENT OF GARDEN AREA

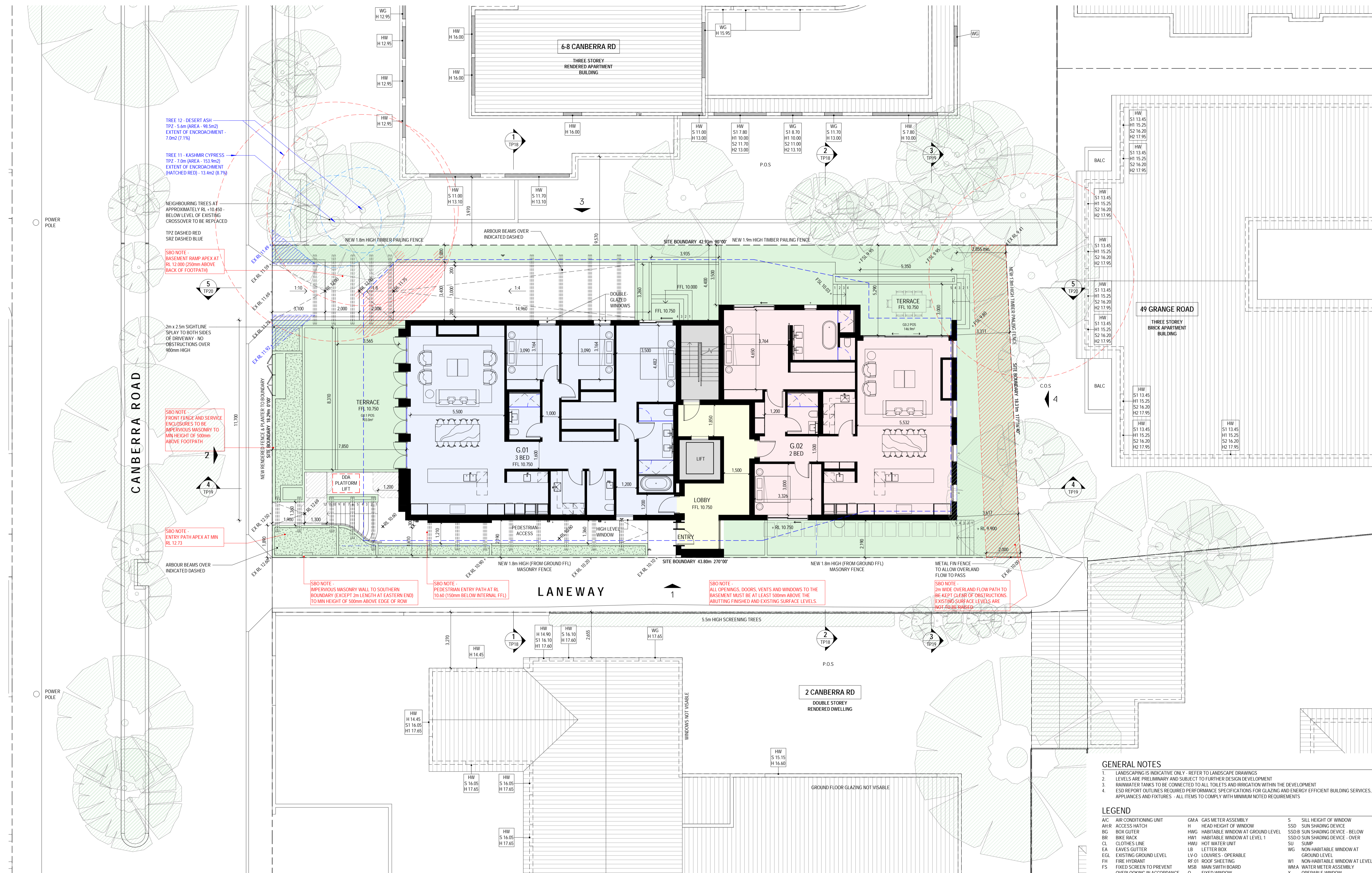
NOTE:
 • ALL AREAS ARE CALCULATED ACCORDING TO THE PROPERTY COUNCIL OF AUSTRALIA GUIDELINES FOR RESIDENTIAL DEVELOPMENT.
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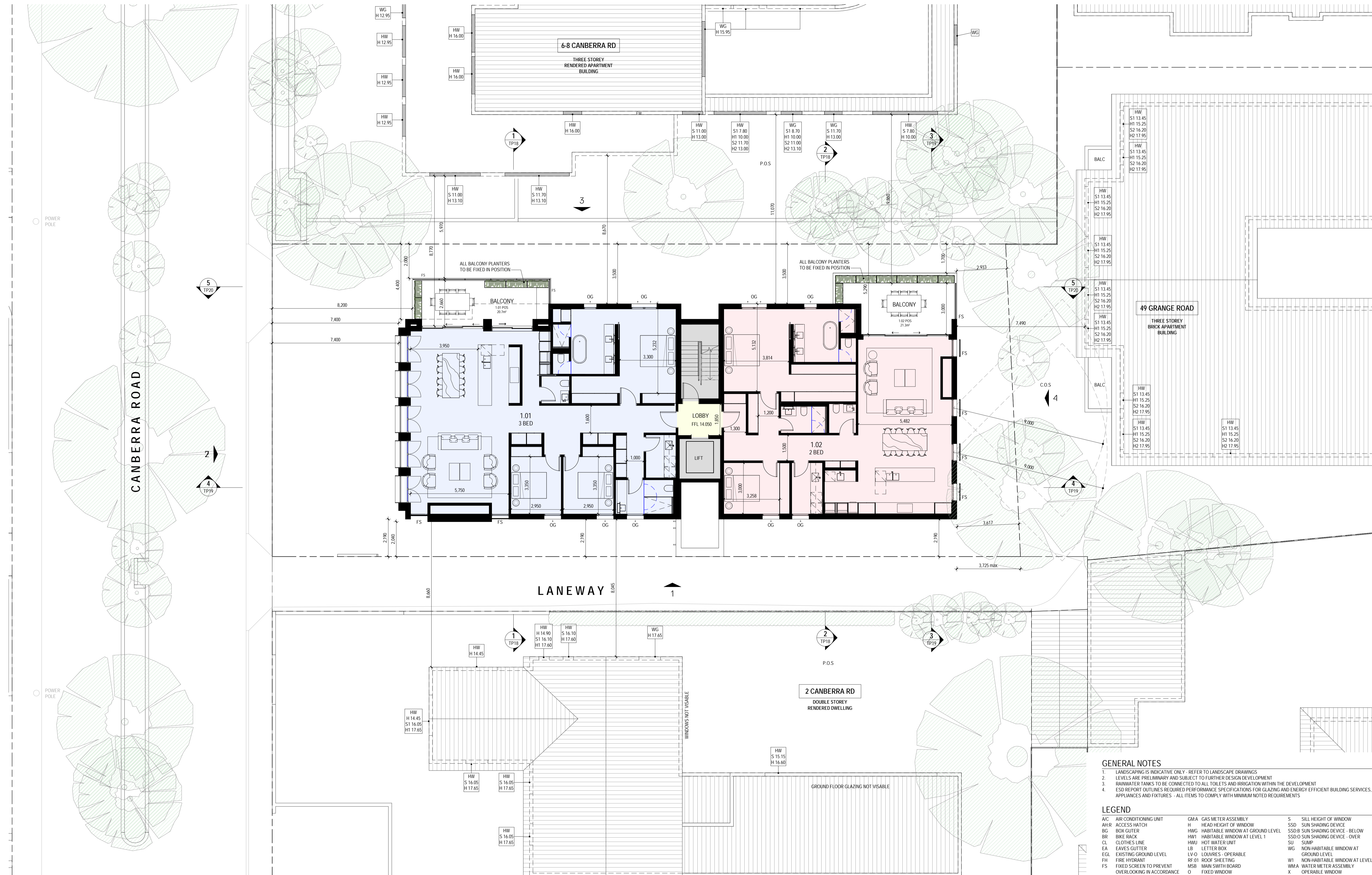
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- ESD REPORT OUTLINES REQUIRED PERFORMANCE SPECIFICATIONS FOR GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCES AND FIXTURES - ALL ITEMS TO COMPLY WITH MINIMUM NOTED REQUIREMENTS

LEGEND

A/C	AIR CONDITIONING UNIT	GMA	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
AHR	ACCESS HATCH	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
BG	BOX GUTTER	HWG	HABITABLE WINDOW AT GROUND LEVEL	SSD-B	SUN SHADING DEVICE - BELOW
BR	BIKE RACK	HWI	HABITABLE WINDOW AT LEVEL 1	SSD-O	SUN SHADING DEVICE - OVER
CL	CLOTHES LINE	HWJ	HOT WATER UNIT	SU	SUMP
EA	EAVES GUTTER	LB	LETTER BOX	WG	NON-HABITABLE WINDOW AT GROUND LEVEL
EGL	EXISTING GROUND LEVEL	LVO	LOUVRES - OPERABLE	W1	NON-HABITABLE WINDOW AT LEVEL 1
FH	FIRE HYDRANT	RF-01	ROOF SHEETING	WMA	WATER METER ASSEMBLY
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	O	FIXED WINDOW
		OG	OBSCURE GLASS	X	OPERABLE WINDOW

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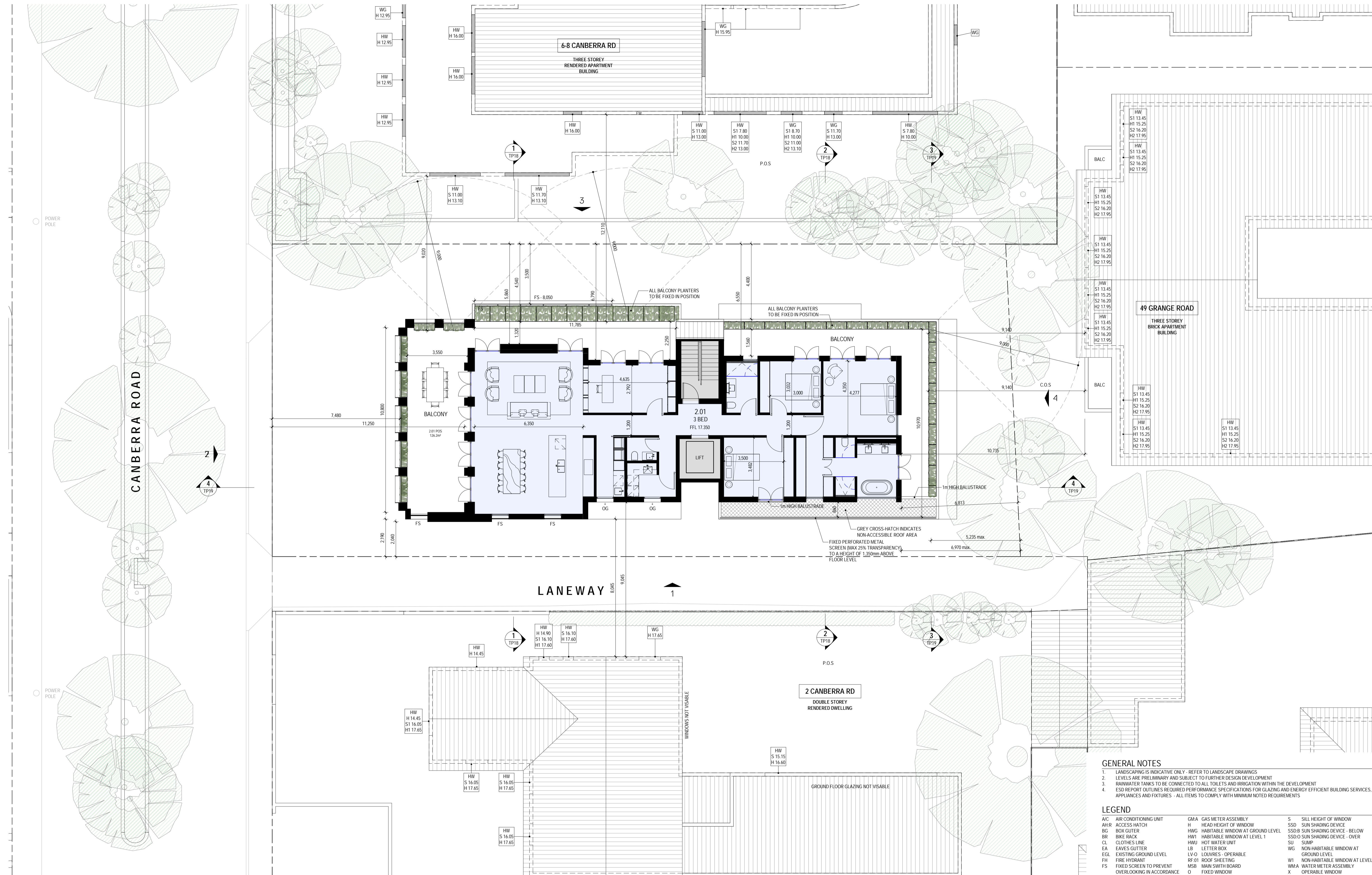


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LEGEND

A/C	AIR CONDITIONING UNIT	GMA	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
A/R	ACCESS HATCH	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
BG	BOX GUTTER	HWG	HABITABLE WINDOW AT GROUND LEVEL	SSD-B	SUN SHADING DEVICE - BELOW
BR	BIKE RACK	HW1	HABITABLE WINDOW AT LEVEL 1	SSD-O	SUN SHADING DEVICE - OVER
CL	CLOTHES LINE	HWU	HOT WATER UNIT	SU	SUMP
EA	EAVES GUTTER	LB	LETTER BOX	WG	NON-HABITABLE WINDOW AT GROUND LEVEL
EGL	EXISTING GROUND LEVEL	LVO	LOUVRES - OPERABLE	W1	NON-HABITABLE WINDOW AT LEVEL 1
FH	FIRE HYDRANT	RF-01	ROOF SHEETING	WMA	WATER METER ASSEMBLY
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	O	FIXED WINDOW
		O	OBSCURE GLASS	X	OPERABLE WINDOW



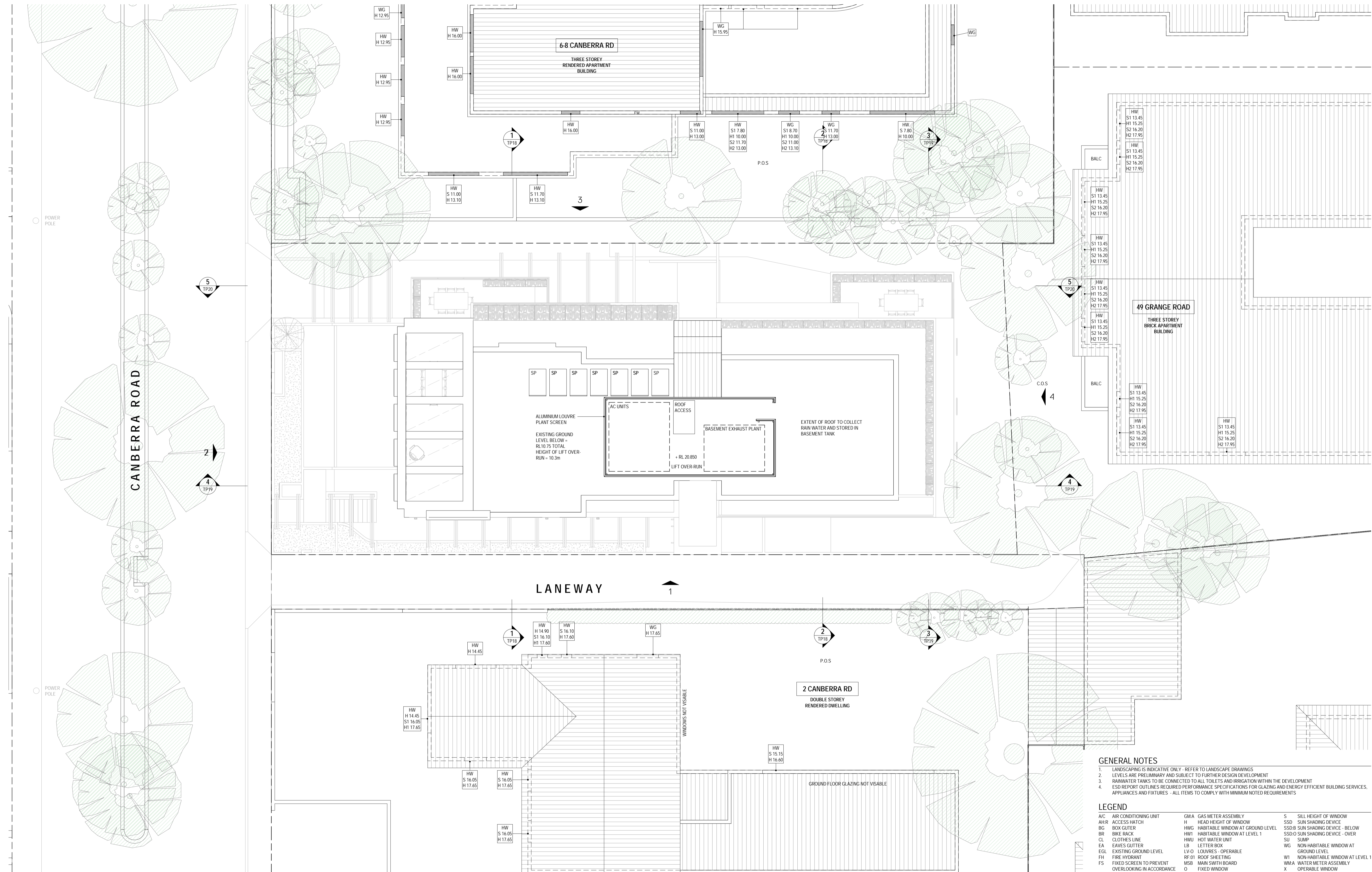
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LEGEND

A/C	AIR CONDITIONING UNIT	GMA	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
A/R	ACCESS RACK	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
BG	BOX GUTTER	HWG	HABITABLE WINDOW AT GROUND LEVEL	SSD-B	SUN SHADING DEVICE - BELOW
BR	BIKE RACK	HW1	HABITABLE WINDOW AT LEVEL 1	SSD-O	SUN SHADING DEVICE - OVER
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FH	FIRE HYDRANT	RF-01	ROOF SHEETING	WMA	WATER METER ASSEMBLY
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	O	FIXED WINDOW
		O	FIXED WINDOW	X	OPERABLE WINDOW
		OG	OBSCURE GLASS		

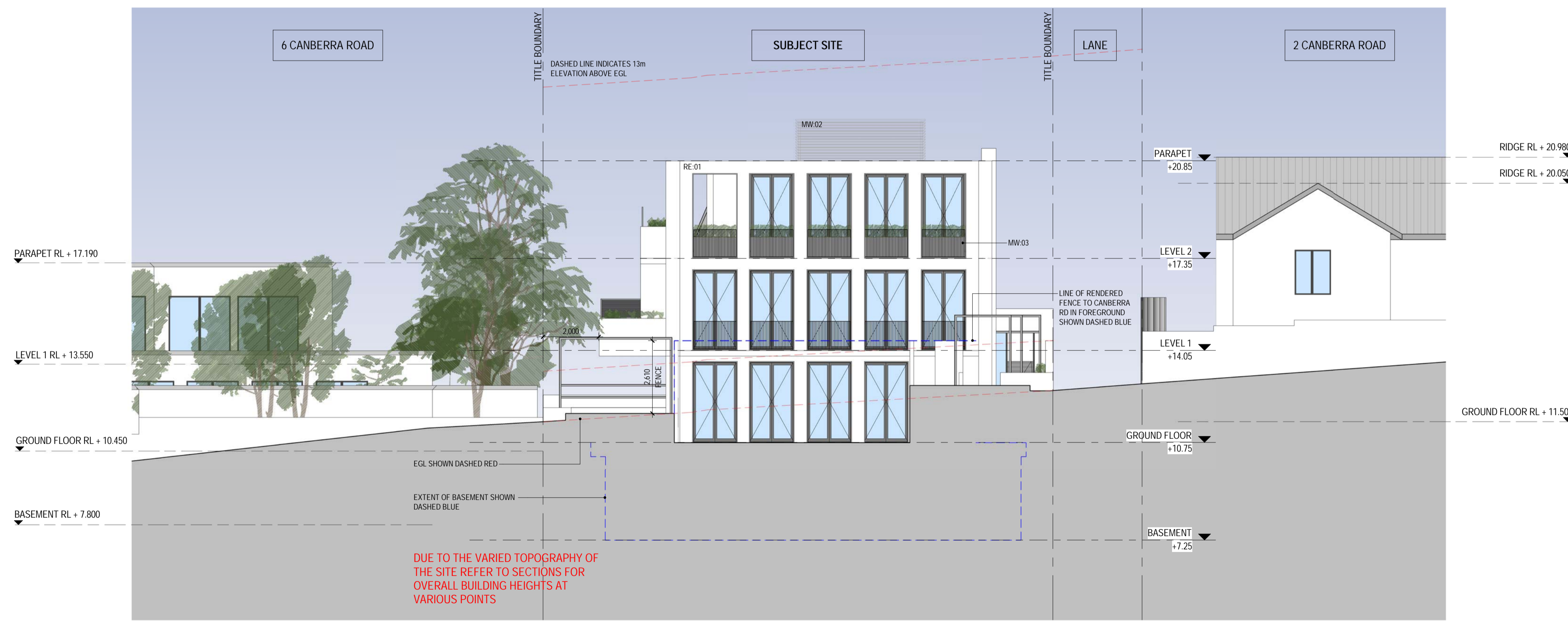
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1 SOUTH ELEVATION
1:100



2 WEST ELEVATION
1:100

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LEGEND

A/C	AIR CONDITIONING UNIT	G/M/A	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
A/H/R	ACCESS HATCH	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
B/G	BOX GUTTER	H/W/G	HABITABLE WINDOW AT GROUND LEVEL	SSD/B	SUN SHADING DEVICE - BELOW
BR	BIKE RACK	H/W/J	HABITABLE WINDOW AT LEVEL 1	SSD/O	SUN SHADING DEVICE - OVER
CL	CLOTHES LINE	H/W/U	HOT WATER UNIT	SU	SUMP
EA	EAVES GUTTER	LB	LETTER BOX	WG	NON-HABITABLE WINDOW AT GROUND LEVEL
EGL	EXISTING GROUND LEVEL	L/V-O	LOUVRES - OPERABLE	W1	NON-HABITABLE WINDOW AT LEVEL 1
FH	FIRE HYDRANT	RF-01	ROOF SHEETING	W/M/A	WATER METER ASSEMBLY
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	X	OPERABLE WINDOW
		OG	OBSCURE GLASS		

EXTERNAL MATERIALS SCHEDULE

CL-01	METAL CLADDING METAL CLADDING COLOUR: CHARCOAL / BLACK	MW-03	METAL BALLUSTRADE POWDERCOATED STEEL BALLUSTRADE COLOUR: BLACK
CL-02	METAL WALL CLADDING WALL CLADDING COLOUR: CHARCOAL / BLACK	RE-01	RENDER COLOUR: TBC
GS-01	GLAZED WINDOWS & DOORS ALUMINIUM FRAMED GLASS TYPE: CLEAR	FE-01	FENCE STEEL RAILING FENCE COLOUR: BLACK
MW-01	METAL SCREENS - MAX. 25% OPENING ANODISED ALUMINIUM SCREENS COLOUR: BLACK	FE-02	FENCE TIMBER PALING FENCE COLOUR: BLACK
MW-02	METAL SCREENS ANODISED ALUMINIUM SCREENS COLOUR: BLACK	FE-03	FENCE STONE / TILE CLAD FENCE

HATCHING DENOTES OBSCURE GLASS UP TO 1700mm ABOVE FINISHED FLOOR LEVEL TO PREVENT OVERLOOKING WITH ADJACENT NEIGHBOURING PROPERTIES

NOTE: IN COMPLIANCE WITH B22 ALL FIXED SCREENS ARE TO 1700mm ABOVE FINISHED FLOOR LEVEL WITH NO MORE THAN 25% OF THE SURFACE OPEN OR TRANSPARENT TO PREVENT OVERLOOKING WITH ADJACENT NEIGHBOURING PROPERTIES.

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3 NORTH ELEVATION
1:100



4 EAST ELEVATION
1:100

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LEGEND

A/C	AIR CONDITIONING UNIT	GMA	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
AHR	ACCESS HATCH	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
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FH	FIRE HYDRANT	RF-01	ROOF SHEETING	WMA	WATER METER ASSEMBLY
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	X	OPERABLE WINDOW
		OG	OBSCURE GLASS		

EXTERNAL MATERIALS SCHEDULE

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CL-02	METAL WALL CLADDING WALL CLADDING COLOUR: CHARCOAL / BLACK	RE-01	FENCE COLOUR: TBC
GS-01	GLAZED WINDOWS & DOORS ALUMINIUM FRAMED GLASS TYPE: CLEAR	FE-01	FENCE STEEL PALING FENCE COLOUR: BLACK
MW-01	METAL SCREENS - MAX. 25% OPENING ANODISED ALUMINIUM SCREENS COLOUR: BLACK	FE-02	FENCE TIMBER PALING FENCE COLOUR: BLACK
MW-02	METAL SCREENS ANODISED ALUMINIUM SCREENS COLOUR: BLACK	FE-03	FENCE STONE / TILE CLAD FENCE

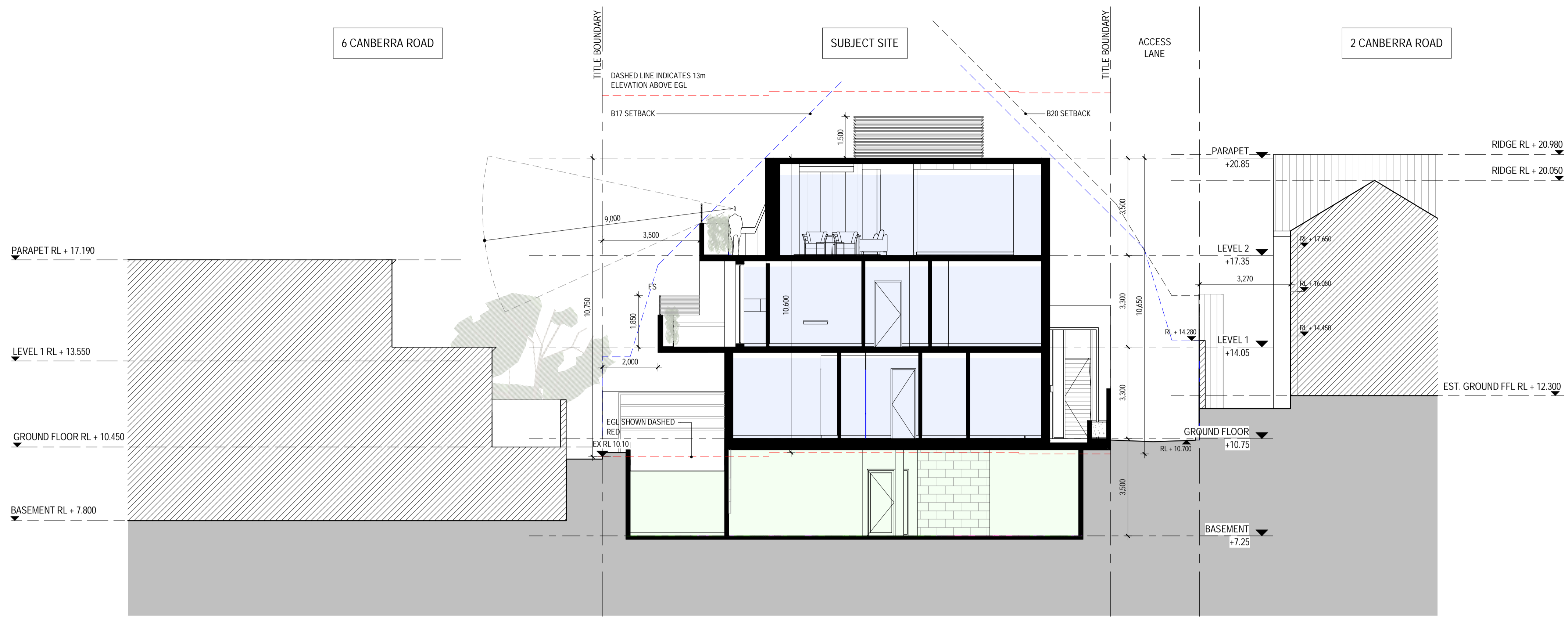
HATCHING DENOTES OBSCURE GLASS UP TO 1700mm ABOVE FINISHED FLOOR LEVEL TO PREVENT OVERLOOKING WITH ADJACENT NEIGHBOURING PROPERTIES

NOTE: IN COMPLIANCE WITH B22 ALL FIXED SCREENS ARE TO 1700mm ABOVE FINISHED FLOOR LEVEL WITH NO MORE THAN 25% OF THE SURFACE OPEN OR TRANSPARENT TO PREVENT OVERLOOKING WITH ADJACENT NEIGHBOURING PROPERTIES.

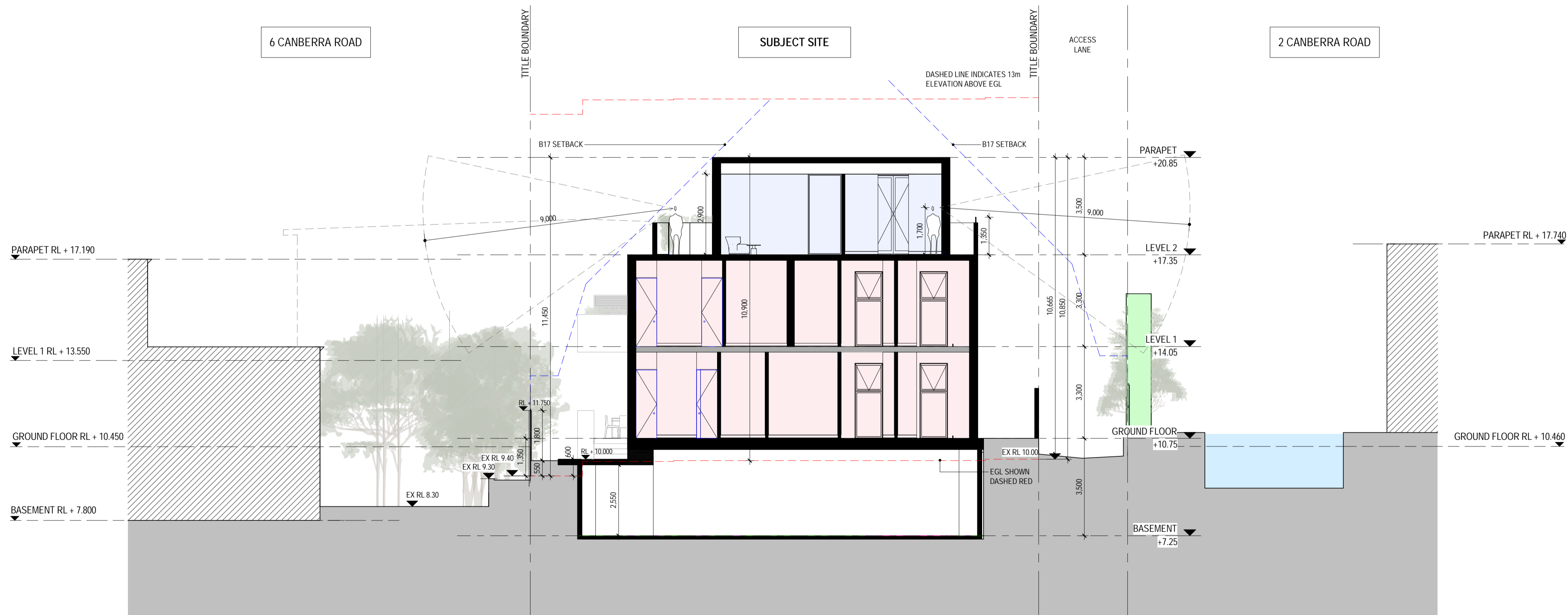
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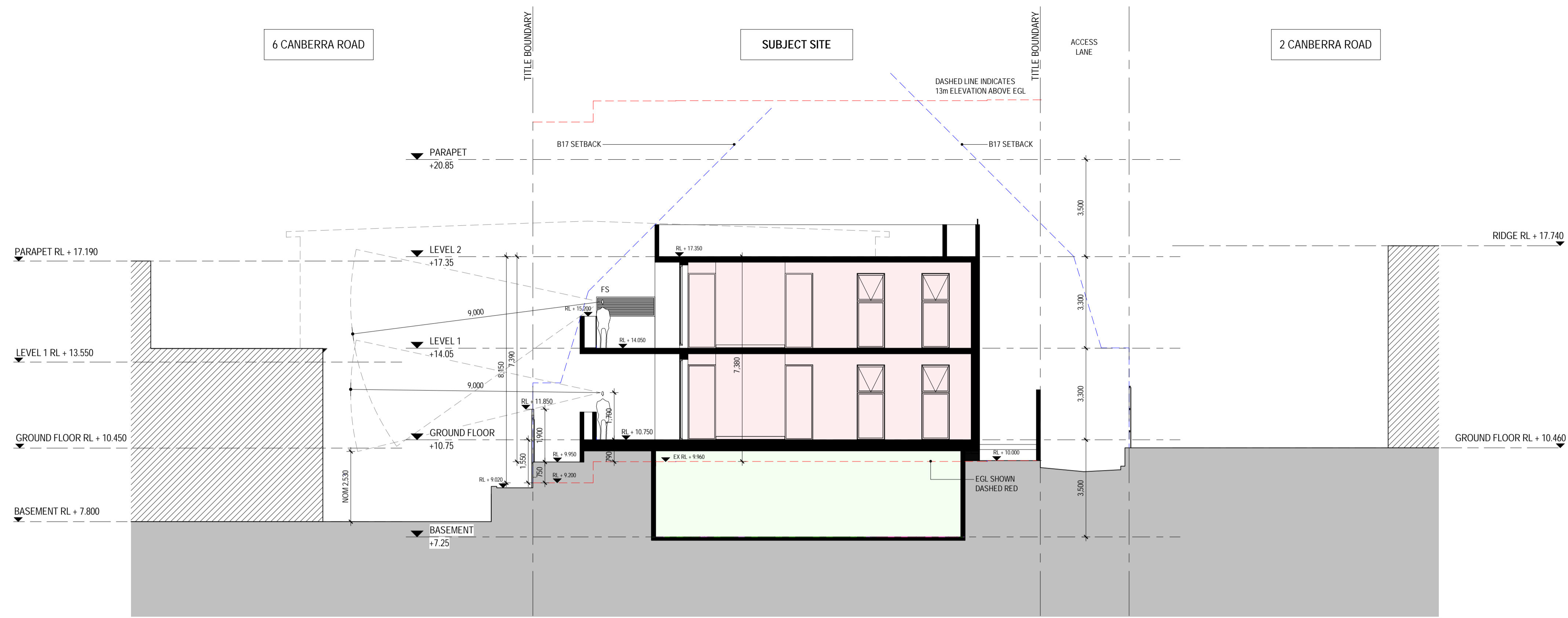


1 NORTH-SOUTH SECTION 1
1:100



2 NORTH-SOUTH SECTION 2
1:100

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3 NORTH-SOUTH SECTION 3
1:100

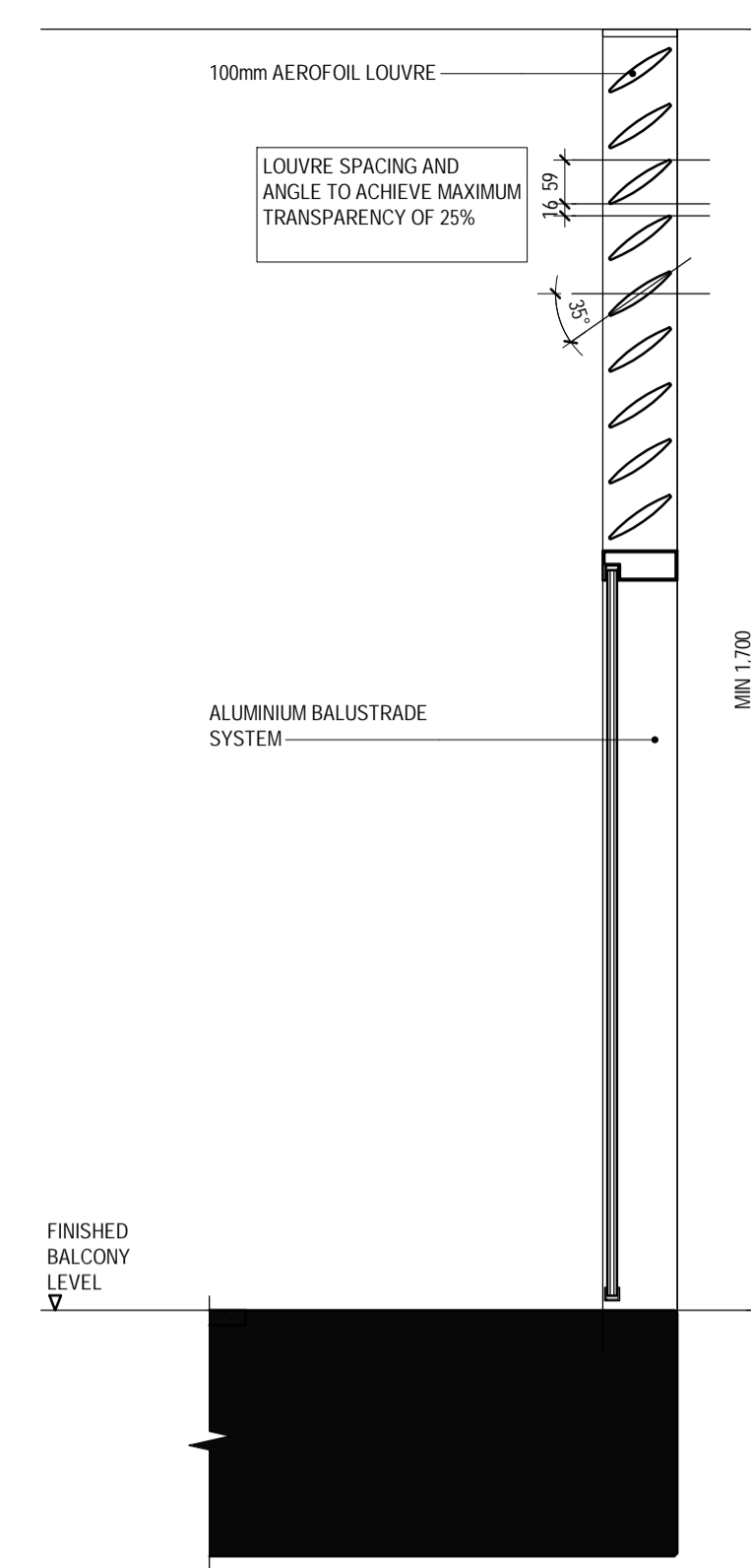


4 EAST-WEST SECTION 1
1:100

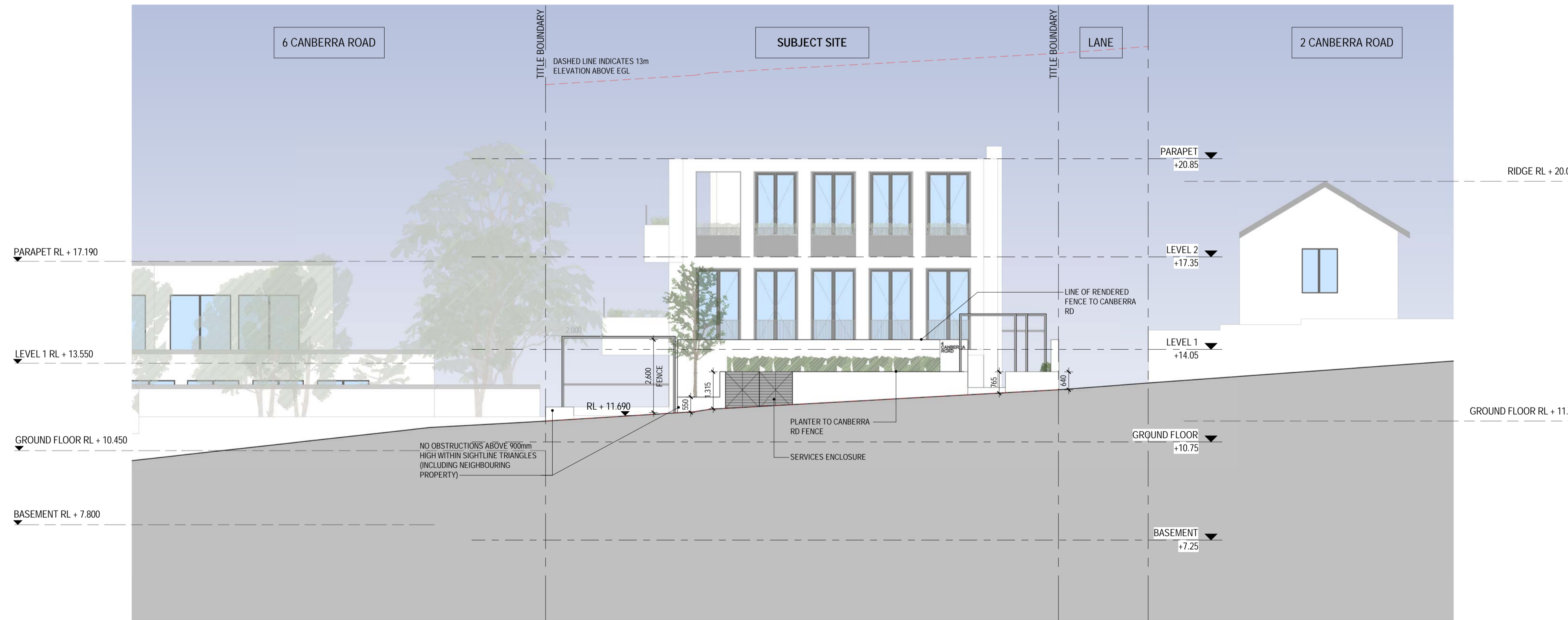
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5 RAMP SECTION
1:100



6 BALUSTRADE & PRIVACY SCREEN
1:10



7 CANBERRA RD - WEST ELEVATION
1:100

GENERAL NOTES

- LANDSCAPING IS INDICATIVE ONLY - REFER TO LANDSCAPE DRAWINGS
- LEVELS ARE PRELIMINARY AND SUBJECT TO FURTHER DESIGN DEVELOPMENT
- RAINWATER TANKS TO BE CONNECTED TO ALL TOILETS AND IRRIGATION WITHIN THE DEVELOPMENT
- ESD REPORT OUTLINES REQUIRED PERFORMANCE SPECIFICATIONS FOR GLAZING AND ENERGY EFFICIENT BUILDING SERVICES, APPLIANCES AND FIXTURES - ALL ITEMS TO COMPLY WITH MINIMUM NOTED REQUIREMENTS

LEGEND

A/C	AIR CONDITIONING UNIT	G/M/A	GAS METER ASSEMBLY	S	SILL HEIGHT OF WINDOW
A/H/R	ACCESS HATCH	H	HEAD HEIGHT OF WINDOW	SSD	SUN SHADING DEVICE
B/G	BOX GUTTER	H/W/G	HABITABLE WINDOW AT GROUND LEVEL	SSD-B	SUN SHADING DEVICE - BELOW
BR	BIKE RACK	H/W/J	HABITABLE WINDOW AT LEVEL 1	SSD/O	SUN SHADING DEVICE - OVER
CL	CLOTHES LINE	H/W/U	HOT WATER UNIT	SU	SUMP
EA	EAVES GUTTER	LB	LETTER BOX	WG	NON-HABITABLE WINDOW AT
EGL	EXISTING GROUND LEVEL	L/V-O	LOUVRES - OPERABLE		GROUND LEVEL
FH	FIRE HYDRANT	RF	ROOF SHEETING	W1	NON-HABITABLE WINDOW AT LEVEL 1
FS	FIXED SCREEN TO PREVENT OVERLOOKING IN ACCORDANCE WITH STANDARD B22	MSB	MAIN SWITCH BOARD	W/M/A	WATER METER ASSEMBLY
		O	FIXED WINDOW	X	OPERABLE WINDOW
		OG	OBSCURE GLASS		

EXTERNAL MATERIALS SCHEDULE

CL-01	METAL CLADDING METAL CLADDING COLOUR: CHARCOAL / BLACK	MW-03	METAL BALUSTRADE POWDERCOATED STEEL BALUSTRADE COLOUR: BLACK
CL-02	WALL CLADDING METAL WALL CLADDING COLOUR: CHARCOAL / BLACK	RE-01	RENDER RENDER COLOUR: TBC
GS-01	GLAZED WINDOWS & DOORS ALUMINIUM FRAMED GLASS TYPE: CLEAR	FE-01	FENCE STEEL RAILING FENCE COLOUR: BLACK
MW-01	METAL SCREENS METAL SCREENS - MAX. 25% OPENING COLOUR: BLACK	FE-02	FENCE TIMBER PALING FENCE COLOUR: BLACK
MW-02	METAL SCREENS ANODISED ALUMINIUM SCREENS COLOUR: BLACK	FE-03	FENCE STONE / TILE CLAD FENCE

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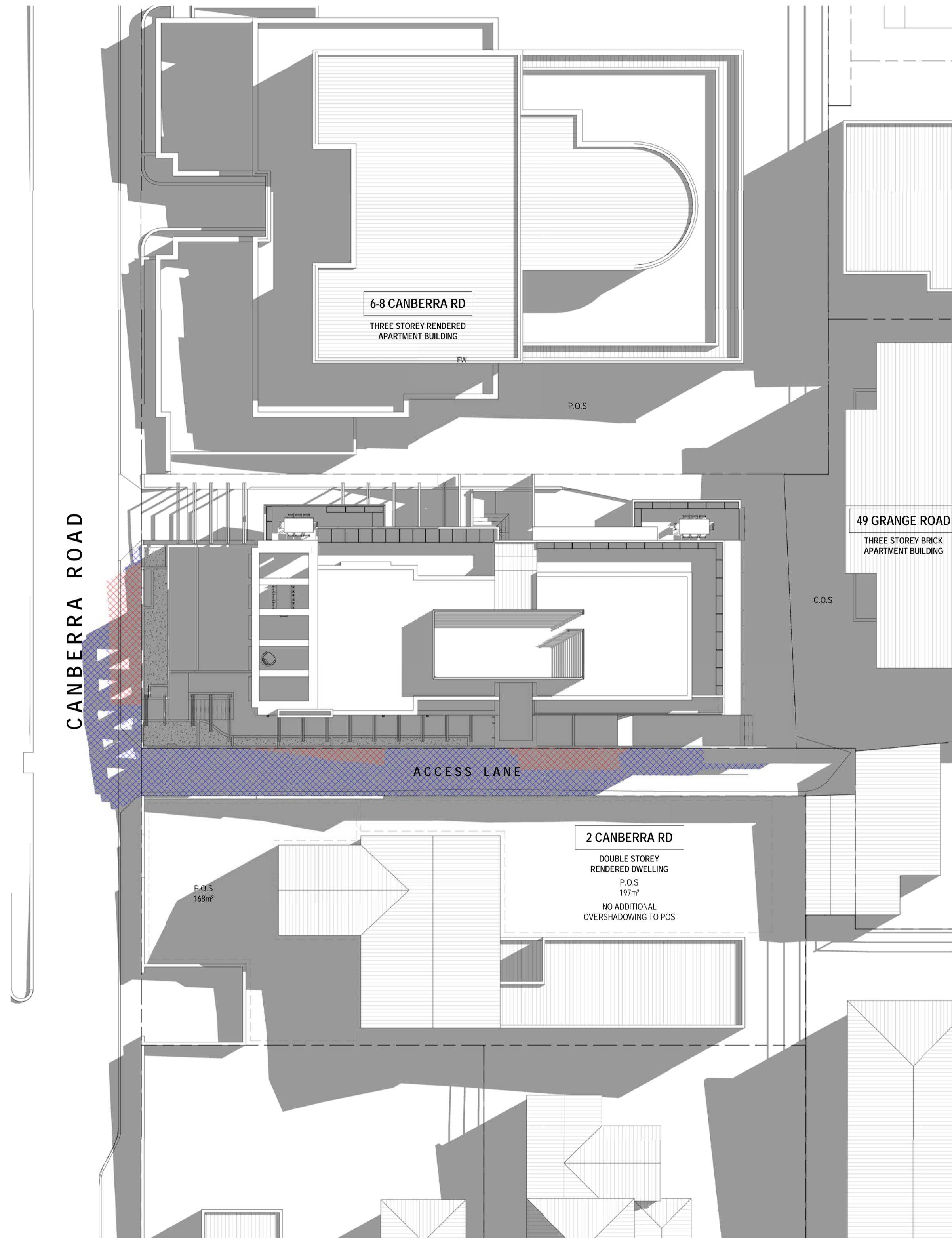
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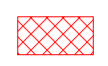
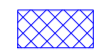


1 EXISTING SHADOW DIAGRAM - 0900 (9AM)
1:200



2 PROPOSED SHADOW DIAGRAM - 0900 (9AM)
1:200

LEGEND

-  EXTENT OF EXISTING SHADOWS WITHIN NEIGHBOURING PROPERTIES
-  EXTENT OF ADDITIONAL SHADOWS WITHIN NEIGHBOURING PROPERTIES

FENCES INDICATED POSTS AND RAILS ONLY TO CLEARLY DIFFERENTIATE BETWEEN FENCE AND BUILDING SHADOWS

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Shadow Diagrams - 9am (22 Sept)

Date
09/11/13

Drawing Status
Town Planning

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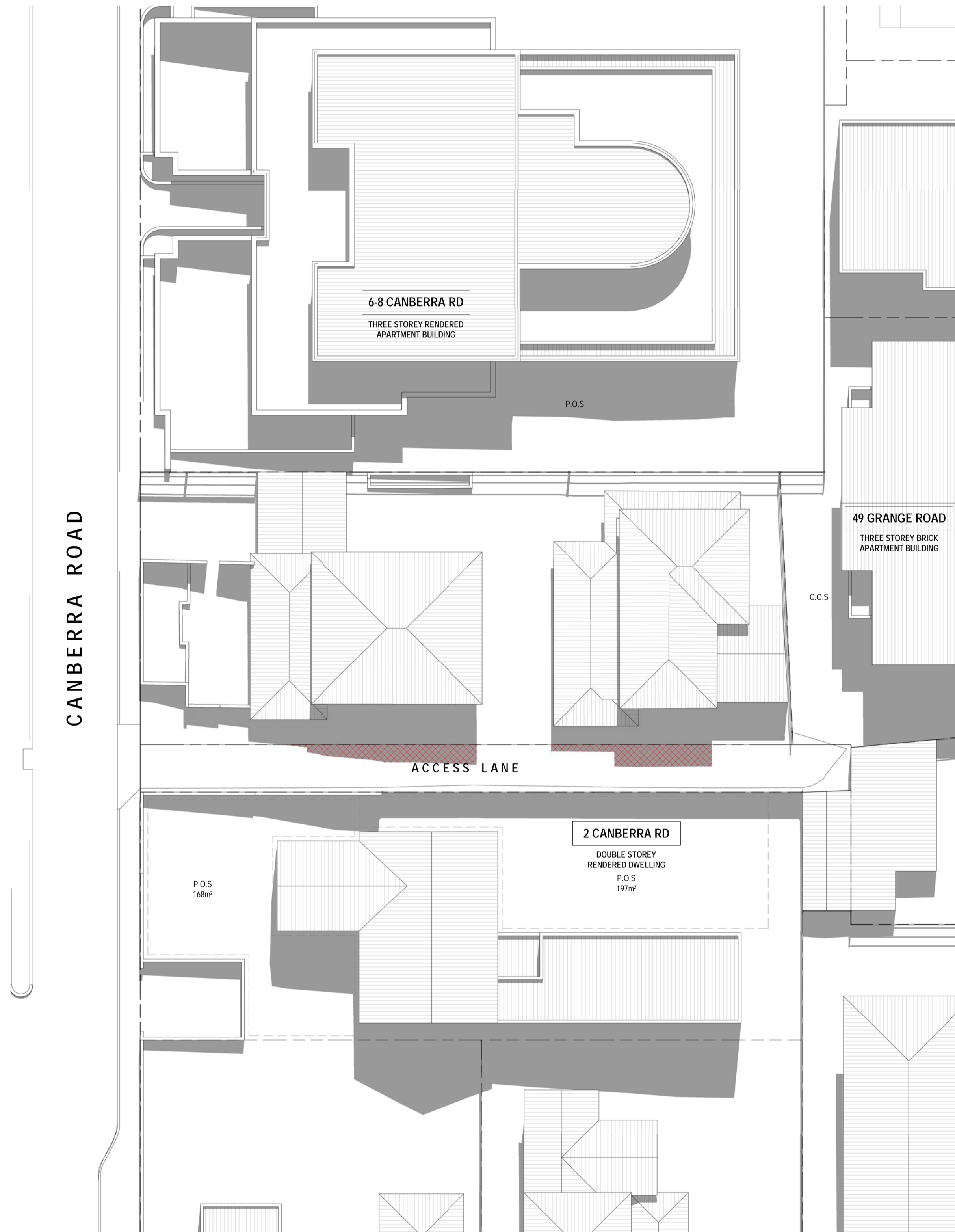
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1:200

Drawing No.
TP30

Revision
F

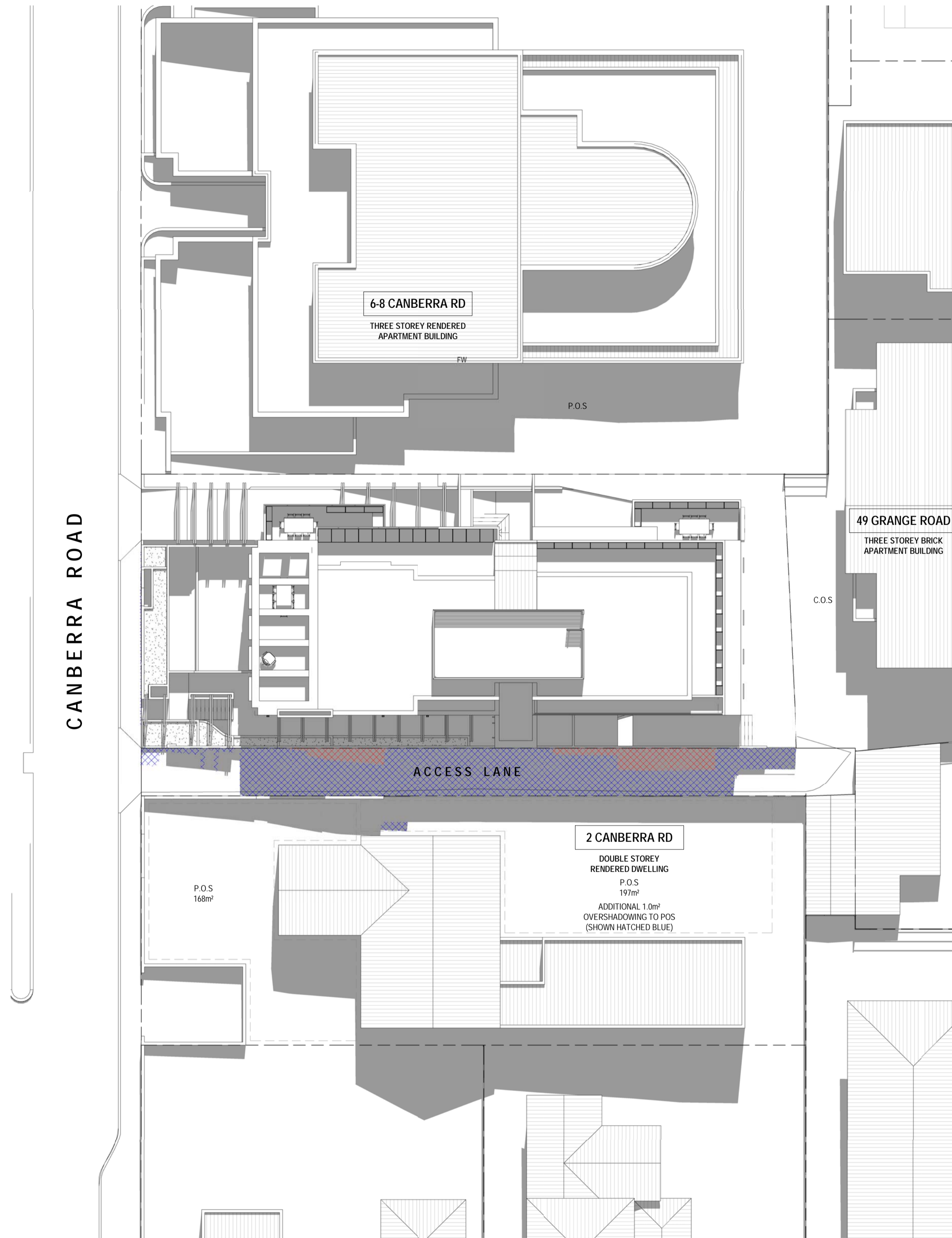
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1 EXISTING SHADOW DIAGRAM - 1200 (12PM)



1:200



2 PROPOSED SHADOW DIAGRAM - 1200 (12PM)

1:200

LEGEND

-  EXTENT OF EXISTING SHADOWS WITHIN NEIGHBOURING PROPERTIES
-  EXTENT OF ADDITIONAL SHADOWS WITHIN NEIGHBOURING PROPERTIES

FENCES INDICATED POSTS AND RAILS ONLY TO CLEARLY DIFFERENTIATE BETWEEN FENCE AND BUILDING SHADOWS

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Shadow Diagrams - 12noon (22 Sept)

Date
11/18/14

Drawing Status
Town Planning

Disclaimer

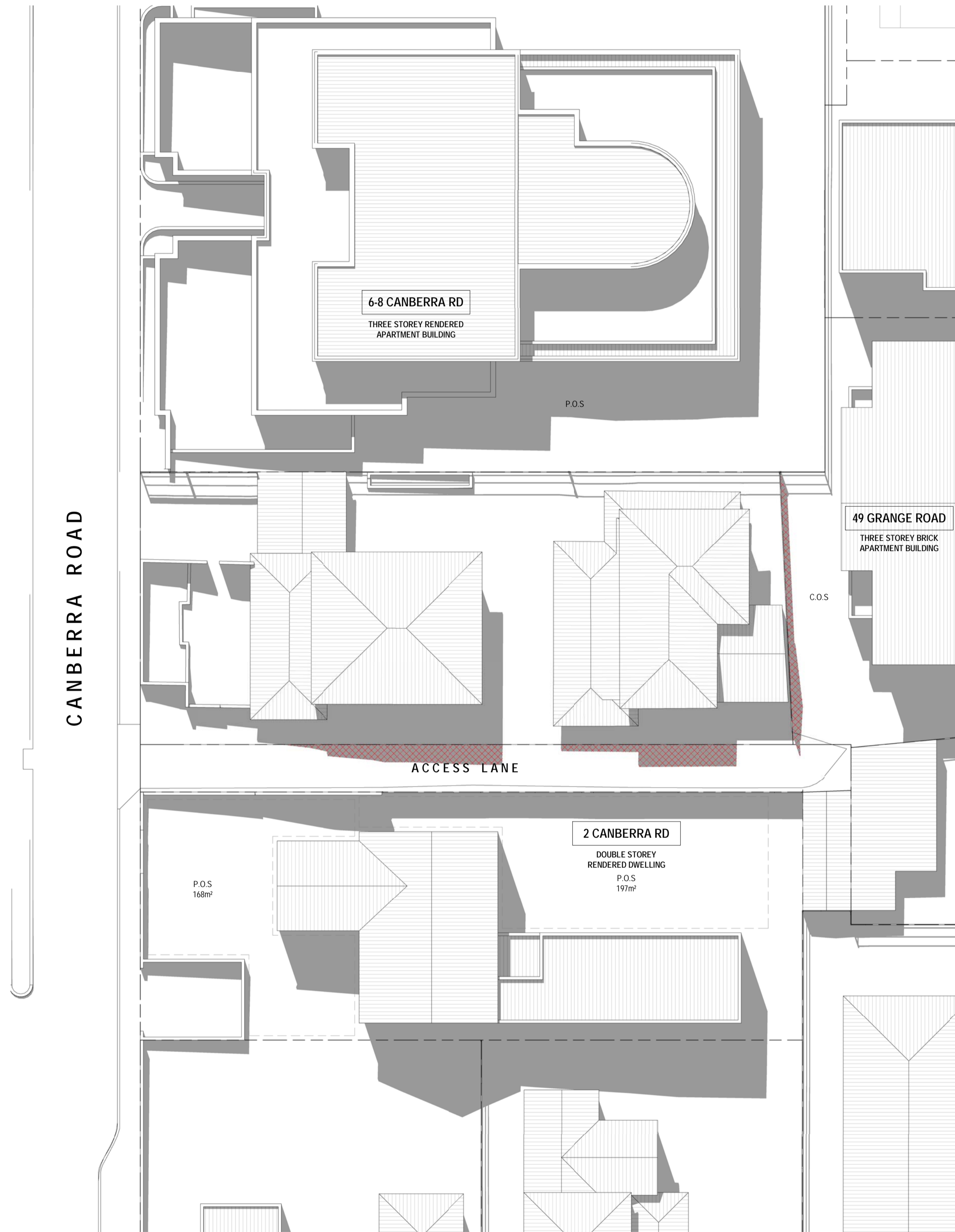
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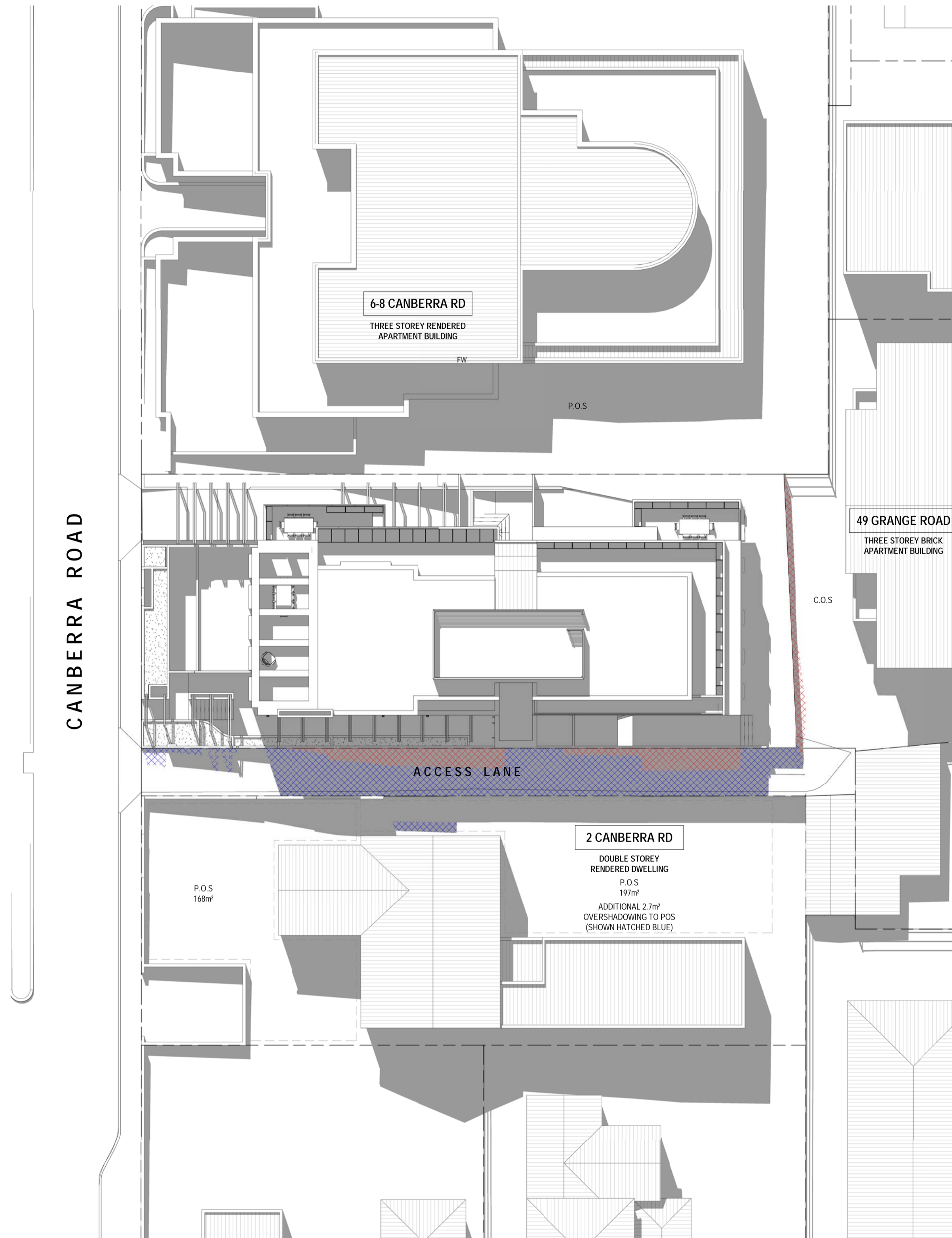
	Scale at A1 1 : 200	Drawing No. TP31	Revision F
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


1 EXISTING SHADOW DIAGRAM - 1300 (1PM)
1:200



2 PROPOSED SHADOW DIAGRAM - 1300 (1PM)
1:200

LEGEND

-  EXTENT OF EXISTING SHADOWS WITHIN NEIGHBOURING PROPERTIES
 -  EXTENT OF ADDITIONAL SHADOWS WITHIN NEIGHBOURING PROPERTIES
- FENCES INDICATED POSTS AND RAILS ONLY TO CLEARLY DIFFERENTIATE BETWEEN FENCE AND BUILDING SHADOWS

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Shadow Diagrams - 1pm (22 Sept)

Date
11/18/14

Drawing Status
Town Planning

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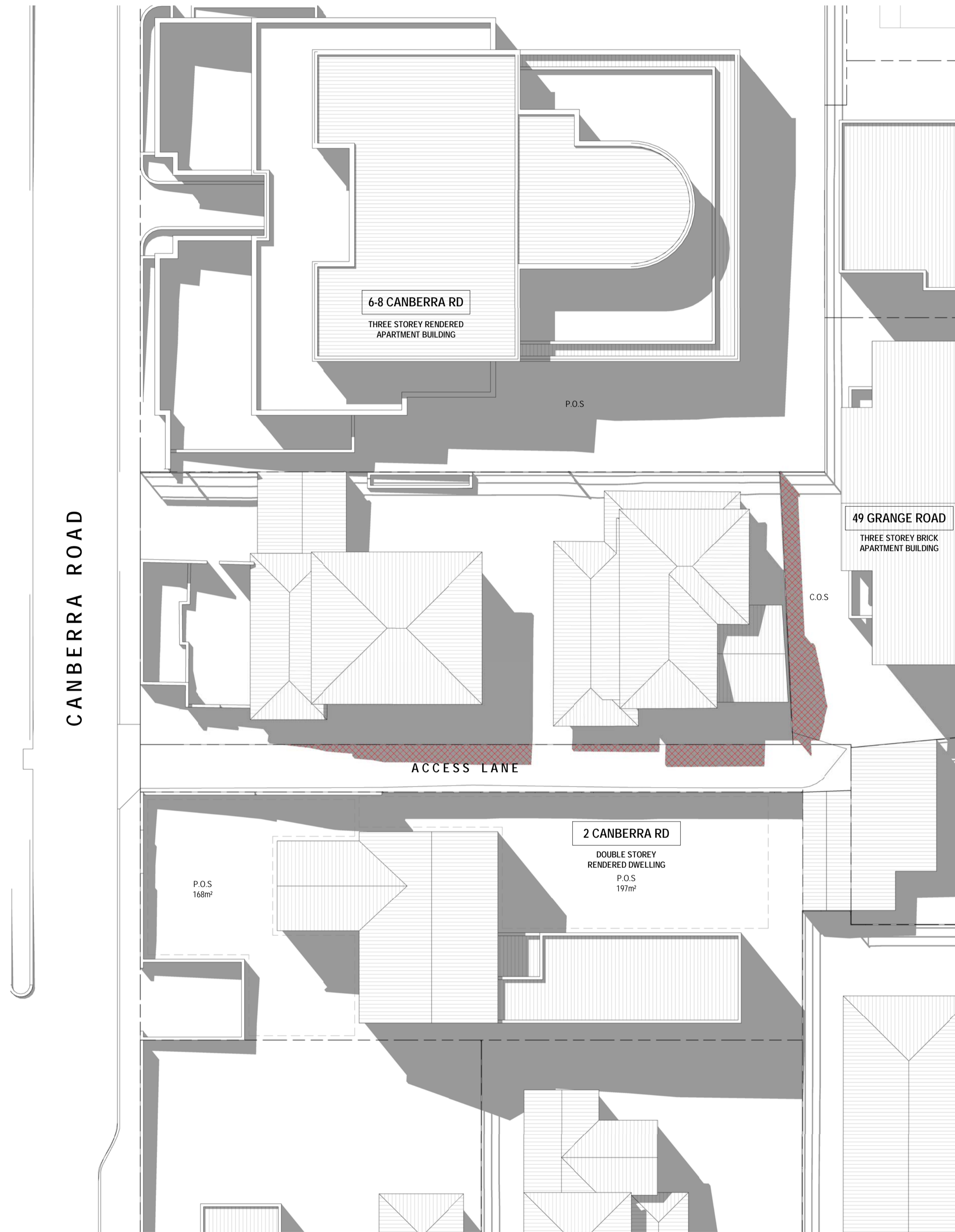
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Drawing No.
TP32

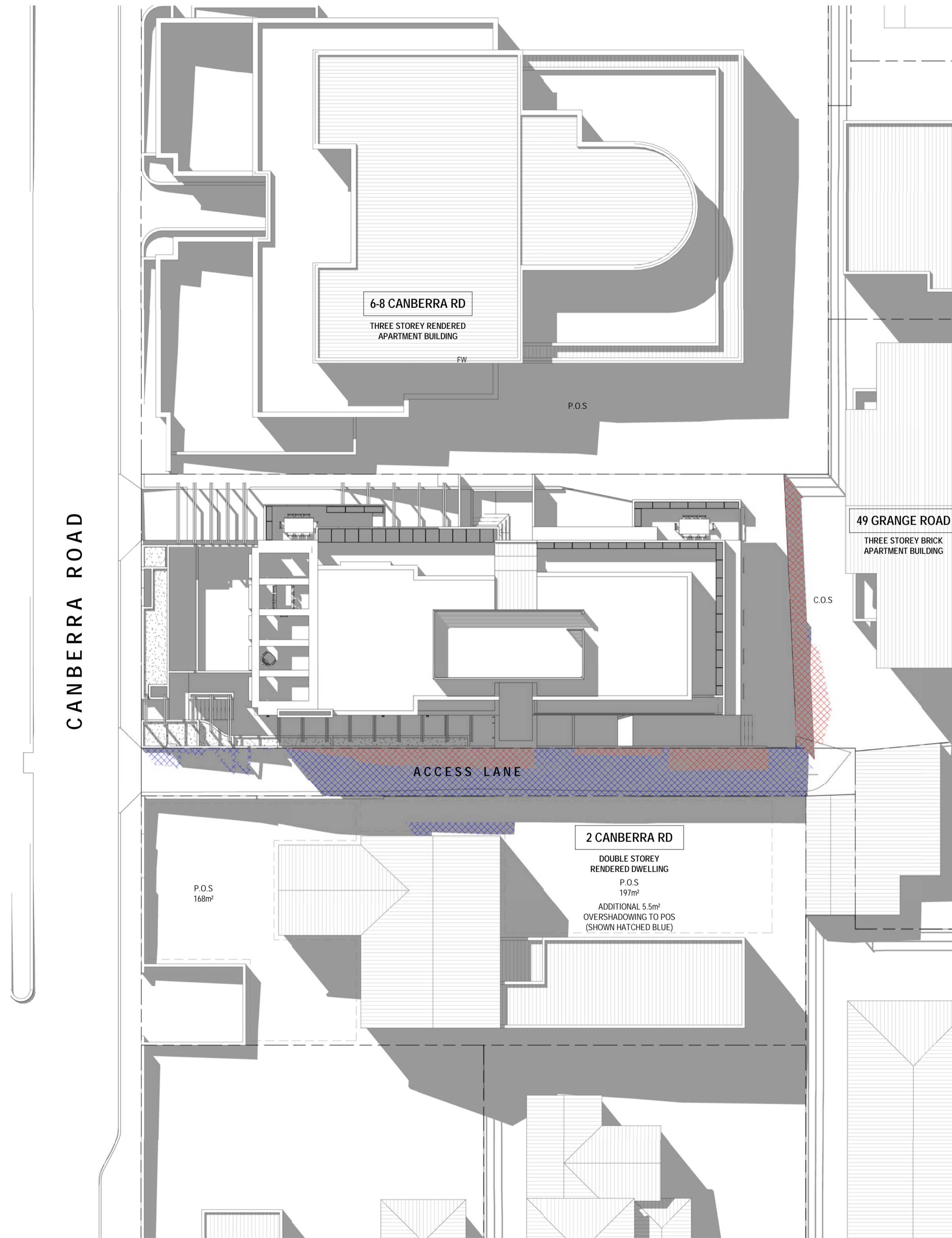
Revision
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


3 EXISTING SHADOW DIAGRAM - 1400 (2PM)
1:200



4 PROPOSED SHADOW DIAGRAM - 1400 (2PM)
1:200

LEGEND

-  EXTENT OF EXISTING SHADOWS WITHIN NEIGHBOURING PROPERTIES
-  EXTENT OF ADDITIONAL SHADOWS WITHIN NEIGHBOURING PROPERTIES

FENCES INDICATED POSTS AND RAILS ONLY TO CLEARLY DIFFERENTIATE BETWEEN FENCE AND BUILDING SHADOWS

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Shadow Diagrams - 2pm (22 Sept)

Date
11/18/14

Drawing Status
Town Planning

Disclaimer

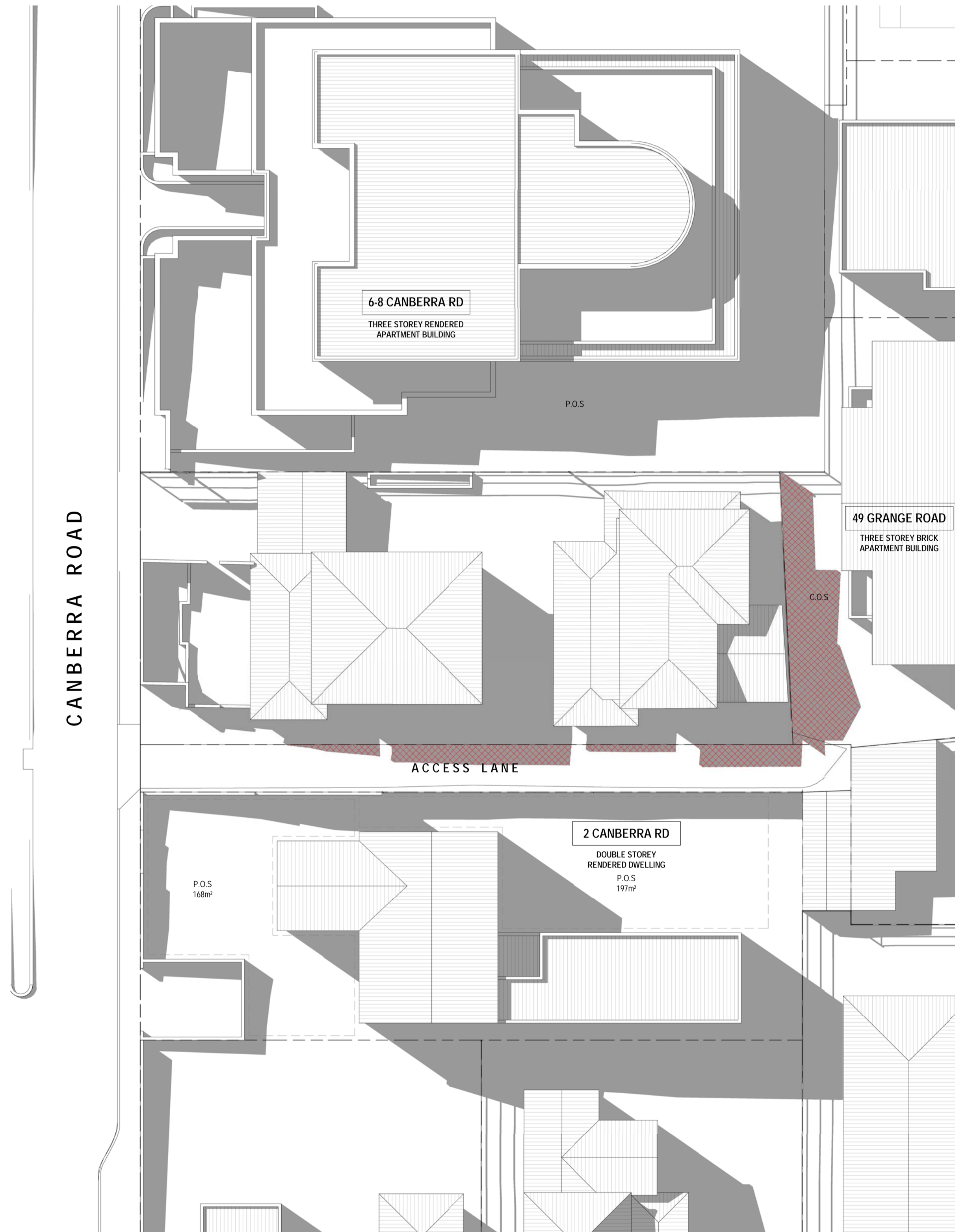
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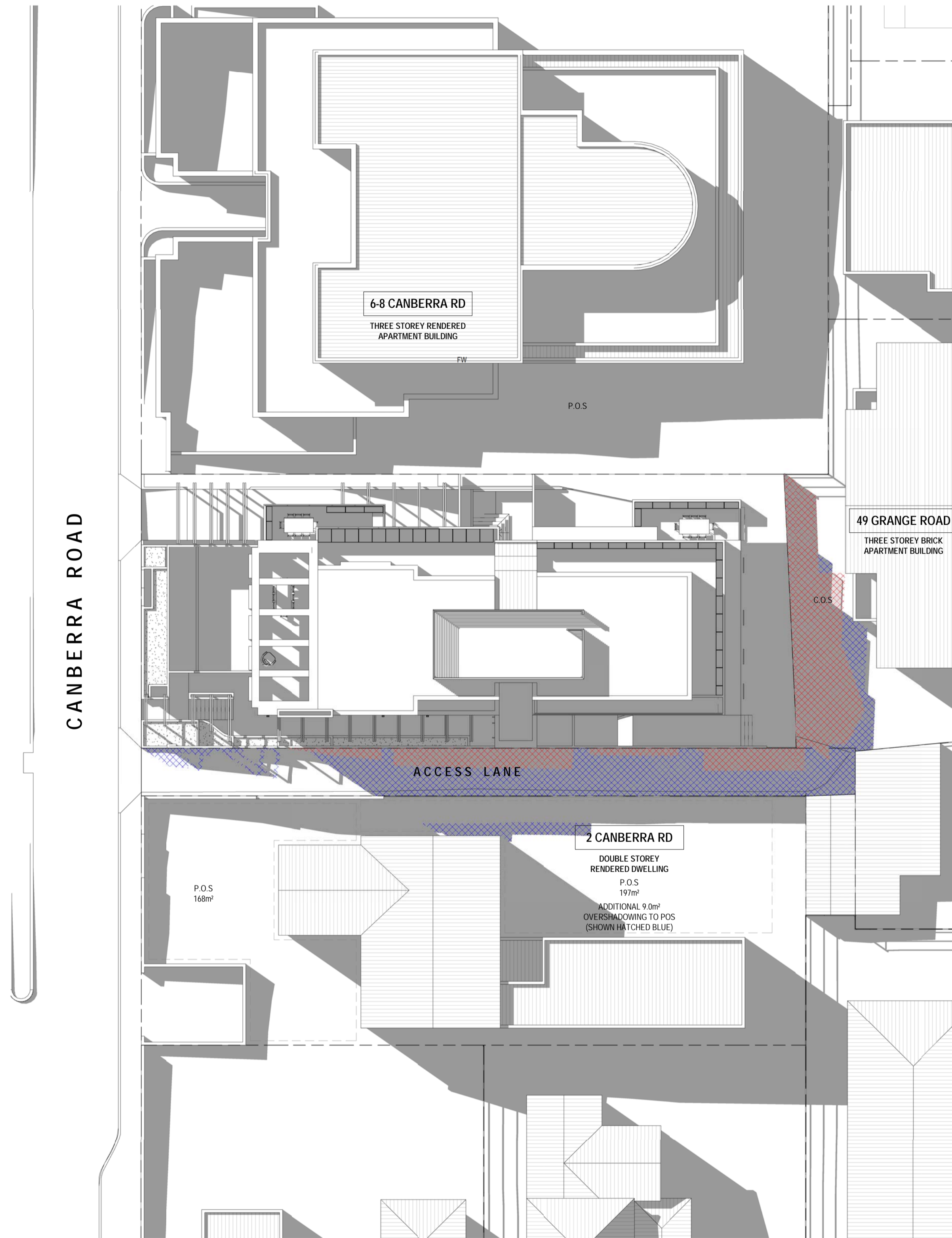
	Scale at A1 1 : 200	Drawing No. TP33	Revision F
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



1 EXISTING SHADOW DIAGRAM - 1500 (3PM)
1 : 200



2 PROPOSED SHADOW DIAGRAM - 1500 (3PM)
1 : 200

LEGEND

-  EXTENT OF EXISTING SHADOWS WITHIN NEIGHBOURING PROPERTIES
-  EXTENT OF ADDITIONAL SHADOWS WITHIN NEIGHBOURING PROPERTIES

FENCES INDICATED POSTS AND RAILS ONLY TO CLEARLY DIFFERENTIATE BETWEEN FENCE AND BUILDING SHADOWS

Conrad Architects

Project
4a & 4b Canberra Rd, Toorak

Project No
C1802

Drawing
Shadow Diagrams - 3pm (22 Sept)

Date
05/22/14

Drawing Status
Town Planning

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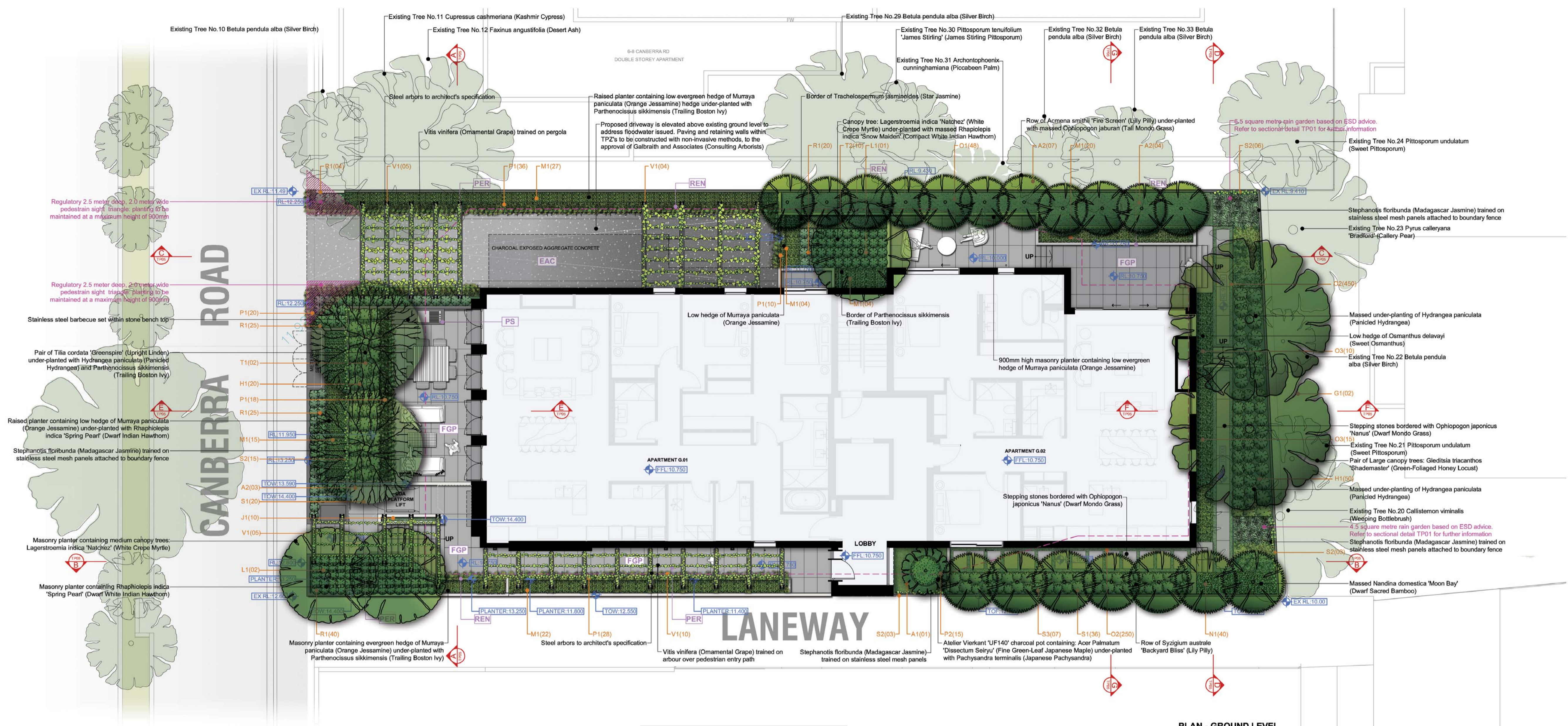
Scale at A1
1 : 200

Drawing No.
TP34

Revision
F

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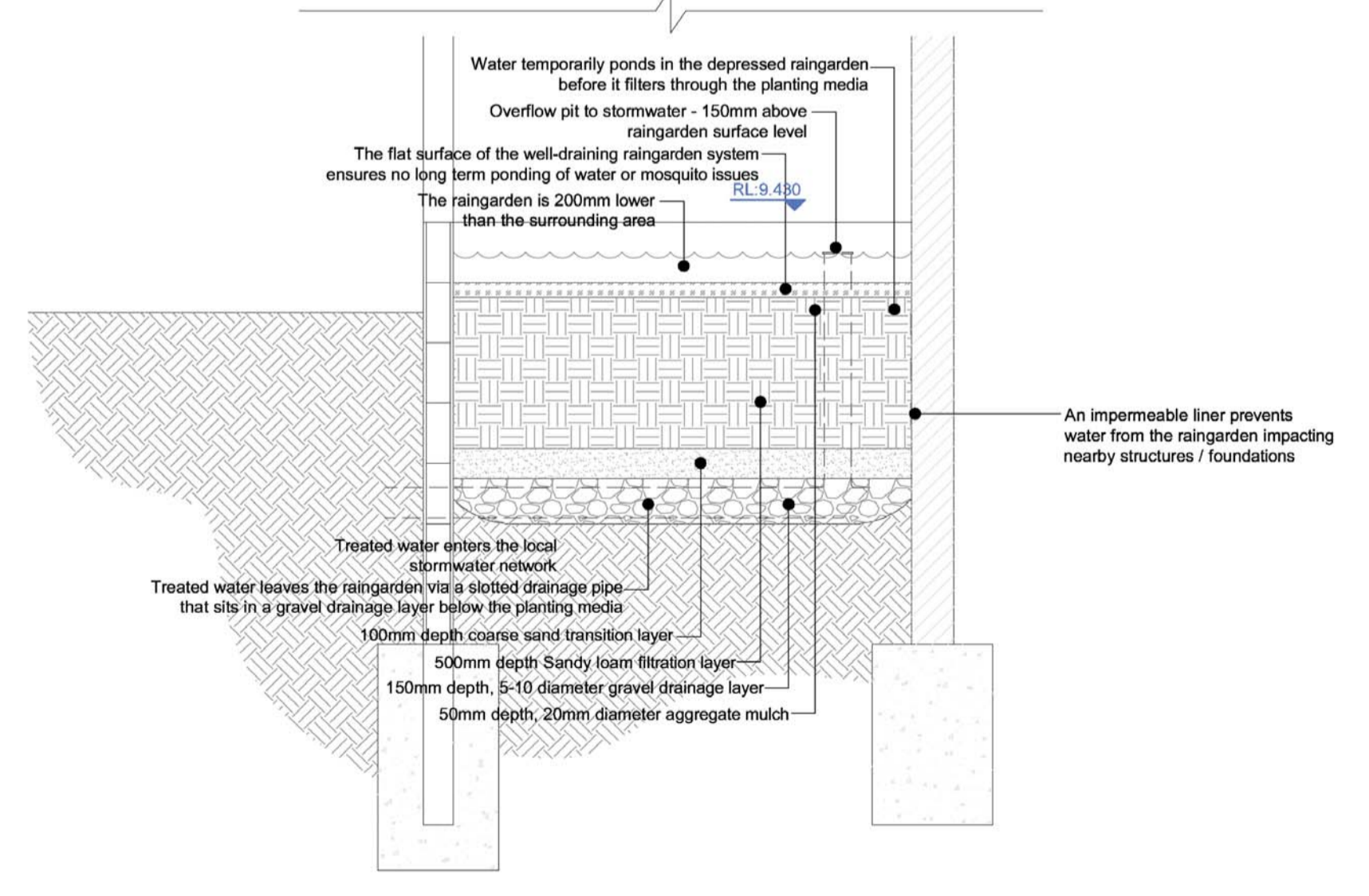
PLAN - GROUND LEVEL
SCALE 1: 100

FINISHES SCHEDULE

Code	Finish	Description
FGP	Flamed Granite Paving	Material: 30mm thick flamed charcoal granite pavers, 1200 x 600 and 800 x 400mm modules in grid format as indicated. Installation method (common areas): to be laid on mortar bed over reinforced concrete slabs. Installation method (private terraces): to be laid on pedestal system over reinforced concrete slabs, areas beyond basement to be laid on pedestal system over permeable no-drip concrete slabs.
EAC	Exposed Aggregate Concrete	'Batman Blend' exposed aggregate concrete comprising black oxide applied at rate of 8.5kg per cubic metre with only 7mm blue metal aggregate. Install Abaflex against all wall interfaces and seal gaps with Sikaflex 'Dark Charcoal' caulking compound. Control joints in locations indicated comprising 6mm wide, 20mm deep saw cuts. Apply wet-look penetrative sealer.
MFG	Metal Fencing and Gates	Frames: 200 x 50 and 100 x 50mm rectangular hollow section aluminium. Uprights: 75 x 10mm aluminium L-angles, 10mm gaps. Finish: Dulux Electro 'Black Ace' powder coating.
PS	Porcelain Sheeting	Laminam Pietra di Savioia Anthracite 6mm thick dark charcoal porcelain sheeting for benchtop and splash back. To be cut from 3000 x 1000mm sheets, exposed edges to be mitred with a 3mm mitre.
REN	Rendered Masonry Walls	Cement render with pigment colour to architect's specification.
PER	Pergolas / Arbours	Posts / beams: 150 x 75mm rectangular hollow section galvanneal steel. Climber rods: 16mm diameter solid steel rods at 450-600mm centres as indicated. Finish: Dulux Ferrodor 'Natural Grey' miscous iron oxide metal paint.

PLANTING SCHEDULE

Symbol	Plant	Common Name	Pot Size	Quantity	Planted Height(M)	Planted Width(M)	Maintained Height(M)	Maintained Width(M)
A1	Acer palmatum dissectum 'Seiryu'	Green Weeping Japanese Maple	200lit	01	2.0	1.5	3.0	3.0
A2	Acmena smithii 'Fire Screen'	Lily Pilly	100lit	14	2.5	1.2	6.0	3.0
G1	Gleditsia triacanthos 'Shademaster'	Green-Foliaged Honey Locust	200lit	02	0.5	0.4	11.0	8.0
H1	Hydrangea paniculata	Panicked Hydrangea	25cm	70	0.3	0.3	0.9	1.2
J1	Juniperus horizontalis	Trailing Juniper	20cm	10	0.1	0.2	0.2	0.9
L1	Lagerstroemia indica 'Natchez'	White Crepe Myrtle	200lit	02	2.5	1.5	7.0	5.0
M1	Murraya paniculata	Orange Jessamine	25cm	92	0.4	0.3	1.2	0.8
N1	Nandina domestica 'Moon Bay'	Dwarf Sacred Bamboo	20cm	40	0.3	0.2	0.7	0.6
O1	Ophiopogon japonicus 'Nanus'	Tall Mondo Grass	15cm	48	0.15	0.15	0.4	0.4
O2	Ophiopogon japonicus 'Nanus'	Dwarf Mondo Grass	10cm	700	0.1	0.1	0.1	0.2
O3	Osmanthus delavayi	Sweet Osmanthus	25cm	25	0.4	0.3	1.2	0.8
P1	Parthenocissus sikkimensis	Trailing Boston Ivy	15cm	98	0.1	0.15	0.2	1.2
P2	Pachysandra terminalis	Japanese Pachysandra	15cm	15	0.1	0.15	0.2	0.4
R1	Rhaphiolepis indica 'Snow Maiden'	White Indian Hawthorn	20cm	114	0.2	0.5	0.5	0.5
S1	Sarcococca confusa	Sweetbox	20cm	68	0.3	0.3	0.5	0.5
S2	Stephanotis floribunda	Madagascar Jasmine	20cm	15	0.6	0.25	2.5	2.0
S3	Syzygium australe 'Backyard Bliss'	Lily Pilly	100lit	07	2.5	0.8	6.0	3.5
T1	Tilia cordata 'Greenspire'	Upright Linden	70cm	02	4.0	1.8	10.0	6.0
T2	Trachelospermum jasminoides	Star Jasmine	17cm	10	0.15	0.2	0.4	0.7
V1	Vitis vinifera	Ornamental Grape	25cm	24	0.6	0.3	3.0	5.0



RAIN GARDEN SECTIONAL DETAIL
SCALE 1: 20

Jack Merlo
Design & Landscape
332A Toorak Road
South Yarra Victoria
3141 Australia
+61 3 9866 5550
info@jackmerlo.com
www.jackmerlo.com

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PROJECT TITLE
4A-4B Canberra Road, Toorak
CLIENT
DJ Canberra Road Development Pty Ltd
SCALE 1:100, PAGE A1

DRAWING TITLE
Ground Level Landscape Plan
PROJECT NUMBER
18.033
DRAWING STATUS
TP01
DATE
24.05.19
REVISION
H
Figured dimensions take precedence to scale readings. Verify all dimensions on site. Report any discrepancies to Jack Merlo Office for decision before proceedings with the work.



PLAN - LEVEL 01
SCALE 1 : 100

FINISHES SCHEDULE

Code	Finish	Description
FGP	Flamed Granite Paving	Material: 30mm thick flamed charcoal granite pavers, 1200 x 600 and 800 x 400mm modules in grid format as indicated Installation method (common areas): to be laid on mortar bed over reinforced concrete slabs Installation method (private terraces): to be laid on pedestal system over reinforced concrete slabs, areas beyond basement to be laid on pedestal system over permeable no-fines concrete slabs
MC	Metal Cladding	5-10mm thick (as indicated) aluminium panels attached to face of masonry walls and planters. Dulux Electro 'Black Ace' powder coat finish
PS	Porcelain Sheeting	Laminam 'Pietra di Savola Anthracite' 6mm thick dark charcoal porcelain sheeting for benchtop and splash back. To be cut from 3000 x 1000mm sheets, exposed edges to be mitred with a 3mm chamfer

PLANTING SCHEDULE

Symbol	Plant	Common Name	Pot Size	Quantity	Planted Height(M)	Planted Width(M)	Maintained Height(M)	Maintained Width(M)
C1	Cotoneaster dammeri	Trailing Cotoneaster	20cm	27	0.1	0.2	0.2	1.0
M1	Murraya paniculata	Orange Jessamine	25cm	12	0.4	0.3	1.2	0.8
R1	Rhipsolepis indica 'Snow Maiden'	White Indian Hawthorn	20cm	20	0.2	0.5	0.5	0.5

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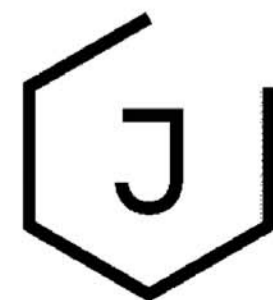
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PROJECT TITLE

4A-4B Canberra Road, Toorak

CLIENT

DJ Canberra Road Development Pty Ltd

SCALE 1:100, PAGE A1

DRAWING TITLE

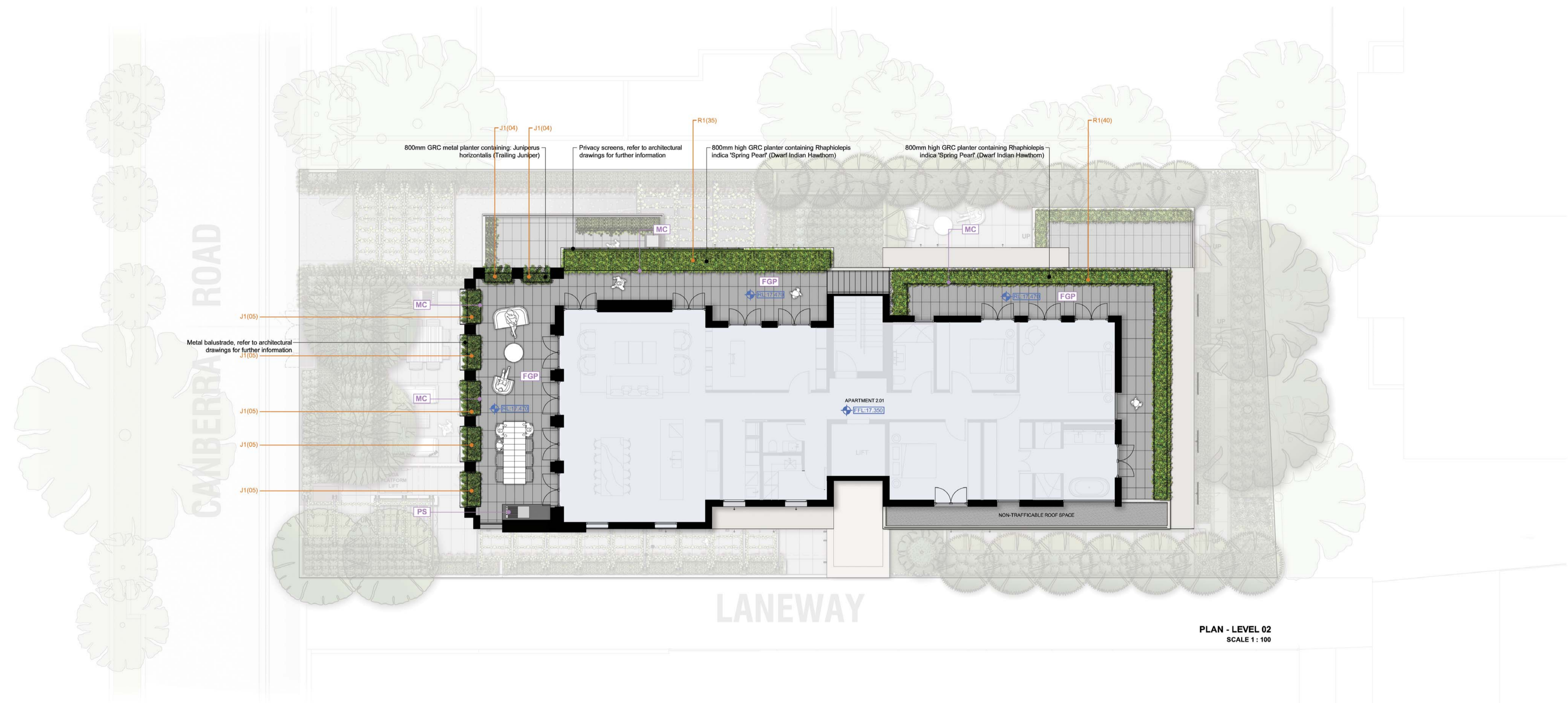
Level 01 Landscape Plan

PROJECT NUMBER	DRAWING STATUS	DATE	REVISION
18.033	TP02	24.05.19	H

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NORTH





PLAN - LEVEL 02
SCALE 1 : 100

FINISHES SCHEDULE

Code	Finish	Description
FGP	Flamed Granite Paving	Material: 30mm thick flamed charcoal granite pavers, 1200 x 600 and 800 x 400mm modules in grid format as indicated Installation method (common areas): to be laid on mortar bed over reinforced concrete slabs Installation method (private terraces): to be laid on pedestal system over reinforced concrete slabs, areas beyond basement to be laid on pedestal system over permeable no-fines concrete slabs
MC	Metal Cladding	6-10mm thick (as indicated) aluminium panels attached to face of masonry walls and planters. Dulux Electro 'Black Ace' powder coat finish
PS	Porcelain Sheeting	Laminam 'Pietra di Savola Antracite' 6mm thick dark charcoal porcelain sheeting for benchtop and splash back. To be cut from 3000 x 1000mm sheets, exposed edges to be mitered with a 3mm arris

PLANTING SCHEDULE

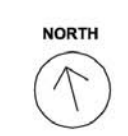
Symbol	Plant	Common Name	Pot Size	Quantity	Planted Height(M)	Planted Width(M)	Maintained Height(M)	Maintained Width(M)
J1	Juniperus horizontalis	Trailing Juniper	20cm	33	1.5	0.2	0.2	0.9
R1	Rhampholepis indica 'Snow Maiden'	White Indian Hawthorn	20cm	75	0.2	0.5	0.5	0.5

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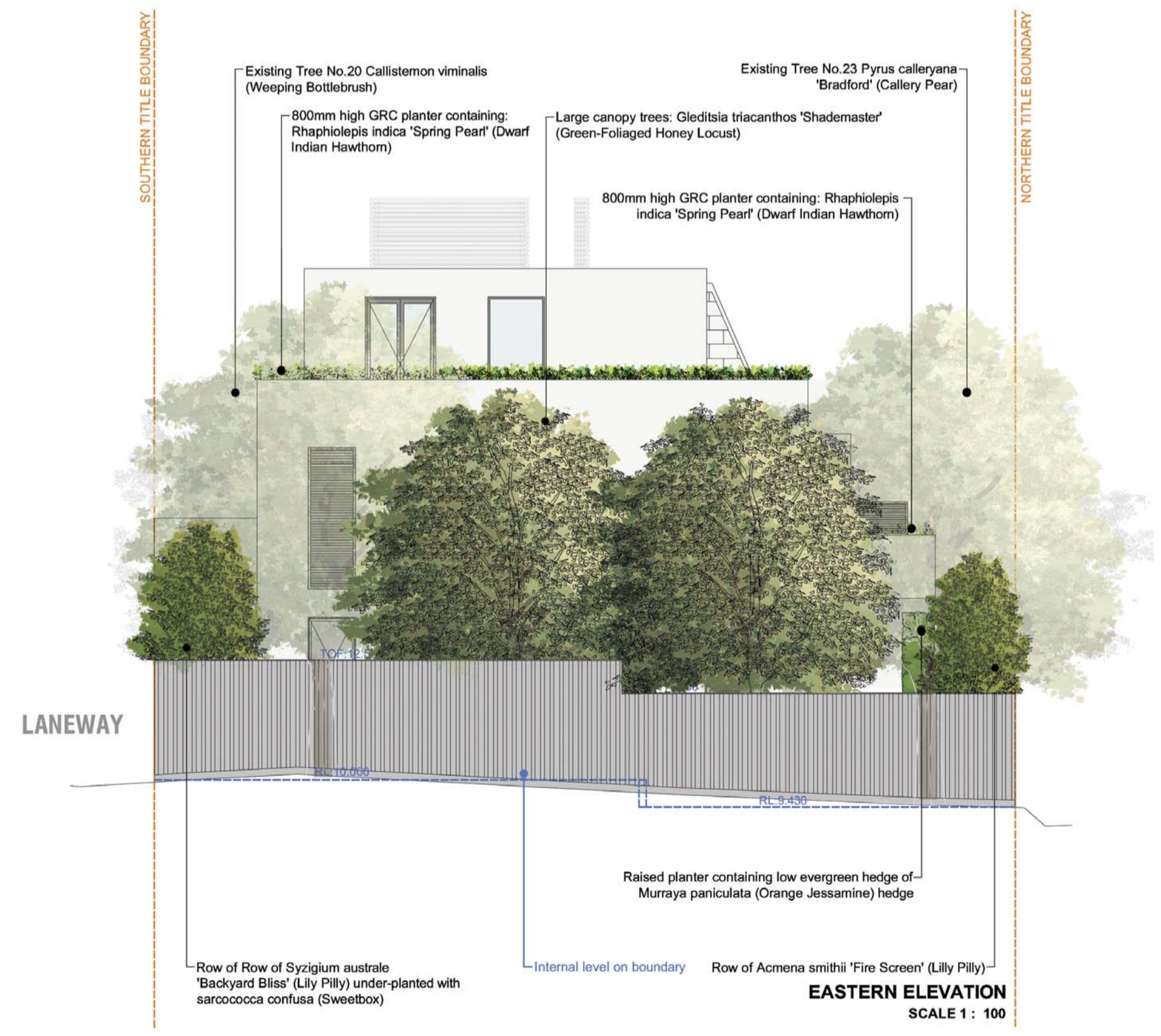
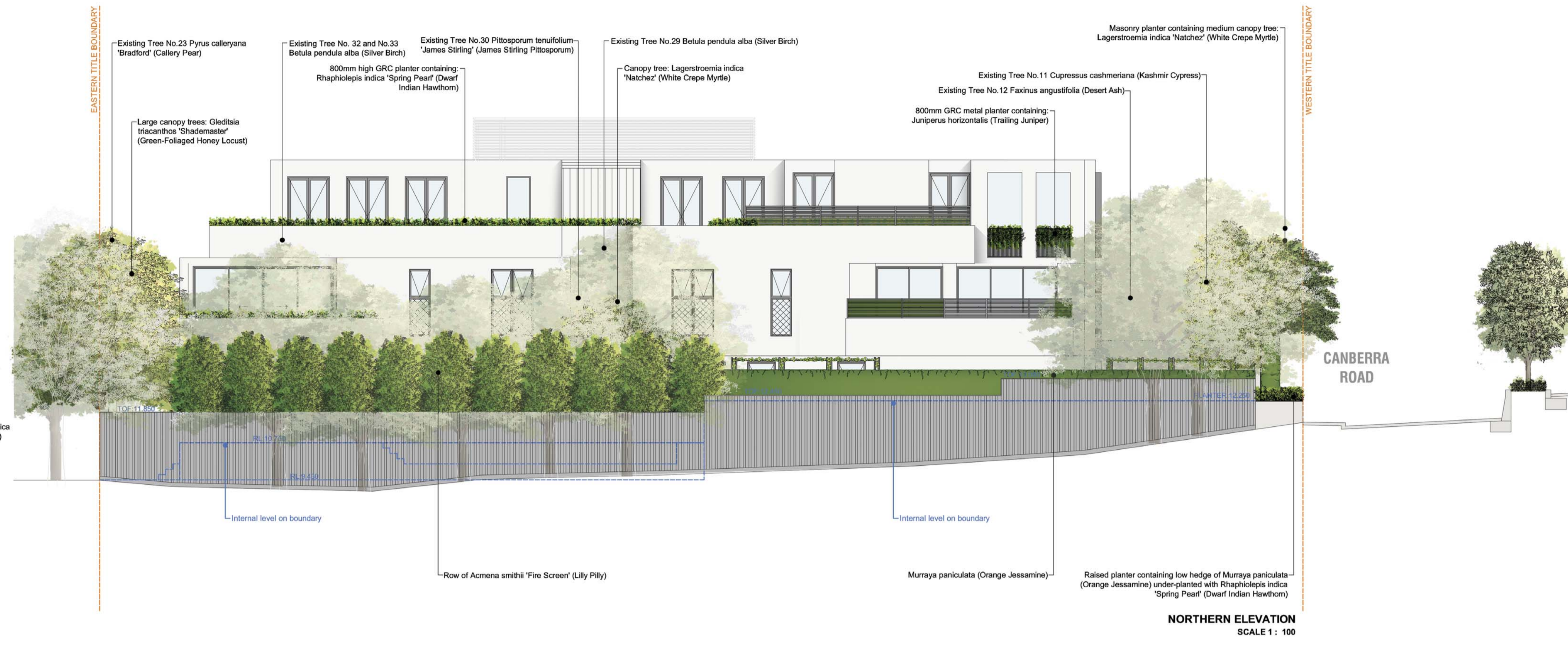
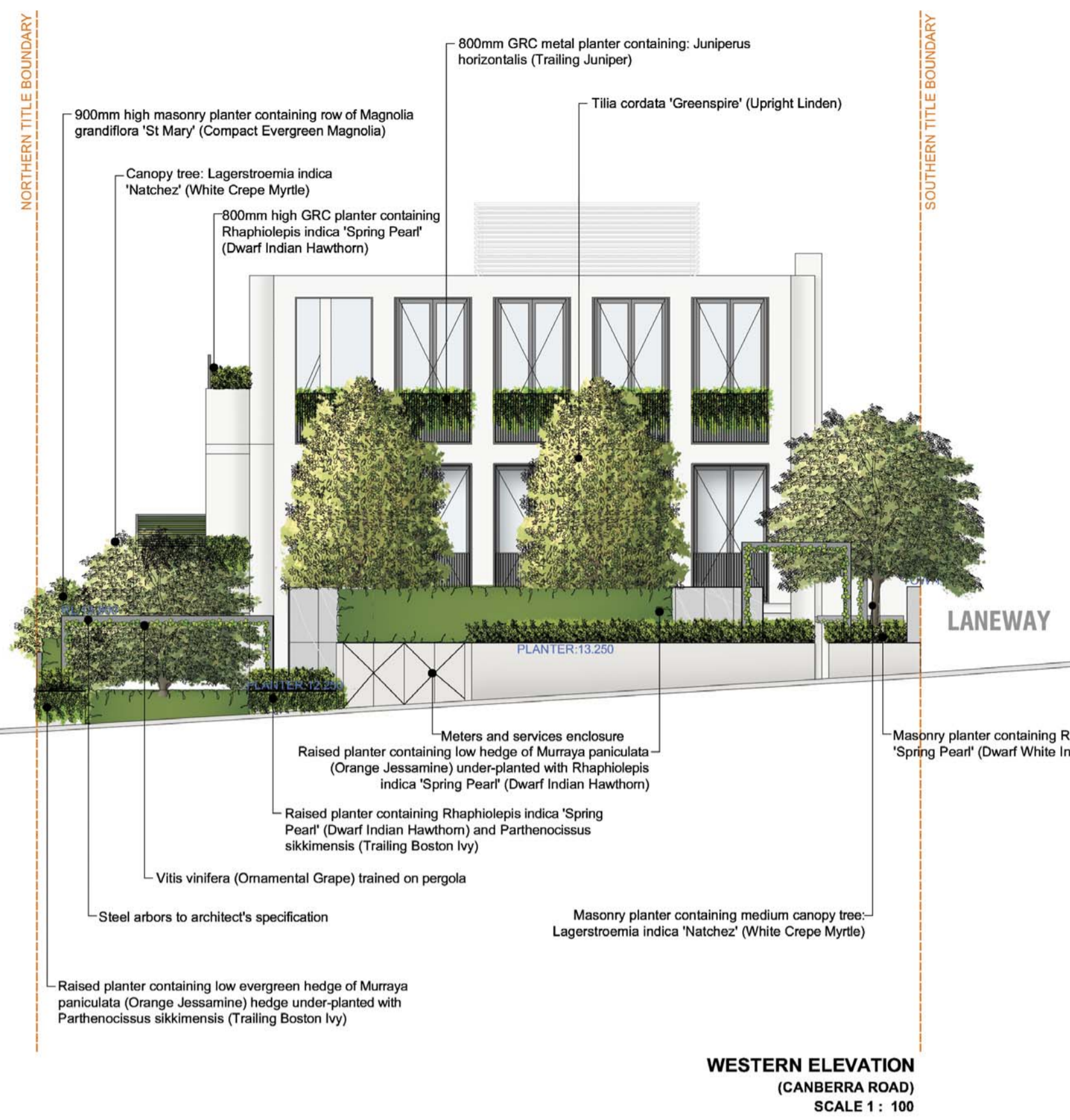
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Level 02 Landscape Plan
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 18.033 TP03 24.05.19 H
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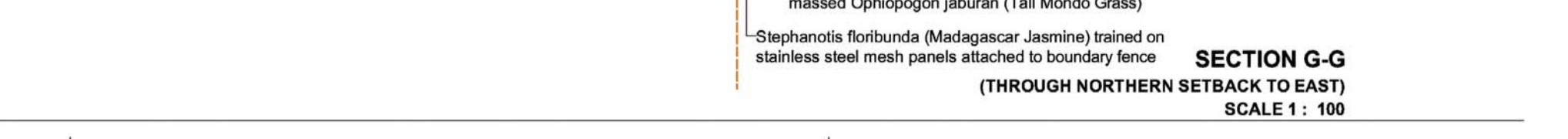
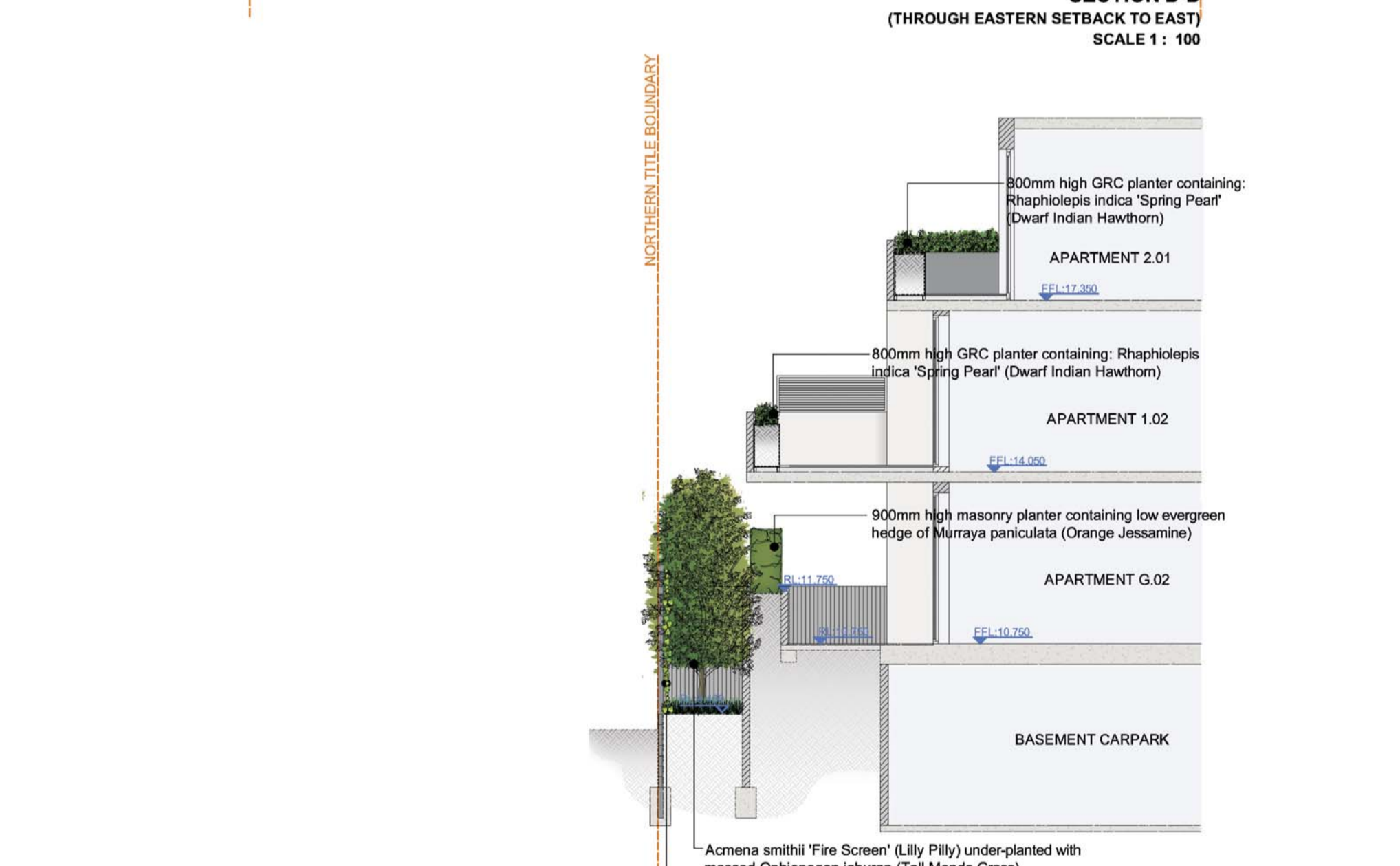
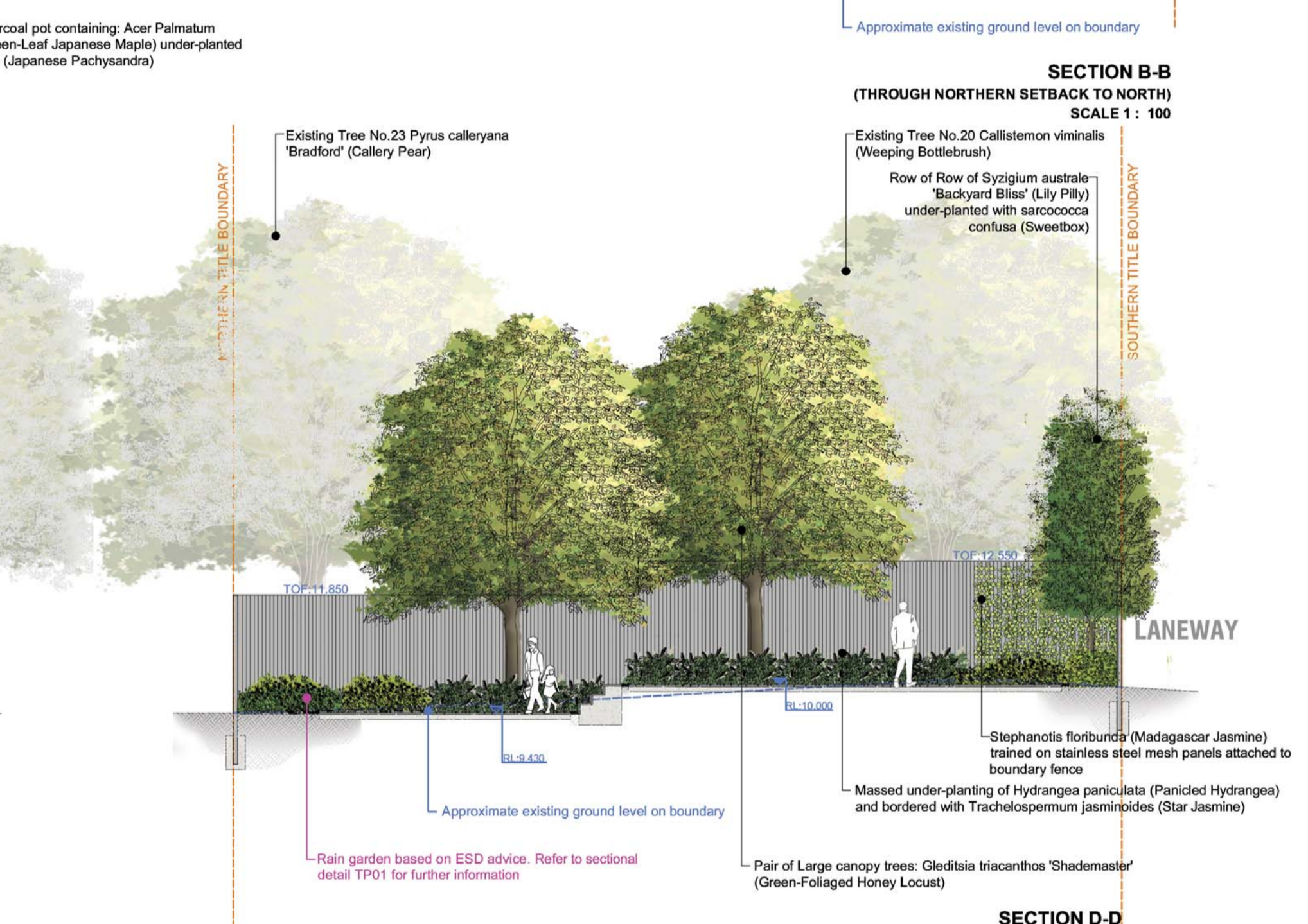
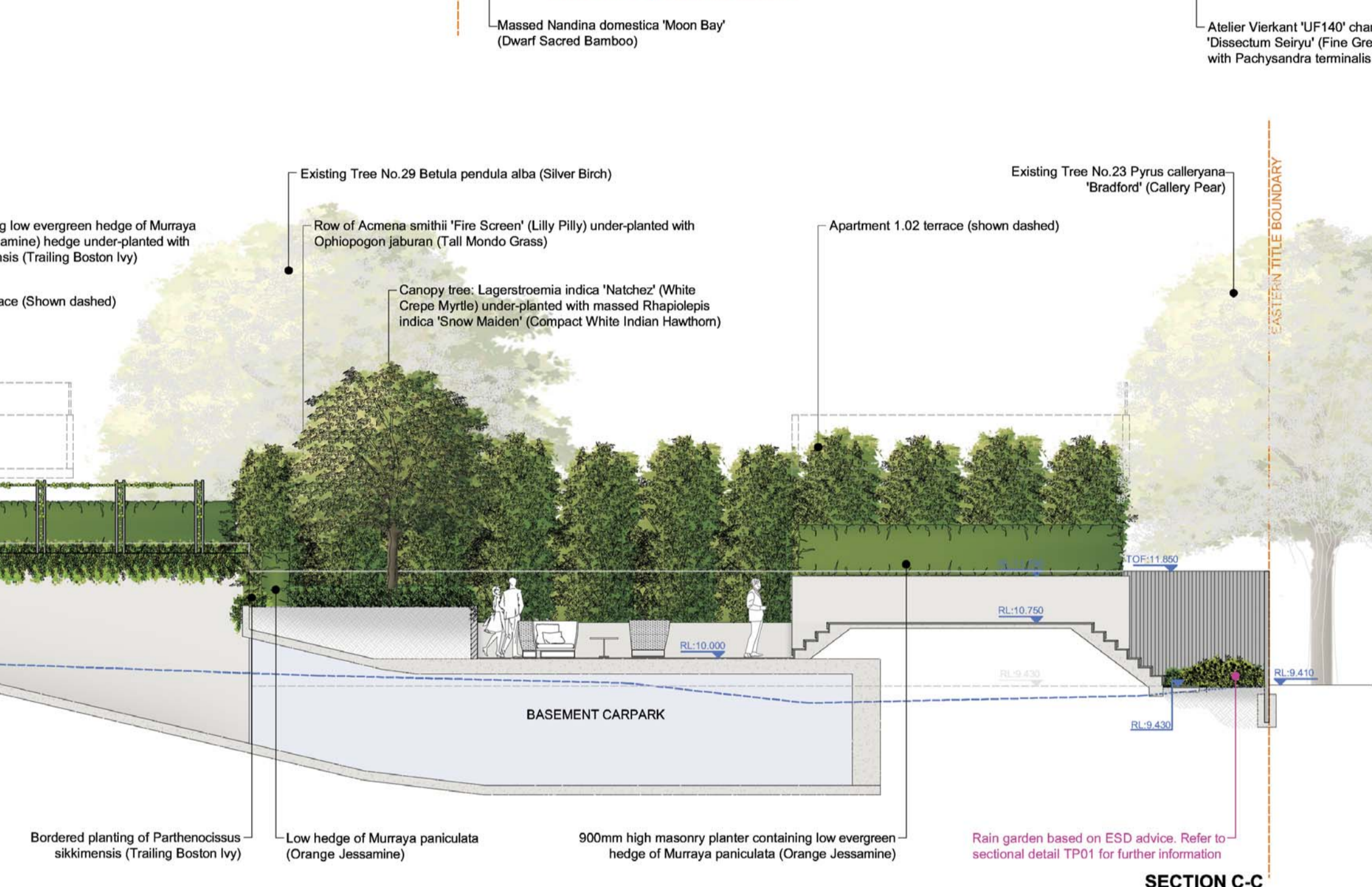
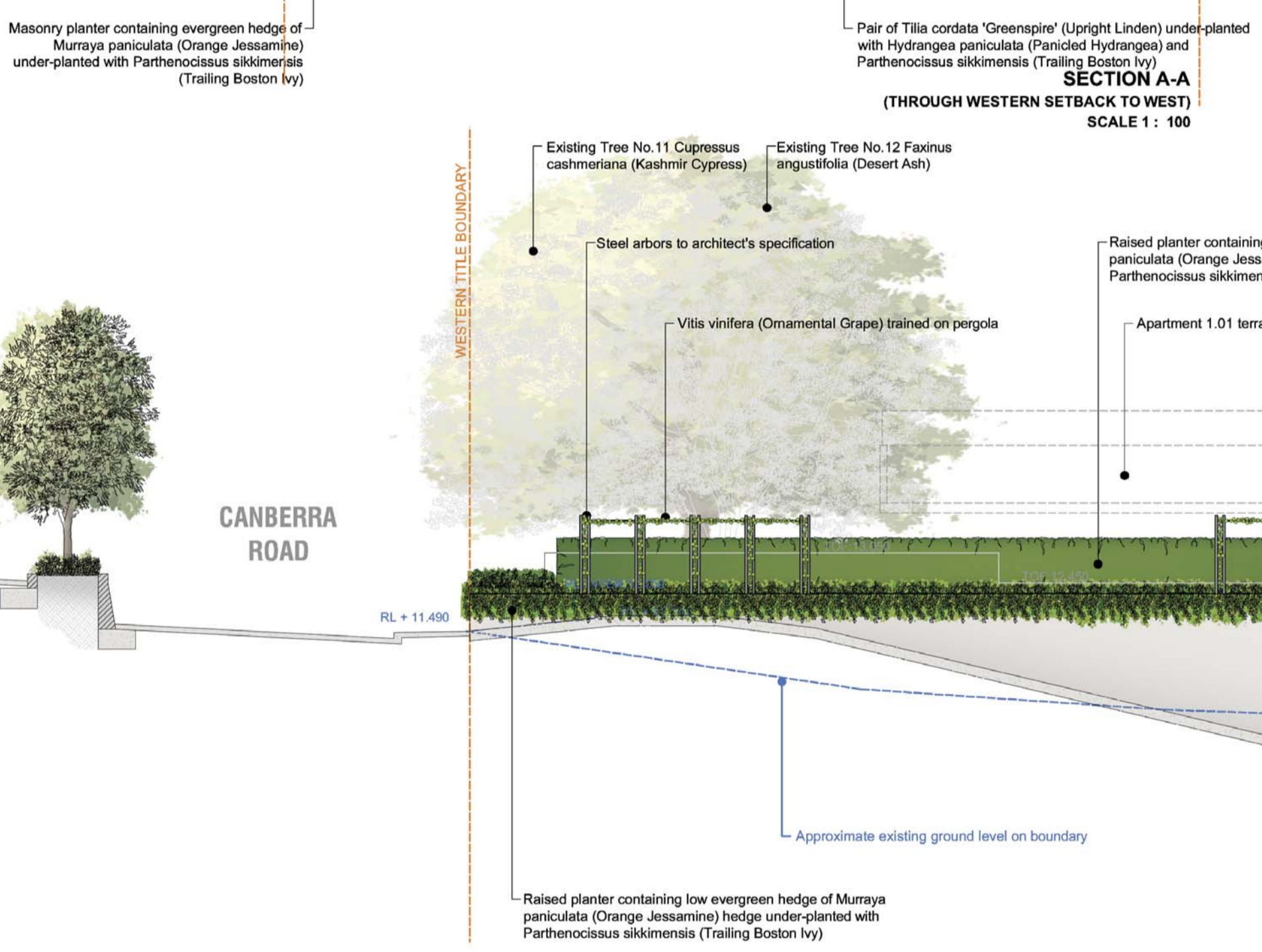
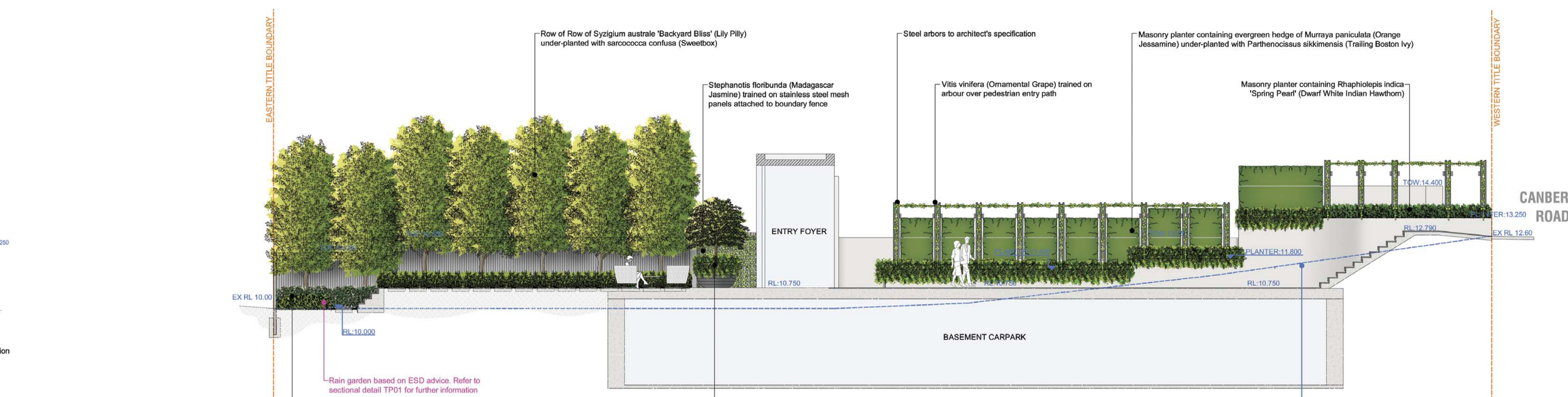
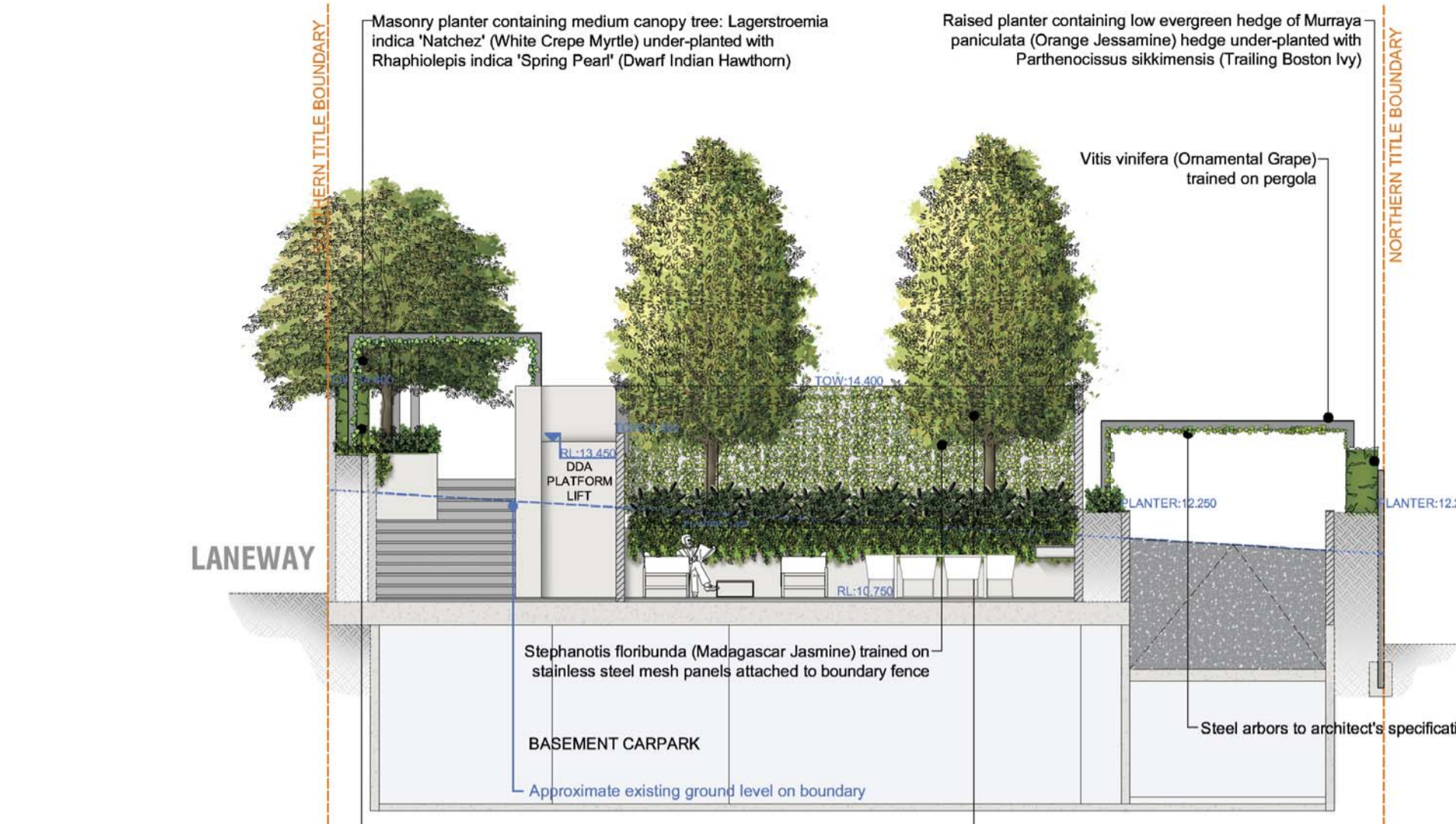
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DRAWING TITLE
Boundary Elevations
PROJECT NUMBER
18.033
DRAWING STATUS
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DATE
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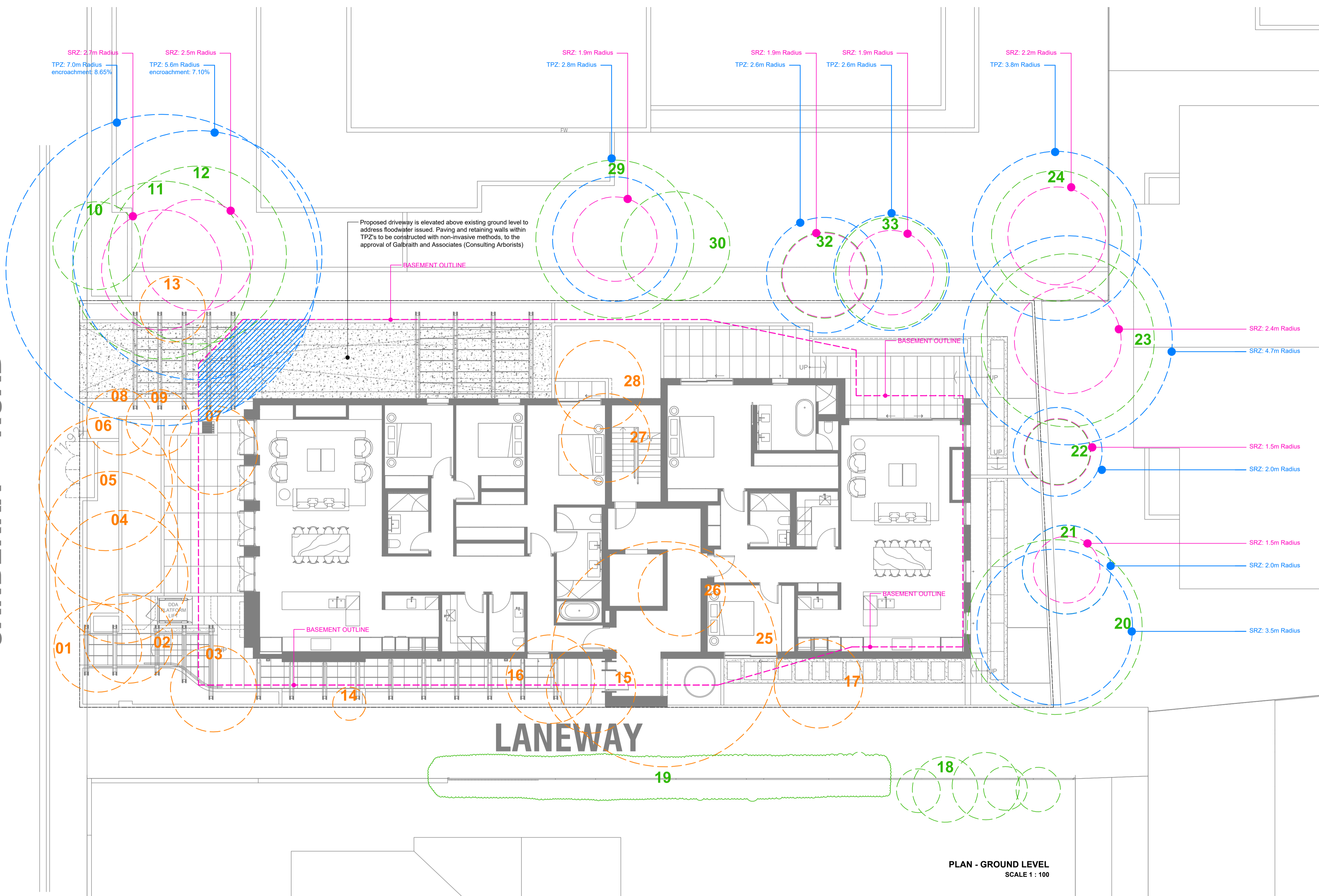
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DRAWING TITLE
Landscape Sections
PROJECT NUMBER
18.033
DRAWING STATUS
TP05
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CANBERRA ROAD



TABLE

Symbol	Description
	Existing tree - to be retained
	Existing tree - to be removed
	Structural Root Zone (SRZ)
	Tree Protection Zone (TPZ)

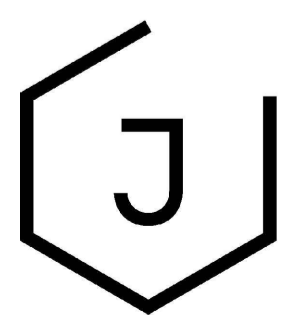
EXISTING TREE SCHEDULE

Tree No.	Botanical Name	Common Name	To be retained or removed
1	<i>Olea europaea</i>	Olive	Remove
2	<i>Betula pendula alba</i>	Silver Birch	Remove
3	<i>Betula pendula alba</i>	Silver Birch	Remove
4	<i>Betula pendula alba</i>	Silver Birch	Remove
5	<i>Betula pendula alba</i>	Silver Birch	Remove
6	<i>Betula pendula alba</i>	Silver Birch	Remove
7	<i>Arbutus unedo</i>	Strawberry Tree	Remove
8	<i>Salix humboldtii</i>	Chilean Willow	Remove
9	<i>Salix humboldtii</i>	Chilean Willow	Remove
10	<i>Betula pendula alba</i>	Silver Birch	Retain
11	<i>Cupressus cashmeriana</i>	Kashmir Cypress	Retain
12	<i>Faxinus angustifolia</i>	Desert Ash	Retain
13	<i>Ligustrum lucidum</i>	Large Leaved Privet	Remove
14	<i>Picea abies</i>	Norway Spruce	Remove
15	<i>Schefflera aclinophylla</i>	Umbrella Tree	Remove
16	<i>Pittosporum tenuifolium</i> 'James Stirling'	James Stirling Pittosporum	Remove
17	<i>Betula pendula</i> 'Plena'	Weeping Birch	Remove
18	<i>Weeping Lillypillies</i>	Waterhousea Floribunda	Retain
19	<i>Weeping Lillypillies</i>	Waterhousea Floribunda	Retain
20	<i>Callistemon viminalis</i>	Weeping Bottlebrush	Retain
21	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Retain
22	<i>Betula pendula alba</i>	Silver Birch	Retain
23	<i>Pyrus calleryana</i> 'Bradford'	Callery Pear	Retain
24	<i>Pittosporum undulatum</i>	Sweet Pittosporum	Retain
25	<i>Betula pendula alba</i>	Silver Birch	Remove
26	<i>Betula pendula alba</i>	Silver Birch	Remove
27	<i>Acer palmatum</i>	Japanese Maple	Remove
28	<i>Magnolia x soulangeana</i>	Chinese Magnolia	Remove
29	<i>Betula pendula alba</i>	Silver Birch	Retain
30	<i>Pittosporum tenuifolium</i> 'James Stirling'	James Stirling Pittosporum	Retain
32	<i>Betula pendula alba</i>	Silver Birch	Retain
33	<i>Betula pendula alba</i>	Silver Birch	Retain

GENERAL NOTES

- Information on this Tree Management Plan corresponds with Galbraith and Associates Arborist Report dated 28th August 2018
- Tree protection fencing, or ground protection where required, provided in accordance with AS4910-2009.
- Appropriate signage on any tree protection fencing prohibiting access, excavation, changes in soil levels, or any storage within the Tree Protection Zone in accordance with 454910-2009 unless with the prior written consent and under the direct supervision of the consulting arborist.
- Maintenance of the area(s) within the Tree Protection Zone in accordance with AS4970-2009.
- Any pruning to be undertaken being in accordance with AS4373-2007

PLAN - GROUND LEVEL
SCALE 1 : 100



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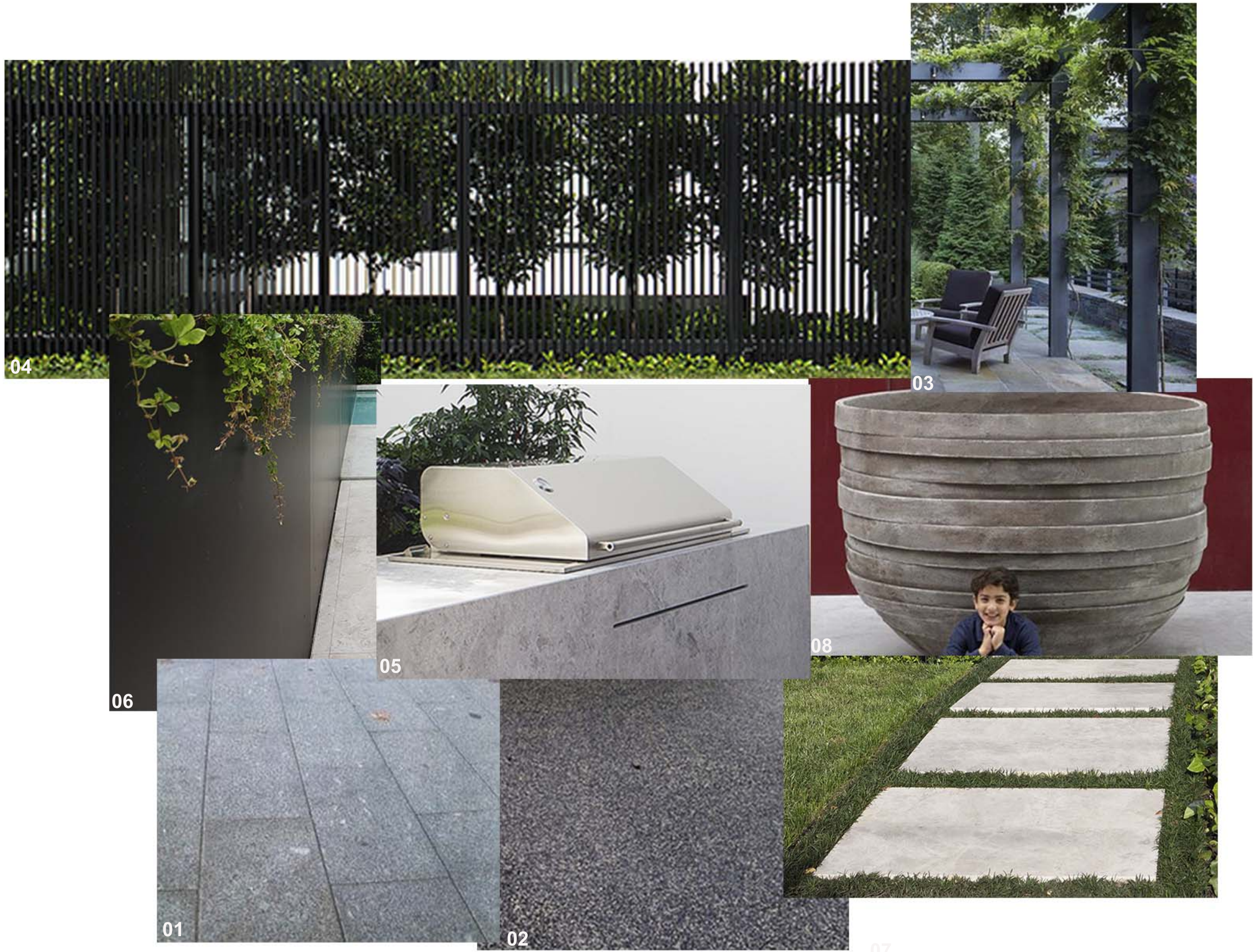
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DRAWING TITLE
Tree Management Plan
PROJECT NUMBER
18.033
DRAWING STATUS
TP06
DATE
24.05.19
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- 01. Acmena smithii 'Fire Screen' (Lilly Pilly)
- 02. Acer Palmatum 'Dissectum Seiryu' (Fine Green-Leaf Japanese Maple)
- 03. Cotoneaster dammeri (Trailing Cotoneaster)
- 04. Gleditsia triacanthos 'Shademaster' (Green-Foliaged Honey Locust)
- 05. Hydrangea paniculata (Panicked Hydrangea)
- 06. Juniperus horizontalis (Trailing Juniper)
- 07. Lagerstroemia indica 'Natchez' (White Crepe Myrtle)
- 08. Murraya paniculata (Orange Jessamine)
- 09. Nandina domestica 'Moon Bay' (Dwarf Sacred Bamboo)
- 10. Ophiopogon japonicus (Tall Mondo Grass)
- 11. Ophiopogon japonicus 'Nanus' (Dwarf Mondo Grass)
- 12. Parthenocissis sikkimensis (Trailing Boston Ivy)
- 13. Pachysandra terminalis (Japanese Pachysandra)
- 14. Raphiolepis indica 'Spring Pearl' (White Indian Hawthorn)
- 15. Sarcococca confusa (Sweetbox)
- 16. Syzigium australe 'Backyard Bliss' (Lily Pilly)
- 17. Stephanotis floribunda (Madagascar Jasmine)
- 18. Trachelospermum jasminoides (Star Jasmine)
- 19. Tilia cordata 'Greenspire' (Upright Linden)
- 20. Vitis vinifera (Ornamental Grape)





- 01. Flamed Charcoal Granite Paving
- 02. Charcoal Exposed Aggregate Concrete
- 03. Galvanised Steel Pergola
- 04. Metal Pallisade Fencing and Gate
- 05. Integrated Stainless Steel Barbecue
- 06. Metal-Clad Planter
- 07. Stepping Stone Bordered with Dwarf Mondo Grass
- 08. Atelier Vierkant 'UF140' Charcoal Pot

