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**5 EVELINA ROAD TOORAK
OBJECTOR MAP**

Date printed: 11/08/2020
Scale: 1:882

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AREA SCHEDULE EXISTING	
EXISTING SITE COVERAGE (m2 AND %)	323.35m2 AND 45.28%
EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
EXISTING GARDEN AREA	340.00m2 AND 47.63%
EXISTING CAR SPACES	3 SPACES
EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED	
PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
PROPOSED PERMEABILITY (m2 AND %)	226.85m2 AND 31.63%
PROPOSED GARDEN AREA (m2 AND %)	299.80m2 AND 41.97%
PROPOSED CAR SPACES	3 SPACES
PROPOSED POS AREA (m2)	161.38m2
PROPOSED GROUND FLOOR (m2)	256.80m2
PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND	
(TL-1)	EXISTING ROOF TILE
(BRCK)	EXISTING BRICK
(REN-0)	PROPOSED RENDER
(REN-1)	EXISTING RENDER
(WIN-1)	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
(WIN-2)	EXISTING WINDOW OR DOOR
(GNT-1)	PROPOSED GARAGE DOOR (GREY)
(MIL-1)	PROPOSED METAL DECK ROOF (GREY)
(MIL-2)	EXISTING CORRUGATED METAL ROOF
(MIL-3)	PROPOSED BLACK METAL
(BAL-1)	PROPOSED BALUSTRADE (CLEAR GLAZING)
(BAL-2)	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
(SCR-1)	TRELLIS MESH ON REN-01 WALL
(TM-1)	PROPOSED TIMBER CLADDING
(PER-1)	PROPOSED OPEN STEEL PERGOLA STRUCTURE
(CLAD-1)	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND	
(Solid line)	EXISTING WALL / FLOOR / ROOF
(Dashed line)	NEW WALL
(Red dashed line)	DEMOLITION
(Thin solid line)	TITLE BOUNDARY
(Blue solid line)	OUTLINE OF EXISTING HOUSE
(SK-1)	EXISTING SKYLIGHT
(SK-2)	PROPOSED NEW SKYLIGHT
(R-1)	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
(S-1)	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
(+ RL 1000)	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
(TL-1)	SELECTED FINISH - REFER INDIVIDUAL CODES
(DP)	DOWNPIPE
(XO)	CROSS OVER
(POS)	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

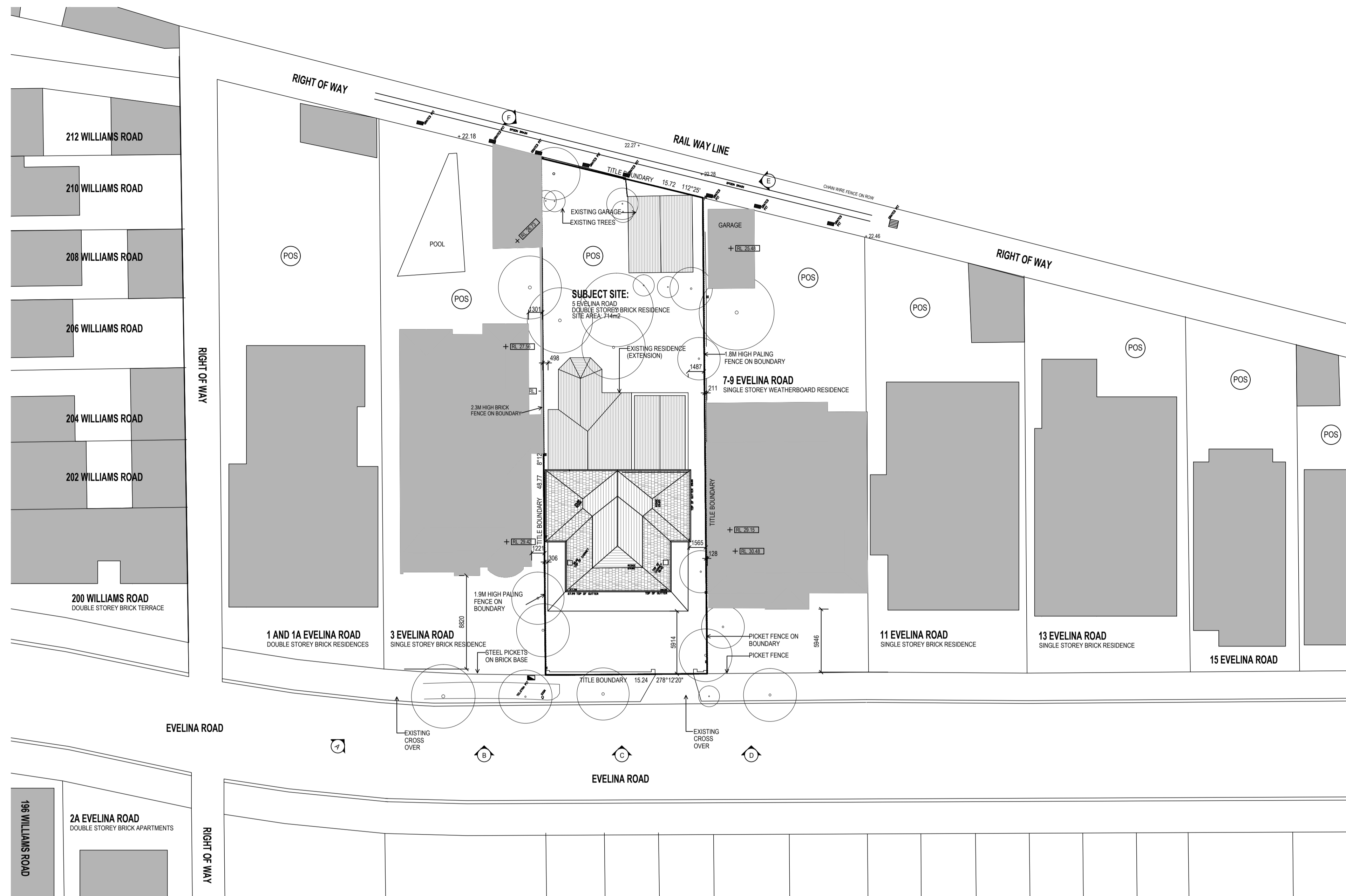
TOWN PLANNING

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CLIENT	PROJECT ADDRESS	DATE	DESCRIPTION	REV	DRAWN	DATE	DESCRIPTION	REV	DRAWN	DRAWING TITLE
ANDREA BALL & JOHN DOWD	5 EVELINA RD, TOORAK	30/11/2016	ISSUED FOR TOWN PLANNING	-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI	C	JS	COVER SHEET
BUILDER	DRAWN	20/02/2017	REISSUED FOR TOWN PLANNING	A	EG					
	JM	26/02/2020	RE-ISSUED FOR TOWN PLANNING	B	JS					

DRAWING NUMBER	SCALE
TP-001	NTS
REVISION	NORTH
C	

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E. 5 EVELINA ROAD, FROM R.O.W



F. 5 EVELINA ROAD, FROM R.O.W



A. 3 EVELINA ROAD



B. 3 EVELINA ROAD



C. 5 EVELINA ROAD



D. 7-9 EVELINA ROAD

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TP-302	ELEVATIONS PROPOSED
TP-401	MATERIALS

AREA SCHEDULE EXISTING

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EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
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PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

TL41	EXISTING ROOF TILE
BRCK	EXISTING BRICK
REN01	PROPOSED RENDER
REN02	EXISTING RENDER
WIN01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN02	EXISTING WINDOW OR DOOR
INT01	PROPOSED GARAGE DOOR (GREY)
MTL01	PROPOSED METAL DECK ROOF (GREY)
MTL02	EXISTING CORRUGATED METAL ROOF
MTL03	PROPOSED BLACK METAL
BAL01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR01	TRELLIS MESH ON REN-01 WALL
TM01	PROPOSED TIMBER CLADDING
PER01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD01	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

[Symbol]	EXISTING WALL / FLOOR / ROOF	
[Symbol]	NEW WALL	
[Symbol]	DEMOLITION	
[Symbol]	TITLE BOUNDARY	
[Symbol]	OUTLINE OF EXISTING HOUSE	
[Symbol]	EXISTING SKYLIGHT	
[Symbol]	PROPOSED NEW SKYLIGHT	
[Symbol]	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM	
[Symbol]	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS	
[Symbol]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS	
[Symbol]	SELECTED FINISH - REFER INDIVIDUAL CODES	
[Symbol]	DN	DOWNPIPE
[Symbol]	XO	CROSS OVER
[Symbol]	POS	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

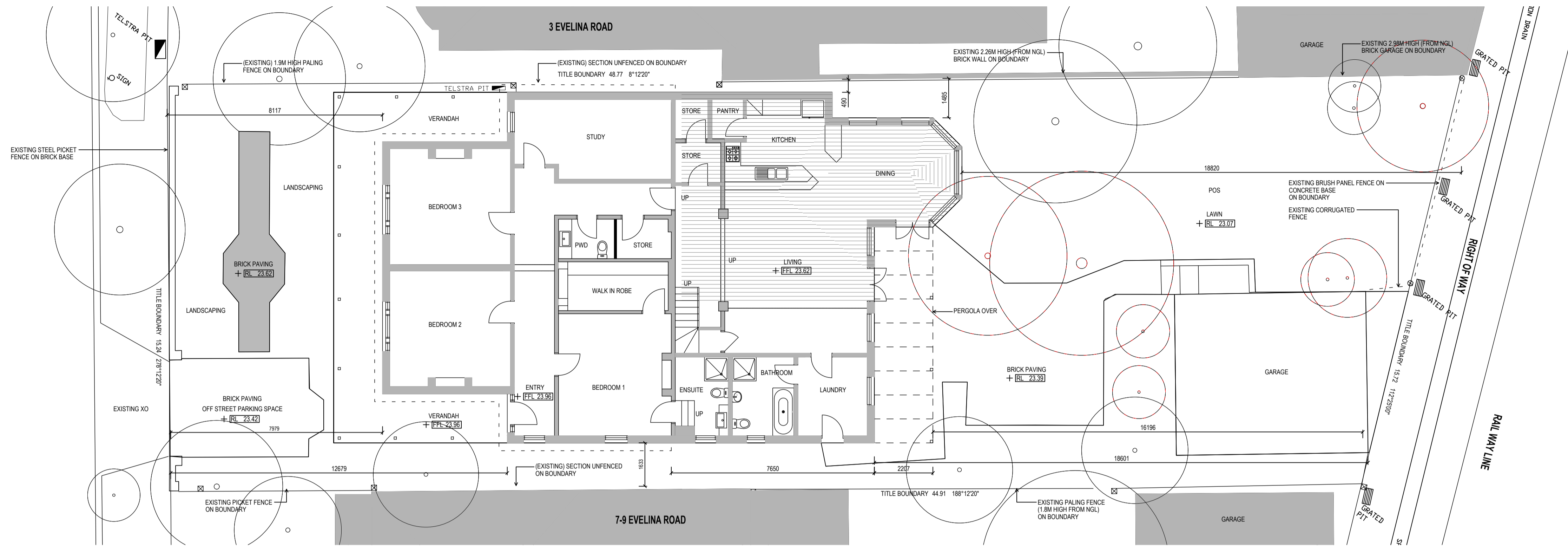
TOWN PLANNING

DRAWING NUMBER	SCALE
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REVISION	NORTH
C	[North Arrow]

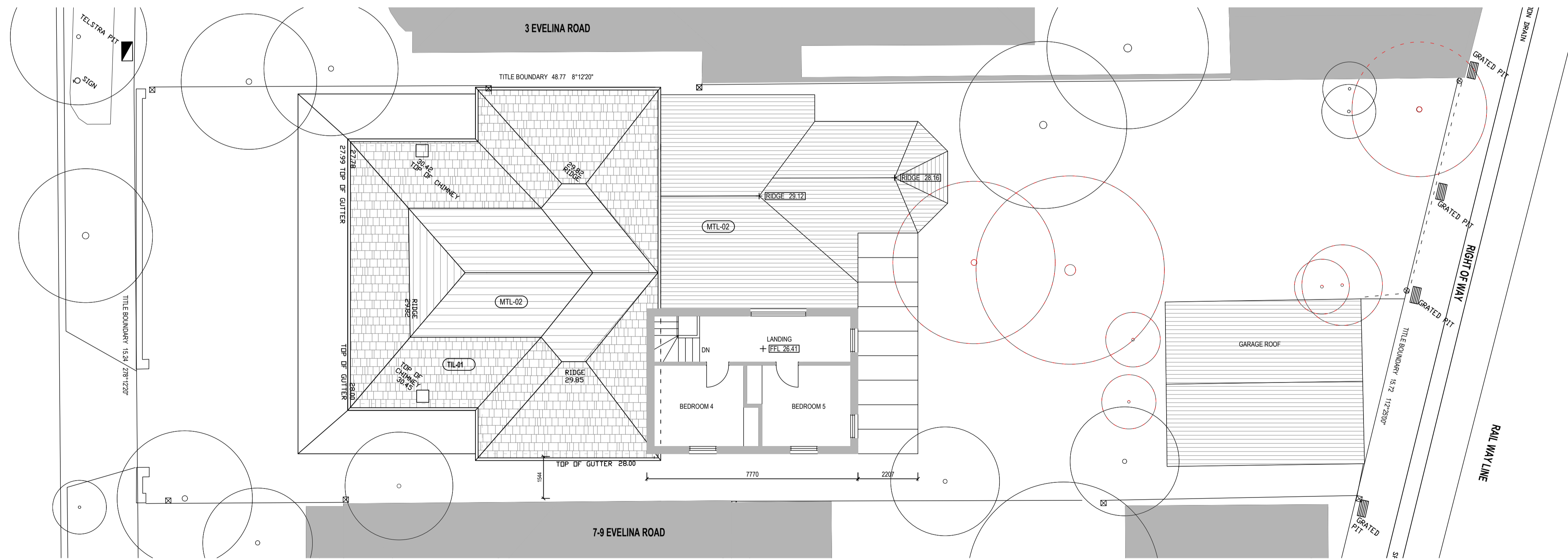


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BUILDER	DRAWN	20/02/2017	RE-ISSUED FOR TOWN PLANNING	A	EG					
	JM	26/02/2020	RE-ISSUED FOR TOWN PLANNING	B	JS					



01 GROUND FLOOR PLAN
EXISTING CONDITIONS



02 FIRST FLOOR PLAN
EXISTING CONDITIONS

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MATERIALS LEGEND

TL-01	EXISTING ROOF TILE
BRICK	EXISTING BRICK
REN-01	PROPOSED RENDER
REN-02	EXISTING RENDER
WIN-01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN-02	EXISTING WINDOW OR DOOR
INT-01	PROPOSED GARAGE DOOR (GREY)
MTL-01	PROPOSED METAL DECK ROOF (GREY)
MTL-02	EXISTING CORRUGATED METAL ROOF
MTL-03	PROPOSED BLACK METAL
BAL-01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL-02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR-01	TRELLIS MESH ON REN-01 WALL
TM-01	PROPOSED TIMBER CLADDING
CER-01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD-01	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

[Symbol]	EXISTING WALL / FLOOR / ROOF
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[Symbol]	TITLE BOUNDARY
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[Symbol]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
[Symbol]	SELECTED FINISH - REFER INDIVIDUAL CODES
[Symbol]	DN DOWNPIPE
[Symbol]	XO CROSS OVER
[Symbol]	POB PRIVATE OPEN SPACE

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TOWN PLANNING

DRAWING NUMBER	SCALE
TP 102	1:100 @ A1
REVISION	NORTH
C	[North Arrow]



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DRAWN
JM

PROJECT ADDRESS
5 EVELINA RD, TOORAK
DATE
30/11/2016
20/02/2017
26/02/2020

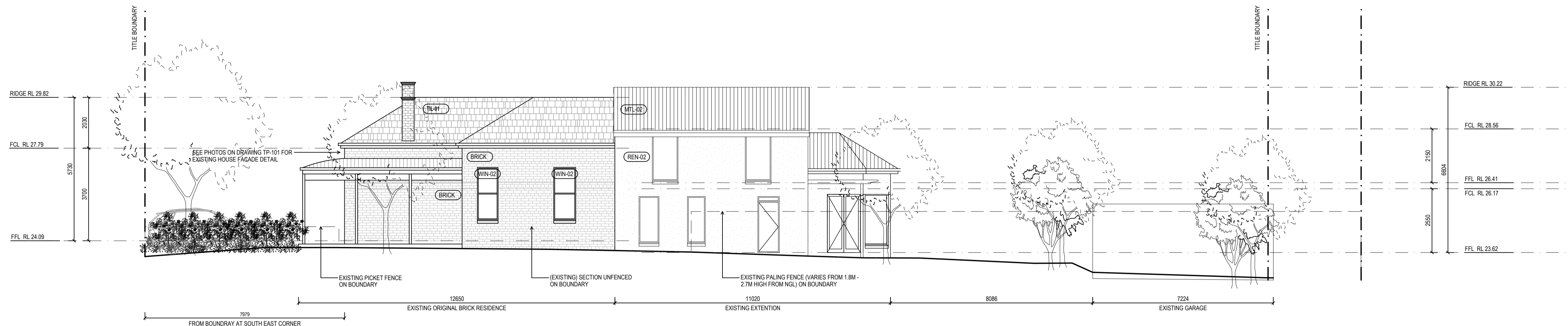
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-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI
A	EG		
B	JS		

DRAWING TITLE
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EXISTING

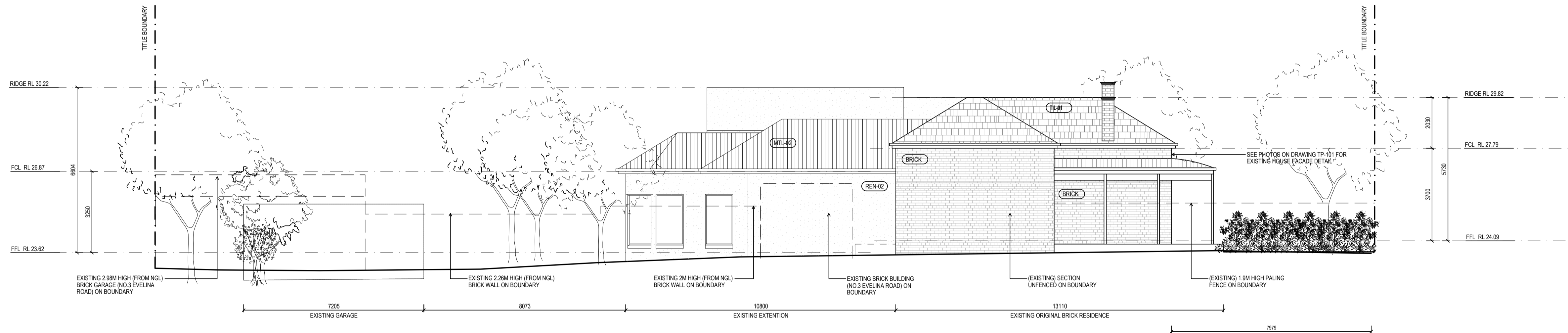
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C	JS

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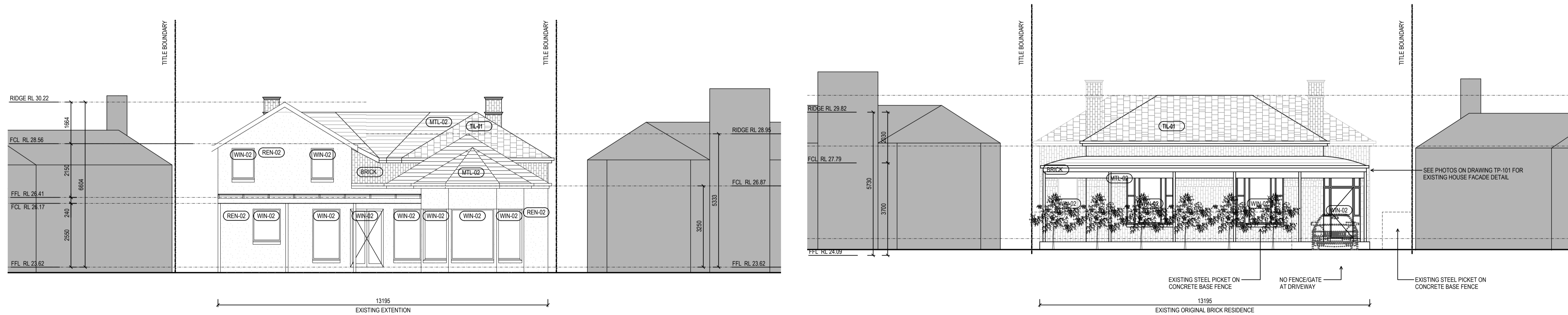
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01 EAST ELEVATION
EXISTING CONDITIONS



02 WEST ELEVATION
EXISTING CONDITIONS



03 NORTH ELEVATION
EXISTING CONDITIONS

04 SOUTH ELEVATION
EXISTING CONDITIONS

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(BRICK)	EXISTING BRICK
(REN-01)	PROPOSED RENDER
(REN-02)	EXISTING RENDER
(WIN-01)	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
(WIN-02)	EXISTING WINDOW OR DOOR
(PNT-01)	PROPOSED GARAGE DOOR (GREY)
(MTL-01)	PROPOSED METAL DECK ROOF (GREY)
(MTL-02)	EXISTING CORRUGATED METAL ROOF
(MTL-03)	PROPOSED BLACK METAL
(BAL-01)	PROPOSED BALUSTRADE (CLEAR GLAZING)
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(SCR-01)	TRELLIS MESH ON REN-01 WALL
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(PER-01)	PROPOSED OPEN STEEL PERGOLA STRUCTURE
(CLAD-01)	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

(Solid line)	EXISTING WALL / FLOOR / ROOF
(Dashed line)	NEW WALL
(Red dashed line)	DEMOLITION
(Dotted line)	TITLE BOUNDARY
(Blue line)	OUTLINE OF EXISTING HOUSE
(SK-01)	EXISTING SKYLIGHT
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(+ RL 2200)	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
(TL-01)	SELECTED FINISH - REFER INDIVIDUAL CODES
(DP)	DOWNPIPE
(XO)	CROSS OVER
(POB)	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

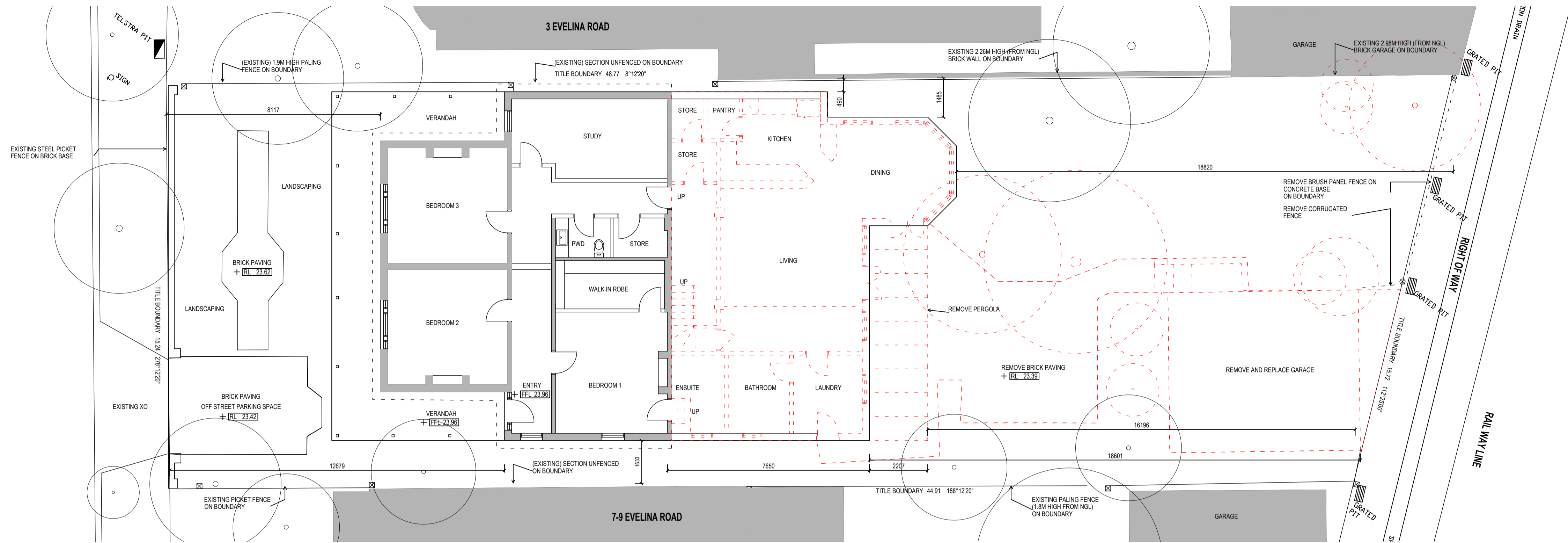
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CLIENT	ANDREA BALL & JOHN DOWD
PROJECT ADDRESS	5 EVELINA RD, TOORAK
DATE	30/11/2016
DESCRIPTION	ISSUED FOR TOWN PLANNING
REV	-
DRAWN	EG
DATE	27/04/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING RFI
REV	C
DRAWN	JS
DRAWING TITLE	ELEVATIONS EXISTING

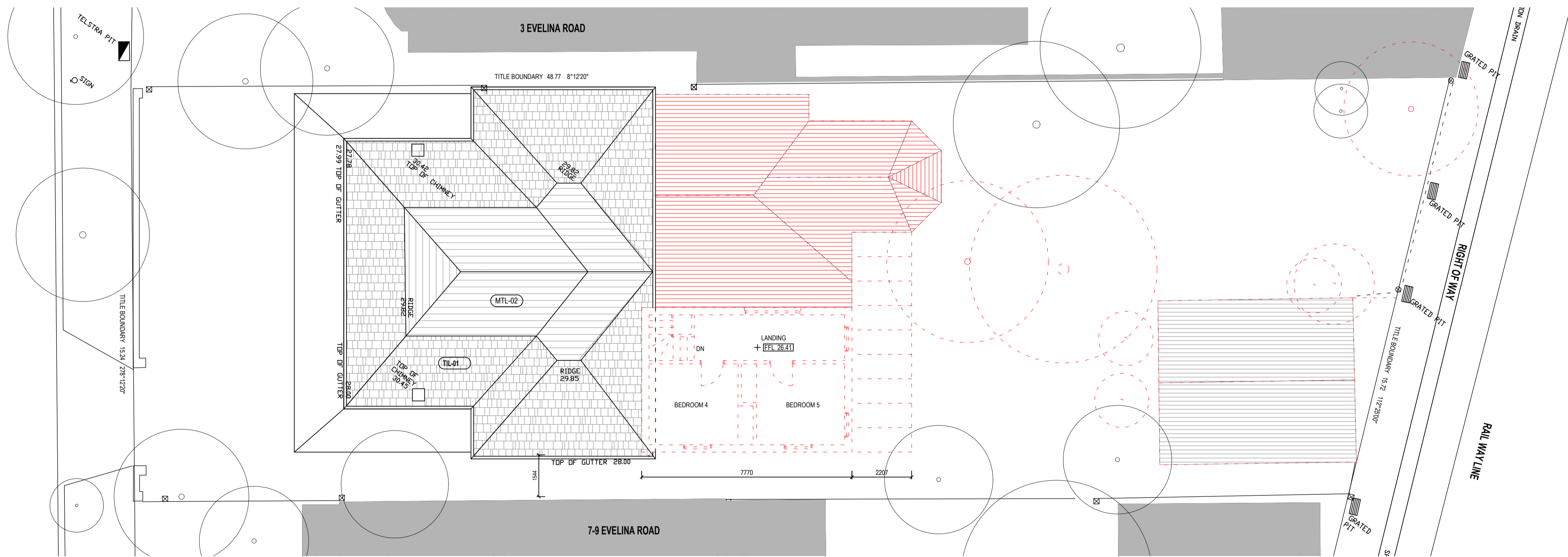
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DATE	27/04/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING RFI
REV	C
DRAWN	JS
DRAWING TITLE	ELEVATIONS EXISTING

DRAWING NUMBER	TP-103
SCALE	1:100 @ A1
REVISION	C
NORTH	(North arrow symbol)

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01 GROUND FLOOR PLAN
DEMOLITION



02 FIRST FLOOR PLAN
DEMOLITION

GENERAL LEGEND

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CLAD-01	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

[Solid Grey]	EXISTING WALL / FLOOR / ROOF
[White]	NEW WALL
[Red Dashed]	DEMOLITION
[Thin Grey Line]	TITLE BOUNDARY
[Blue Line]	OUTLINE OF EXISTING HOUSE
SK-01	EXISTING SKYLIGHT
SK-02	PROPOSED NEW SKYLIGHT
RT-01	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
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RL-01	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
TL-01	SELECTED FINISH - REFER INDIVIDUAL CODES
DP	DOWNPIPE
XO	CROSS OVER
POS	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

DRAWING NUMBER	SCALE
TP 104	1:100 @ A1
REVISION	NORTH
C	

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BUILDER
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DATE
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DATE
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DESCRIPTION
RE-ISSUED FOR TOWN PLANNING

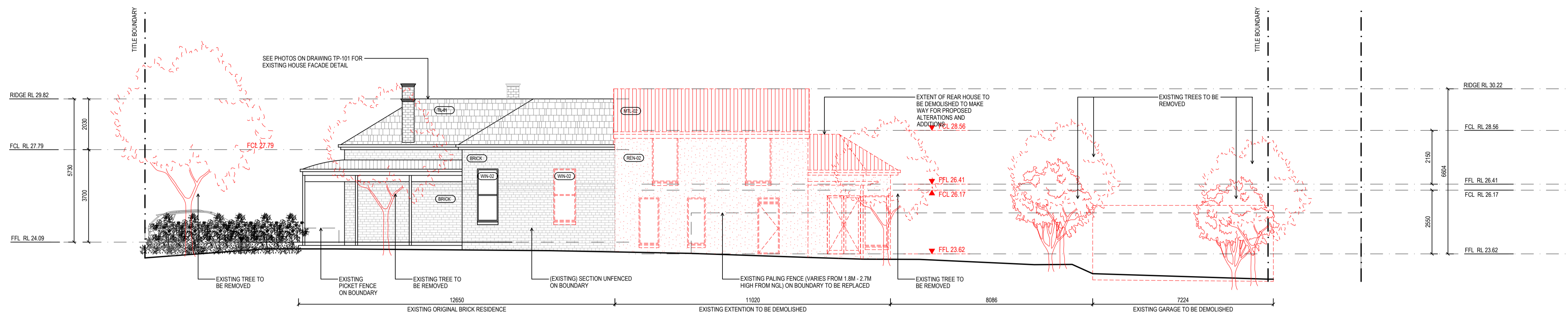
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DESCRIPTION
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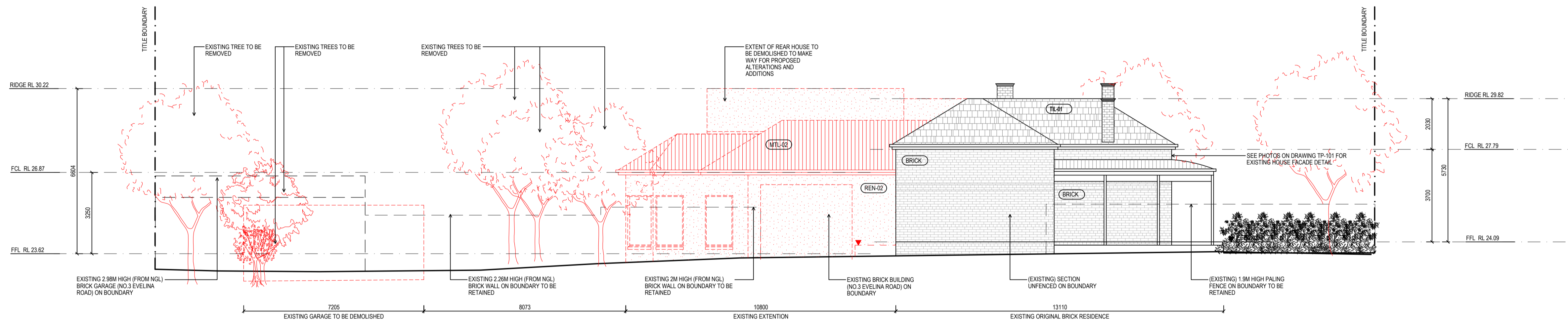
REV	DRAWN	DATE	DESCRIPTION
-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI
A	EG		
B	JS		

REV C
DRAWN JS
DRAWING TITLE
PLANS
DEMOLITION

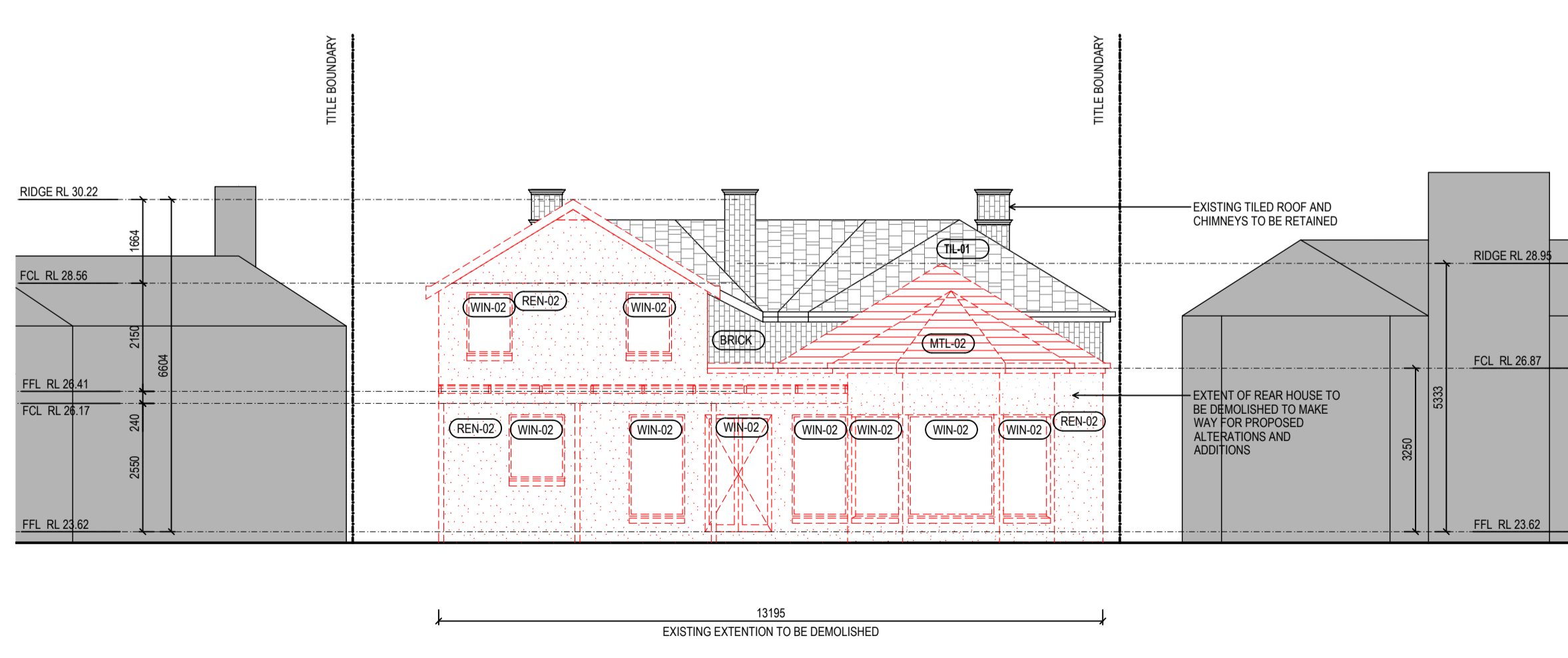
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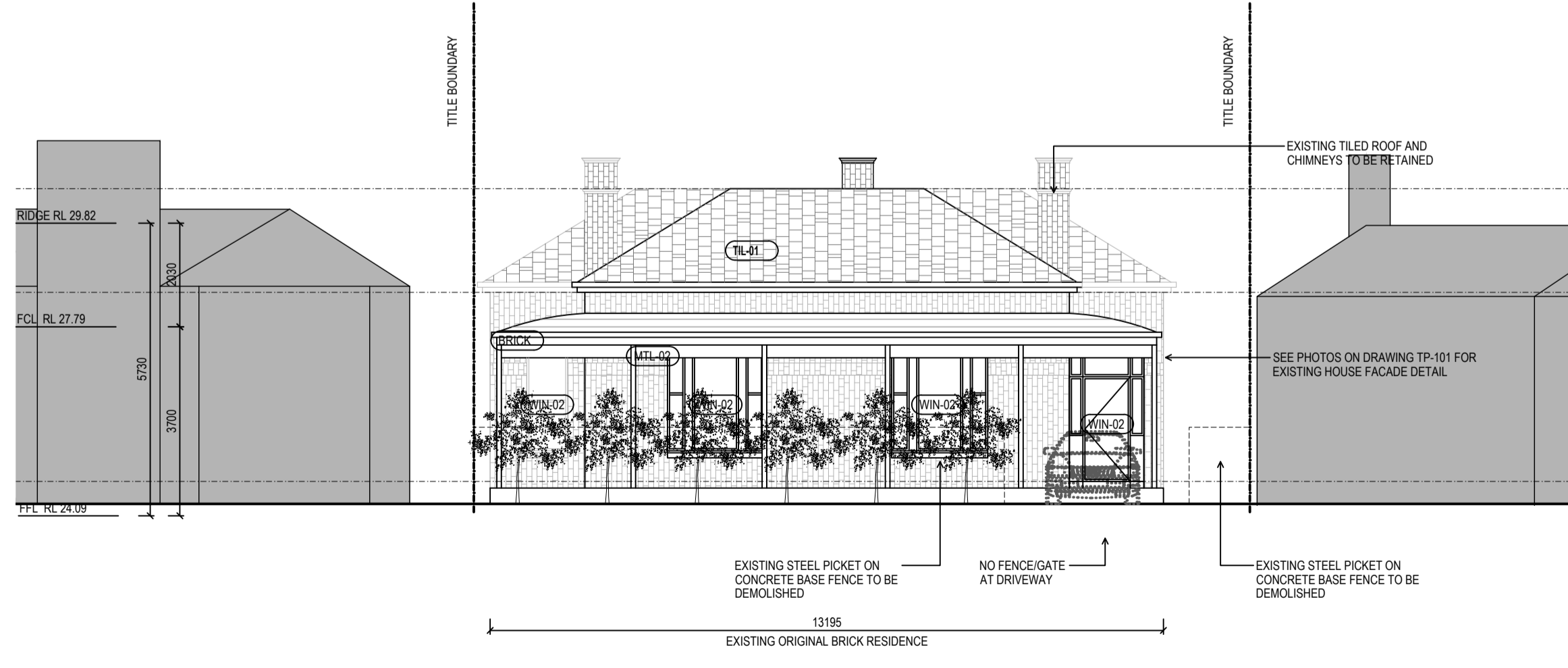
01 EAST ELEVATION
EXISTING CONDITIONS



02 WEST ELEVATION
EXISTING CONDITIONS



03 NORTH ELEVATION
EXISTING CONDITIONS



04 SOUTH ELEVATION
EXISTING CONDITIONS

GENERAL LEGEND

01. COPYRIGHT OF THIS DRAWING IS VESTED IN THE ARCHITECTS.
02. DIMENSIONS ARE IN MILLIMETRES AND LEVELS ARE IN METRES RELATIVE TO AHD.
03. DO NOT SCALE OFF DRAWINGS.
04. USE FIGURED DIMENSIONS ONLY.

AREA SCHEDULE EXISTING

EXISTING SITE COVERAGE (m2 AND %)	323.35m2 AND 45.28%
EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
EXISTING GARDEN AREA	340.00m2 AND 47.63%
EXISTING CAR SPACES	3 SPACES
EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED

PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
PROPOSED PERMEABILITY (m2 AND %)	226.85m2 AND 31.63%
PROPOSED GARDEN AREA (m2 AND %)	299.80m2 AND 41.97%
PROPOSED CAR SPACES	3 SPACES
PROPOSED POS AREA (m2)	161.38m2
PROPOSED GROUND FLOOR (m2)	256.80m2
PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

(TL-4)	EXISTING ROOF TILE
(BRICK)	EXISTING BRICK
(REN-0)	PROPOSED RENDER
(REN-0)	PROPOSED RENDER
(WIN-0)	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
(WIN-0)	EXISTING WINDOW OR DOOR
(GNT-0)	PROPOSED GARAGE DOOR (GREY)
(MTL-0)	PROPOSED METAL DECK ROOF (GREY)
(MTL-0)	EXISTING CORRUGATED METAL ROOF
(MTL-0)	PROPOSED BLACK METAL
(BAL-0)	PROPOSED BALUSTRADE (CLEAR GLAZING)
(BAL-0)	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
(SCR-0)	TRELLIS MESH ON REN-01 WALL
(TM-0)	PROPOSED TIMBER CLADDING
(PER-0)	PROPOSED OPEN STEEL PERGOLA STRUCTURE
(CLAD-0)	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

(Solid Grey)	EXISTING WALL / FLOOR / ROOF
(White)	NEW WALL
(Dashed Red)	DEMOLITION
(Dashed Black)	TITLE BOUNDARY
(Blue Outline)	OUTLINE OF EXISTING HOUSE
(SK)	EXISTING SKYLIGHT
(SK)	PROPOSED NEW SKYLIGHT
(R-01)	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
(R-01)	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
(+ RL 24.09)	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
(TL-4)	SELECTED FINISH - REFER INDIVIDUAL CODES
(DP)	DOWNPIPE
(XO)	CROSS OVER
(PO)	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

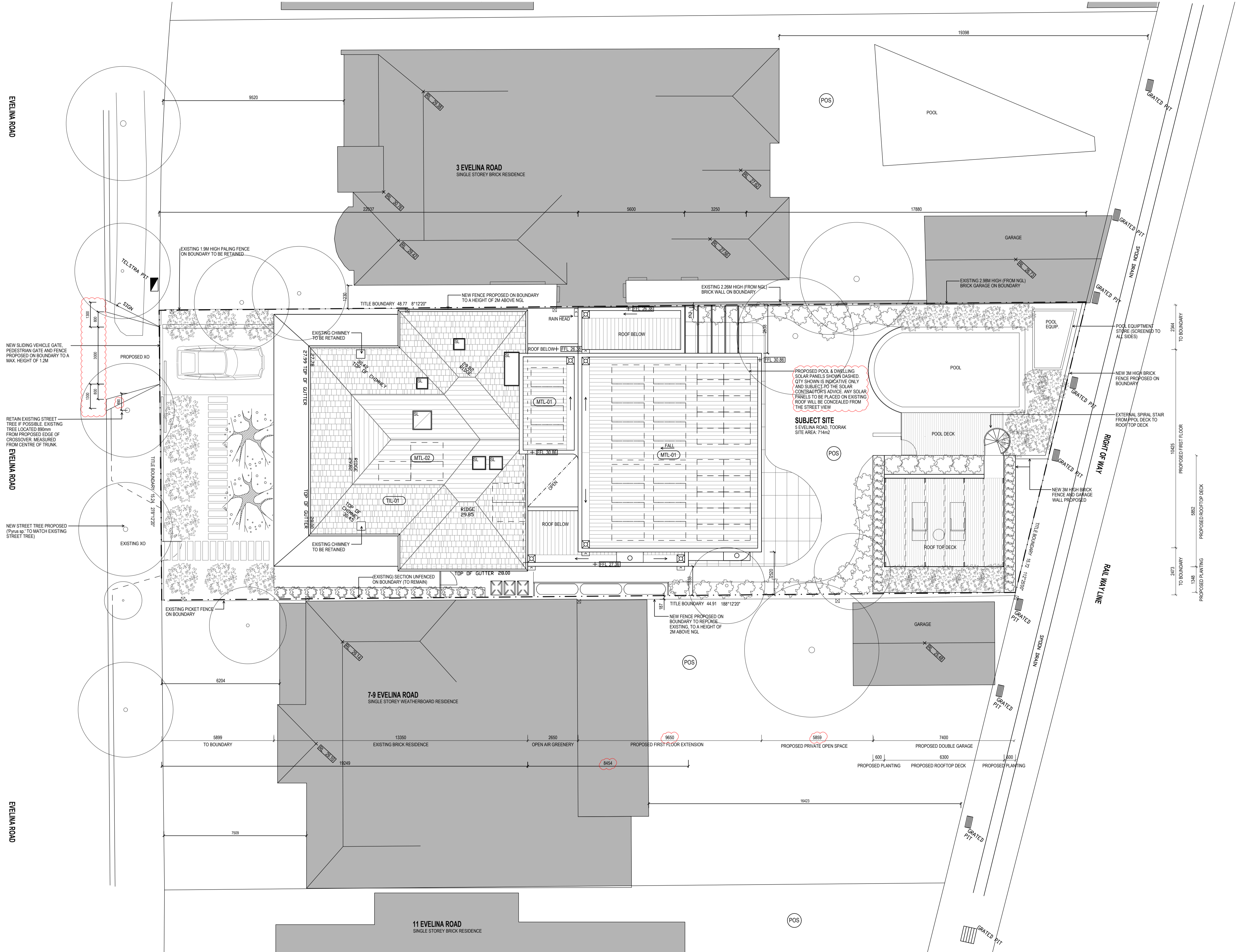
M MERRYLEES ARCHITECTURE
 MERRYLEESARCHITECTURE.COM
 PO BOX 60, ELSTERNWICK VIC 3185
 JANE@MERRYLEESARCHITECTURE.COM
 T +61 (0) 405 720 330

CLIENT	ANDREA BALL & JOHN DOWD
PROJECT ADDRESS	5 EVELINA RD, TOORAK
DATE	30/11/2016
DESCRIPTION	ISSUED FOR TOWN PLANNING
REV	-
DRAWN	EG
DATE	27/04/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING RFI
REV	C
DRAWN	JS
DRAWING TITLE	ELEVATIONS DEMOLITION

CLIENT	ANDREA BALL & JOHN DOWD
PROJECT ADDRESS	5 EVELINA RD, TOORAK
DATE	30/11/2016
DESCRIPTION	ISSUED FOR TOWN PLANNING
REV	-
DRAWN	EG
DATE	27/04/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING RFI
REV	C
DRAWN	JS
DRAWING TITLE	ELEVATIONS DEMOLITION

DRAWING NUMBER	TP-105
SCALE	1:100 @ A1
REVISION	C
NORTH	

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 02. DIMENSIONS ARE IN MILLIMETRES AND LEVELS ARE IN METRES RELATIVE TO AHD.
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AREA SCHEDULE EXISTING

EXISTING SITE COVERAGE (m2 AND %)	323.35m2 AND 45.28%
EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
EXISTING GARDEN AREA	340.00m2 AND 47.63%
EXISTING CAR SPACES	3 SPACES
EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED

PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
PROPOSED PERMEABILITY (m2 AND %)	226.85m2 AND 31.63%
PROPOSED GARDEN AREA (m2 AND %)	299.60m2 AND 41.97%
PROPOSED CAR SPACES	3 SPACES
PROPOSED POS AREA (m2)	161.38m2
PROPOSED GROUND FLOOR (m2)	256.80m2
PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

TL-01	EXISTING ROOF TILE
BR-01	EXISTING BRICK
REN-01	PROPOSED RENDER
REN-02	EXISTING RENDER
WIN-01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN-02	EXISTING WINDOW OR DOOR
GRD-01	PROPOSED GARAGE DOOR (GREY)
MTL-01	PROPOSED METAL DECK ROOF (GREY)
MTL-02	EXISTING CORRUGATED METAL ROOF
MTL-03	PROPOSED BLACK METAL
BAL-01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL-02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR-01	TRELLIS MESH ON REN-01 WALL
TM-01	PROPOSED TIMBER CLADDING
CER-01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD-01	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

[Solid Grey]	EXISTING WALL / FLOOR / ROOF
[Dashed Grey]	NEW WALL
[Red Dashed]	DEMOLITION
[Thin Line]	TITLE BOUNDARY
[Blue Line]	OUTLINE OF EXISTING HOUSE
[Circle with SL]	EXISTING SKYLIGHT
[Circle with NL]	PROPOSED NEW SKYLIGHT
[Diamond with R]	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
[Diamond with S]	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
[+ RL 2.000]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
[TL-01]	SELECTED FINISH - REFER INDIVIDUAL CODES
[DP]	DOWNPIPE
[XO]	CROSS OVER
[POS]	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

M MERRYLEES ARCHITECTURE

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 JANE@MERRYLEESARCHITECTURE.COM
 T +61 (0) 405 720 330

CLIENT
ANDREA BALL & JOHN DOWD
 PROJECT ADDRESS
5 EVELINA RD, TOORAK
 DRAWN
JM

DATE
30/11/2016
 DATE
20/02/2017
 DATE
26/02/2020

DESCRIPTION
ISSUED FOR TOWN PLANNING
 DESCRIPTION
RE-ISSUED FOR TOWN PLANNING
 DESCRIPTION
RE-ISSUED FOR TOWN PLANNING

REV
-
 REV
A
 REV
B

DRAWN
EG
 DRAWN
EG
 DRAWN
JS

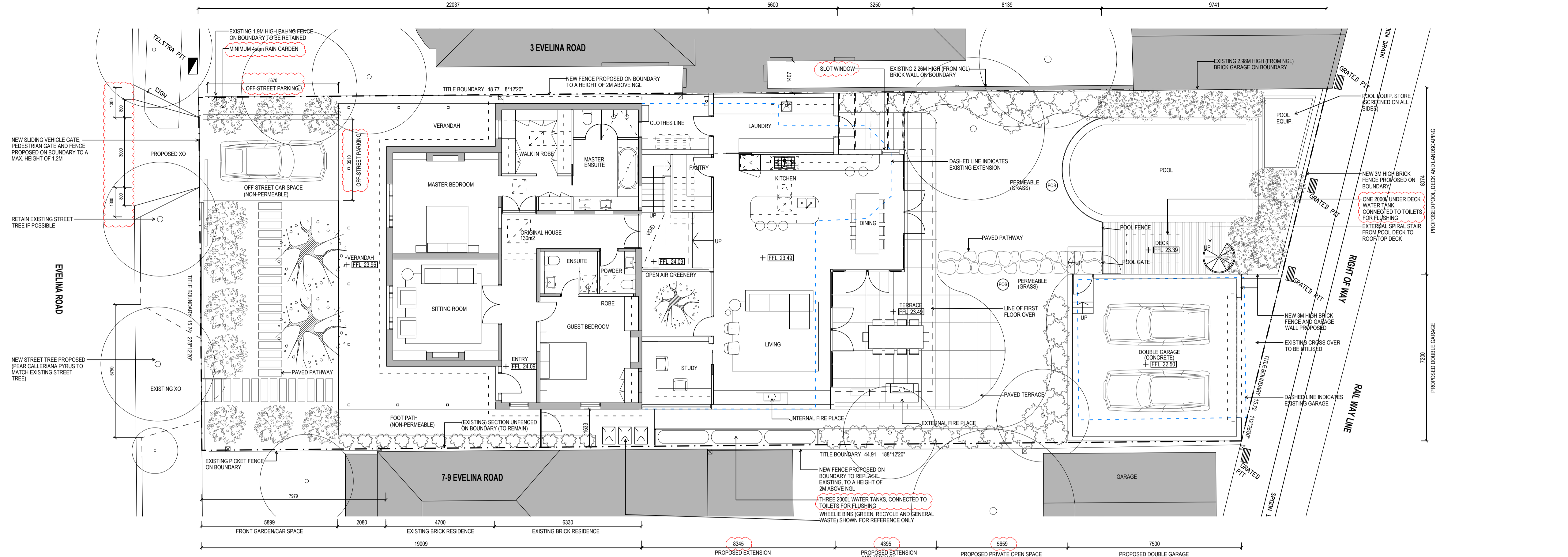
DATE
27/04/2020
 DATE
27/04/2020
 DATE
27/04/2020

DESCRIPTION
RE-ISSUED FOR TOWN PLANNING RFI
 REV
C
 DRAWN
JS
 DRAWING TITLE
SITE PLAN PROPOSED

DRAWING NUMBER
TP-201
 REVISION
C
 SCALE
1:100 @ A1
 NORTH

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01 GROUND FLOOR PLAN
PROPOSED

AREA SCHEDULE EXISTING

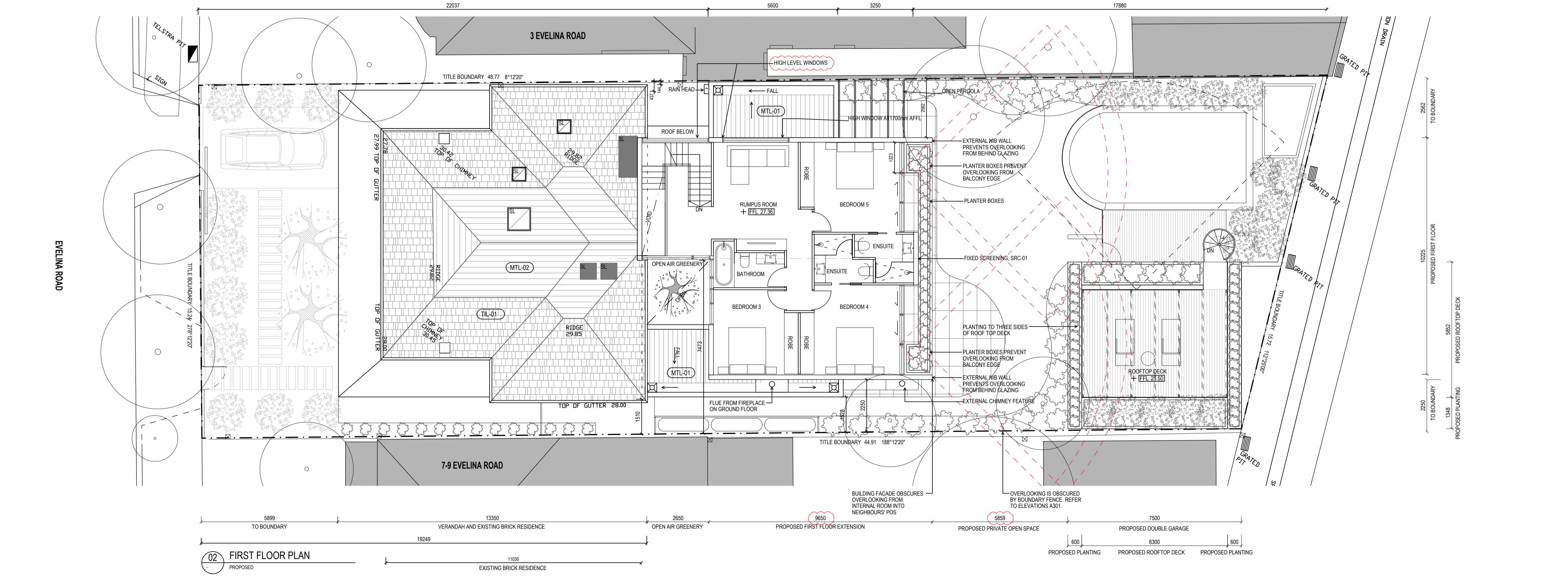
EXISTING SITE COVERAGE (m2 AND %)	323.35m2 AND 45.28%
EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
EXISTING GARDEN AREA	340.00m2 AND 47.63%
EXISTING CAR SPACES	3 SPACES
EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED

PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
PROPOSED PERMEABILITY (m2 AND %)	226.85m2 AND 31.63%
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PROPOSED GROUND FLOOR (m2)	256.80m2
PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

TL-01	EXISTING ROOF TILE
BRICK	EXISTING BRICK
REN-01	PROPOSED RENDER
REN-02	EXISTING RENDER
WIN-01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN-02	EXISTING WINDOW OR DOOR
INT-01	PROPOSED GARAGE DOOR (GREY)
MTL-01	PROPOSED METAL DECK ROOF (GREY)
MTL-02	EXISTING CORRUGATED METAL ROOF
MTL-03	PROPOSED BLACK METAL
BAL-01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL-02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR-01	TRELLIS MESH ON REN-01 WALL
TM-01	PROPOSED TIMBER CLADDING
CER-01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD-01	PROPOSED BLUESTONE CLADDING



02 FIRST FLOOR PLAN
PROPOSED

GENERAL LEGEND

[Solid Grey]	EXISTING WALL / FLOOR / ROOF
[White]	NEW WALL
[Red Dashed]	DEMOLITION
[Black Dashed]	TITLE BOUNDARY
[Blue Dashed]	OUTLINE OF EXISTING HOUSE
[Circle with SL]	EXISTING SKYLIGHT
[Circle with SK]	PROPOSED NEW SKYLIGHT
[Circle with RT]	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
[Circle with ST]	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
[Circle with RL]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
[Circle with TL-01]	SELECTED FINISH - REFER INDIVIDUAL CODES
[Circle with DP]	DOWNPIPE
[Circle with XO]	CROSS OVER
[Circle with PO]	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

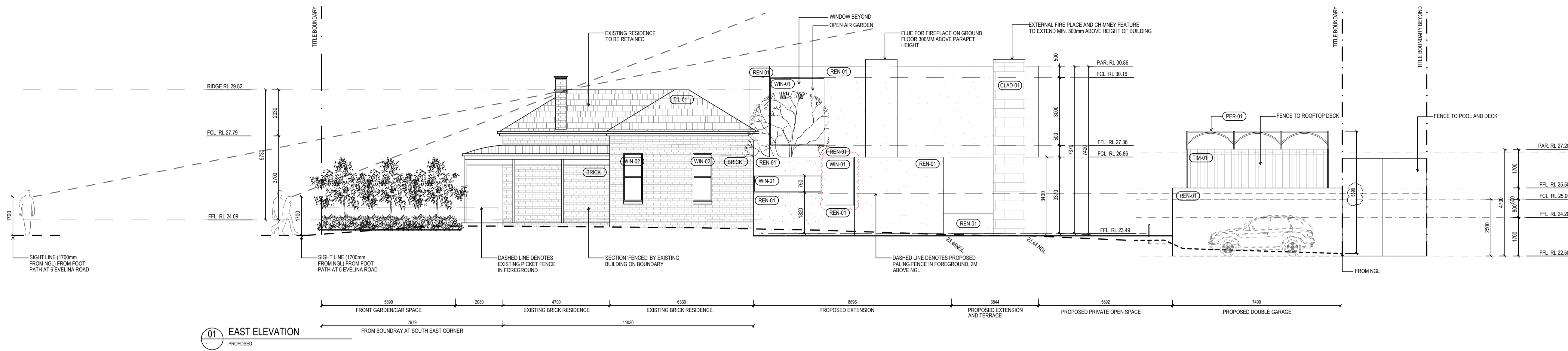
M MERRYLEES ARCHITECTURE
 MERRYLEESARCHITECTURE.COM
 PO BOX 60, ELSTERNWICK VIC 3185
 JANE@MERRYLEESARCHITECTURE.COM
 T +61 (0) 405 720 330

CLIENT	ANDREA BALL & JOHN DOWD
PROJECT ADDRESS	5 EVELINA RD, TOORAK
DATE	30/11/2016
DESCRIPTION	ISSUED FOR TOWN PLANNING
REV	-
DRAWN	EG
DATE	27/04/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING RFI
REV	C
DRAWN	JS
DRAWING TITLE	PLANS PROPOSED

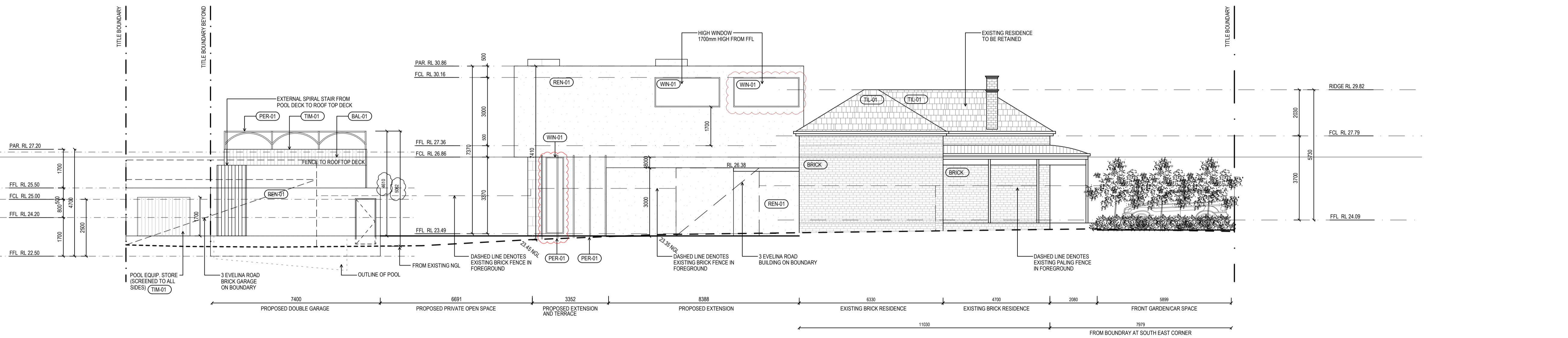
BUILDER	JANE@MERRYLEESARCHITECTURE.COM
DRAWN	JM
DATE	20/02/2017
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING
REV	A
DRAWN	EG
DATE	26/02/2020
DESCRIPTION	RE-ISSUED FOR TOWN PLANNING
REV	B
DRAWN	JS

DRAWING NUMBER	TP-202	SCALE	1:100 @ A1
REVISION	C	NORTH	[North Arrow]

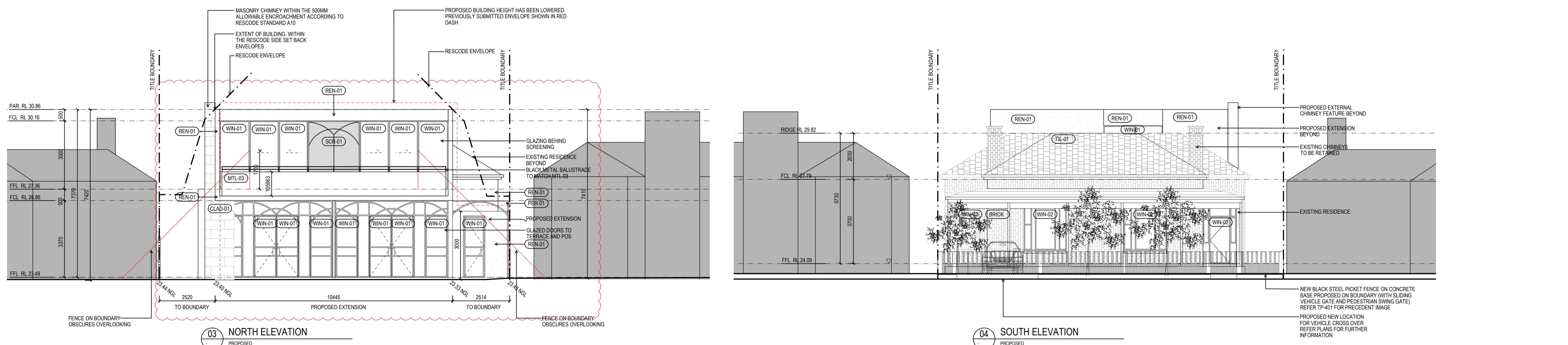
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01 EAST ELEVATION PROPOSED



02 WEST ELEVATION PROPOSED



03 NORTH ELEVATION PROPOSED

04 SOUTH ELEVATION PROPOSED

GENERAL LEGEND

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AREA SCHEDULE EXISTING

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EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED

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PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

- TL-01 EXISTING ROOF TILE
- BRICK EXISTING BRICK
- REN-01 PROPOSED RENDER
- REN-02 EXISTING RENDER
- WIN-01 PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
- WIN-02 EXISTING WINDOW OR DOOR
- INT-01 PROPOSED GARAGE DOOR (GREY)
- MTL-01 PROPOSED METAL DECK ROOF (GREY)
- MTL-02 EXISTING CORRUGATED METAL ROOF
- MTL-03 PROPOSED BLACK METAL
- BAL-01 PROPOSED BALUSTRADE (CLEAR GLAZING)
- BAL-02 PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
- SCR-01 TRELLIS MESH ON REN-01 WALL
- TIM-01 PROPOSED TIMBER CLADDING
- CER-01 PROPOSED OPEN STEEL PERGOLA STRUCTURE
- CLAD-01 PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

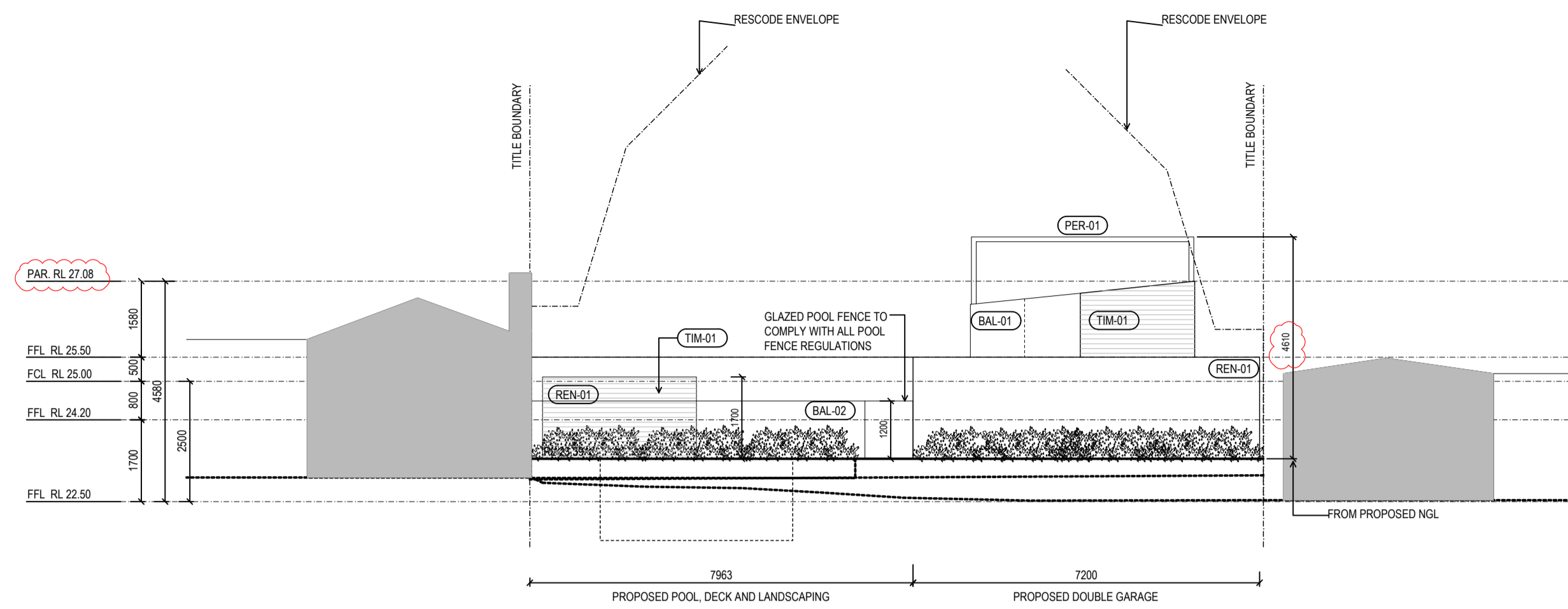
- EXISTING WALL / FLOOR / ROOF
- NEW WALL
- DEMOLITION
- TITLE BOUNDARY
- OUTLINE OF EXISTING HOUSE
- EXISTING SKYLIGHT
- PROPOSED NEW SKYLIGHT
- ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
- SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
- RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
- SELECTED FINISH - REFER INDIVIDUAL CODES
- DP DOWNPIPE
- XO CROSS OVER
- POB PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

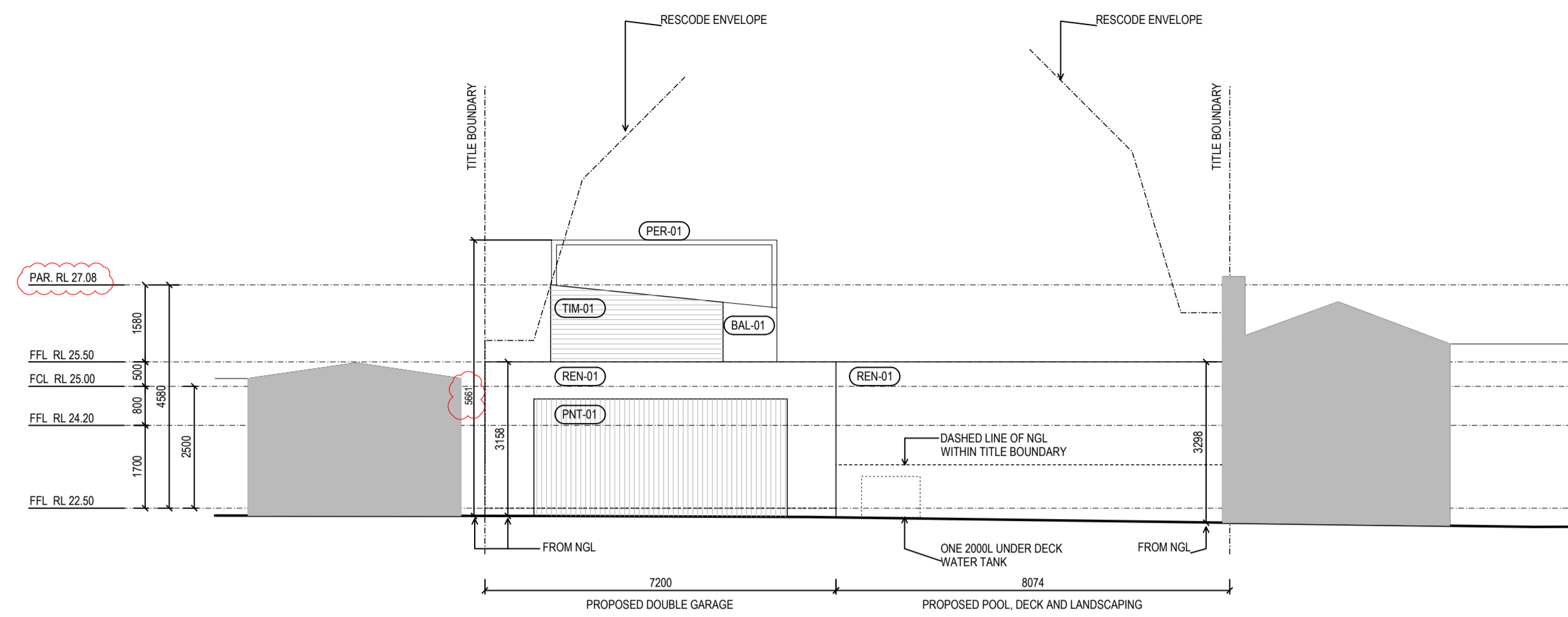
TOWN PLANNING

<p>MERRYLEES ARCHITECTURE</p> <p>MERRYLEESARCHITECTURE.COM PO BOX 60, ELSTERNWICK VIC 3185 JANE@MERRYLEESARCHITECTURE.COM T +61 (0) 405 720 330</p>	<p>CLIENT ANDREA BALL & JOHN DOWD</p>	<p>PROJECT ADDRESS 5 EVELINA RD, TOORAK</p>	<p>DATE 30/11/2016 20/02/2017 26/02/2020</p>	<p>DESCRIPTION ISSUED FOR TOWN PLANNING RE-ISSUED FOR TOWN PLANNING RE-ISSUED FOR TOWN PLANNING</p>	<p>REV - A B</p>	<p>DRAWN EG EG JS</p>	<p>DATE 27/04/2020</p>	<p>DESCRIPTION RE-ISSUED FOR TOWN PLANNING RFI</p>	<p>REV C</p>	<p>DRAWN JS</p>	<p>DRAWING TITLE ELEVATIONS PROPOSED</p>	<p>DRAWING NUMBER TP-301</p>	<p>SCALE 1:100 @ A1</p>
	<p>BUILDER JM</p>	<p>DRAWN JM</p>	<p>DATE 27/04/2020</p>	<p>DESCRIPTION RE-ISSUED FOR TOWN PLANNING RFI</p>	<p>REV C</p>	<p>DRAWN JS</p>	<p>DRAWING TITLE ELEVATIONS PROPOSED</p>	<p>DRAWING NUMBER TP-301</p>	<p>SCALE 1:100 @ A1</p>				
	<p>REVISION C</p>	<p>NORTH</p>											

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01 SOUTH ELEVATION - GARAGE
PROPOSED



02 NORTH ELEVATION - GARAGE
PROPOSED

GENERAL LEGEND

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AREA SCHEDULE EXISTING

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EXISTING POS AREA (m2)	242.98m2

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PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
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PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

TL-01	EXISTING ROOF TILE
BR-01	EXISTING BRICK
REN-01	PROPOSED RENDER
REN-02	EXISTING RENDER
WIN-01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN-02	EXISTING WINDOW OR DOOR
PNT-01	PROPOSED GARAGE DOOR (GREY)
MTL-01	PROPOSED METAL DECK ROOF (GREY)
MTL-02	EXISTING CORRUGATED METAL ROOF
MTL-03	PROPOSED BLACK METAL
BAL-01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL-02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR-01	TRELLIS MESH ON REN-01 WALL
TM-01	PROPOSED TIMBER CLADDING
CER-01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD-01	PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

[Solid Line]	EXISTING WALL / FLOOR / ROOF
[Dashed Line]	NEW WALL
[Red Dashed Line]	DEMOLITION
[Dotted Line]	TITLE BOUNDARY
[Blue Line]	OUTLINE OF EXISTING HOUSE
[Circle with TL]	EXISTING SKYLIGHT
[Circle with BL]	PROPOSED NEW SKYLIGHT
[Diamond with R01]	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
[Diamond with R-01]	SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
[+ RL 22.00]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
[TL-01]	SELECTED FINISH - REFER INDIVIDUAL CODES
[DP]	DOWNPIPE
[XO]	CROSS OVER
[POB]	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

DRAWING NUMBER	SCALE
TP-302	1:100 @ A1
REVISION	NORTH
C	

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CLIENT
ANDREA BALL & JOHN DOWD

BUILDER
JM

PROJECT ADDRESS
5 EVELINA RD, TOORAK

DATE
30/11/2016

DATE
20/02/2017

DATE
26/02/2020

DESCRIPTION
ISSUED FOR TOWN PLANNING

DESCRIPTION
RE-ISSUED FOR TOWN PLANNING

DESCRIPTION
RE-ISSUED FOR TOWN PLANNING

REV
-

REV
A

REV
B

DRAWN
EG

DRAWN
EG

DRAWN
JS

DATE
27/04/2020

DESCRIPTION
RE-ISSUED FOR TOWN PLANNING RFI

REV
C

DRAWN
JS

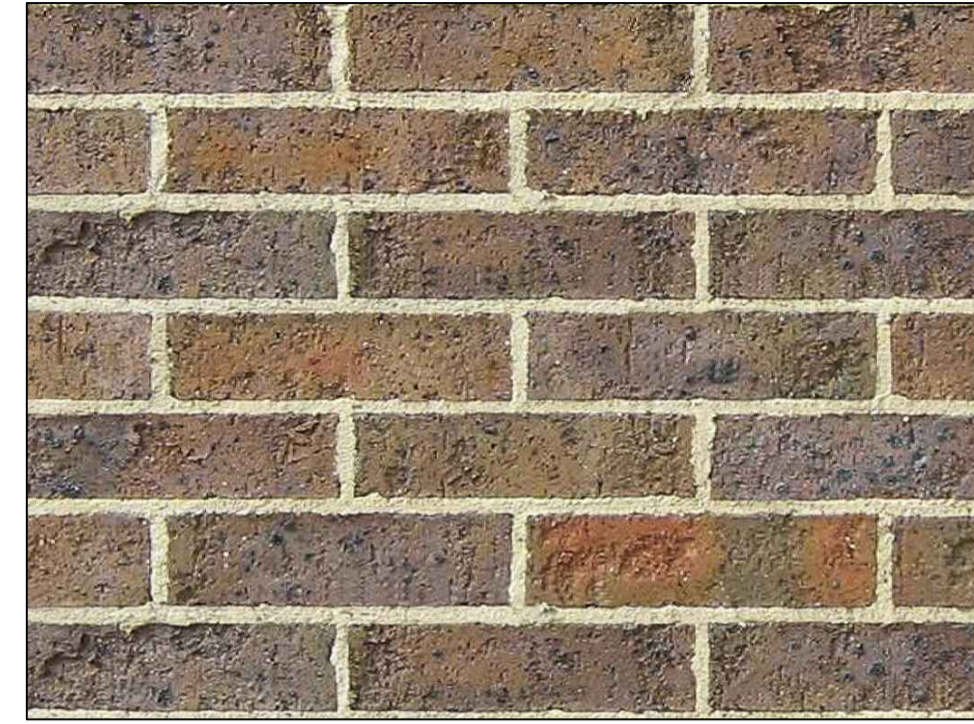
DRAWING TITLE
ELEVATIONS
PROPOSED

NOT FOR CONSTRUCTION

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TIL-01



BRICK



REN-01



WIN-01



MTL-01



MTL-03



BAL-02



SCR-01



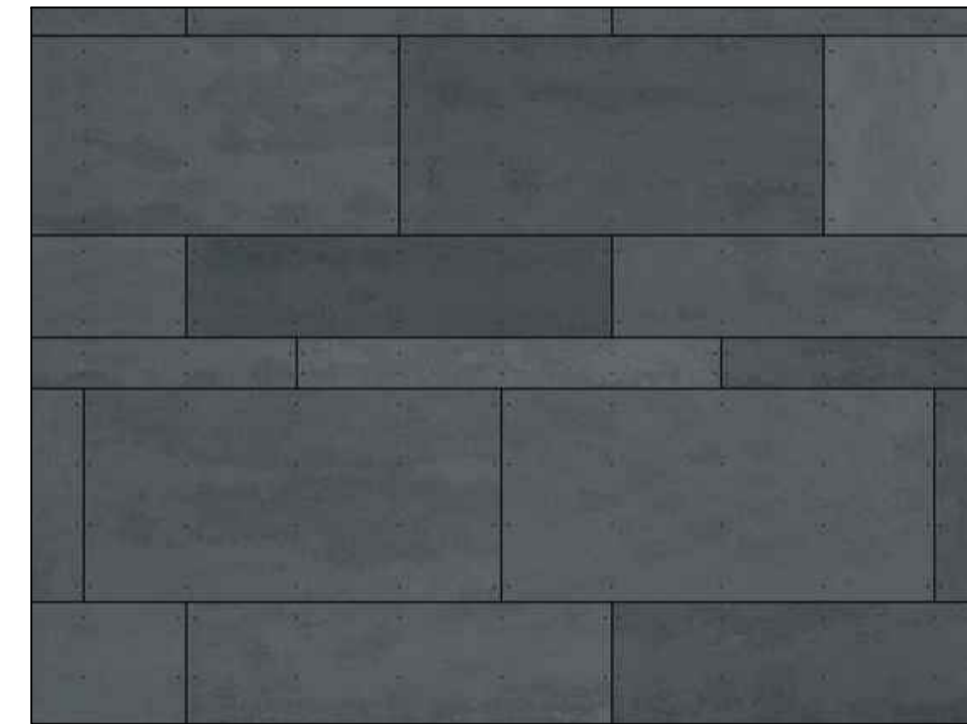
TIM-01 TIMBER BATTENS BACKED BY SOLID PANELS



LANDSCAPING - BLUESTONE PAVING



LANDSCAPING



CLAD-01



PER-01 OPEN STEEL PERGOLA



EXAMPLE OF PROPOSED 5 EVELINA ROAD BOUNDARY FENCE. BLACK STEEL PICKETS ON RENDERED CONCRETE BASE. MAX. HEIGHT OF 1.2m, SLIDING VEHICLE GATE AND SWING PEDESTRIAN GATE.

GENERAL LEGEND

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- 03. DO NOT SCALE OFF DRAWINGS.
- 04. USE FIGURED DIMENSIONS ONLY.

AREA SCHEDULE EXISTING

EXISTING SITE COVERAGE (m2 AND %)	323.35m2 AND 45.28%
EXISTING PERMEABILITY (m2 AND %)	288.21m2 AND 40.36%
EXISTING GARDEN AREA	340.00m2 AND 47.63%
EXISTING CAR SPACES	3 SPACES
EXISTING POS AREA (m2)	242.98m2

AREA SCHEDULE PROPOSED

PROPOSED SITE COVERAGE (m2 AND %)	384.03m2 AND 53.80%
PROPOSED PERMEABILITY (m2 AND %)	226.95m2 AND 31.63%
PROPOSED GARDEN AREA (m2 AND %)	299.60m2 AND 41.97%
PROPOSED CAR SPACES	3 SPACES
PROPOSED POS AREA (m2)	161.38m2
PROPOSED GROUND FLOOR (m2)	256.80m2
PROPOSED FIRST FLOOR (m2)	106.14m2
PROPOSED GARAGE (m2)	53.90m2

MATERIALS LEGEND

- TIL-01 EXISTING ROOF TILE
- BRICK EXISTING BRICK
- REN-01 PROPOSED RENDER
- REN-02 EXISTING RENDER
- WIN-01 PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
- WIN-02 EXISTING WINDOW OR DOOR
- INT-01 PROPOSED GARAGE DOOR (GREY)
- MTL-01 PROPOSED METAL DECK ROOF (GREY)
- MTL-02 EXISTING CORRUGATED METAL ROOF
- MTL-03 PROPOSED BLACK METAL
- BAL-01 PROPOSED BALUSTRADE (CLEAR GLAZING)
- BAL-02 PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
- SCR-01 TRELLIS MESH ON REN-01 WALL
- TIM-01 PROPOSED TIMBER CLADDING
- PER-01 PROPOSED OPEN STEEL PERGOLA STRUCTURE
- CLAD-01 PROPOSED BLUESTONE CLADDING

GENERAL LEGEND

- EXISTING WALL / FLOOR / ROOF
- NEW WALL
- DEMOLITION
- TITLE BOUNDARY
- OUTLINE OF EXISTING HOUSE
- EXISTING SKYLIGHT
- PROPOSED NEW SKYLIGHT
- ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
- SECTION TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS
- RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
- SELECTED FINISH - REFER INDIVIDUAL CODES
- DOWNPIPE
- CROSS OVER
- PRIVATE OPEN SPACE

NOTE: MATERIAL IMAGES ARE INDICATIVE ONLY.

NOT FOR CONSTRUCTION

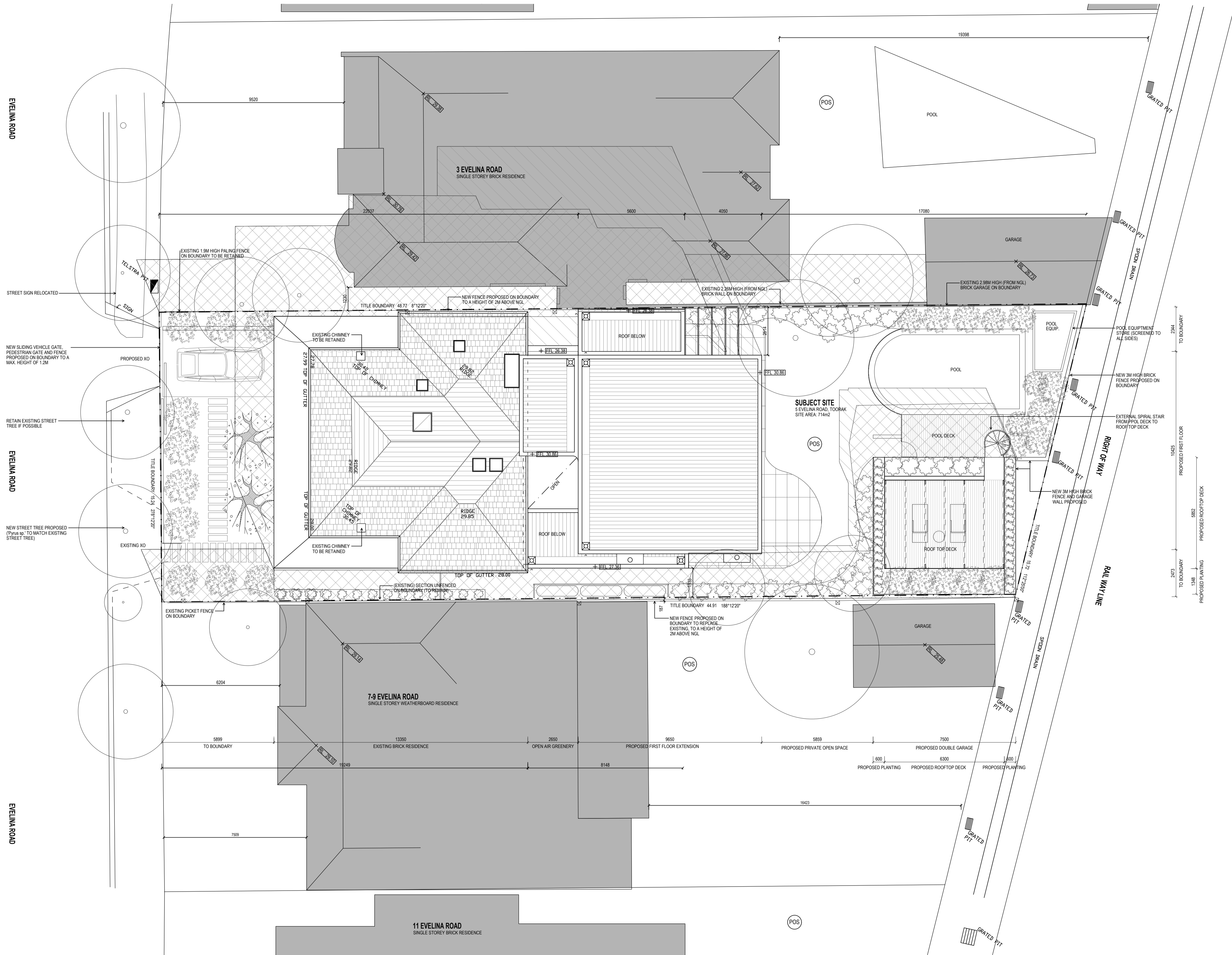
TOWN PLANNING

M MERRYLEES ARCHITECTURE
 MERRYLEESARCHITECTURE.COM
 PO BOX 60, ELSTERNWICK VIC 3185
 JANE@MERRYLEESARCHITECTURE.COM
 T +61 (0) 405 720 330

CLIENT	PROJECT ADDRESS	DATE	DESCRIPTION	REV	DRAWN	DATE	DESCRIPTION	REV	DRAWN	DRAWING TITLE
ANDREA BALL & JOHN DOWD	5 EVELINA RD, TOORAK	30/11/2016	ISSUED FOR TOWN PLANNING	-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI	C	JS	EXTERNAL MATERIALS
BUILDER	DRAWN	20/02/2017	REISSUED FOR TOWN PLANNING	A	EG					
	JM	26/02/2020	RE-ISSUED FOR TOWN PLANNING	B	JS					

DRAWING NUMBER	SCALE
TP-401	NTS @ A1
REVISION	NORTH
C	

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SHADOW LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOWS
- OVERLAP

AREA SCHEDULE EXISTING

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MATERIALS LEGEND

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- PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
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- PROPOSED TIMBER CLADDING
- PROPOSED OPEN STEEL PERGOLA STRUCTURE
- PROPOSED BLUESTONE CLADDING

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NOT FOR CONSTRUCTION

TOWN PLANNING

DRAWING NUMBER	SCALE
TP-501	1:100 @ A1
REVISION	NORTH
C	

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CLIENT
ANDREA BALL & JOHN DOWD

BUILDER
JM

PROJECT ADDRESS
5 EVELINA RD, TOORAK

DATE
30/11/2016

DESCRIPTION
ISSUED FOR TOWN PLANNING

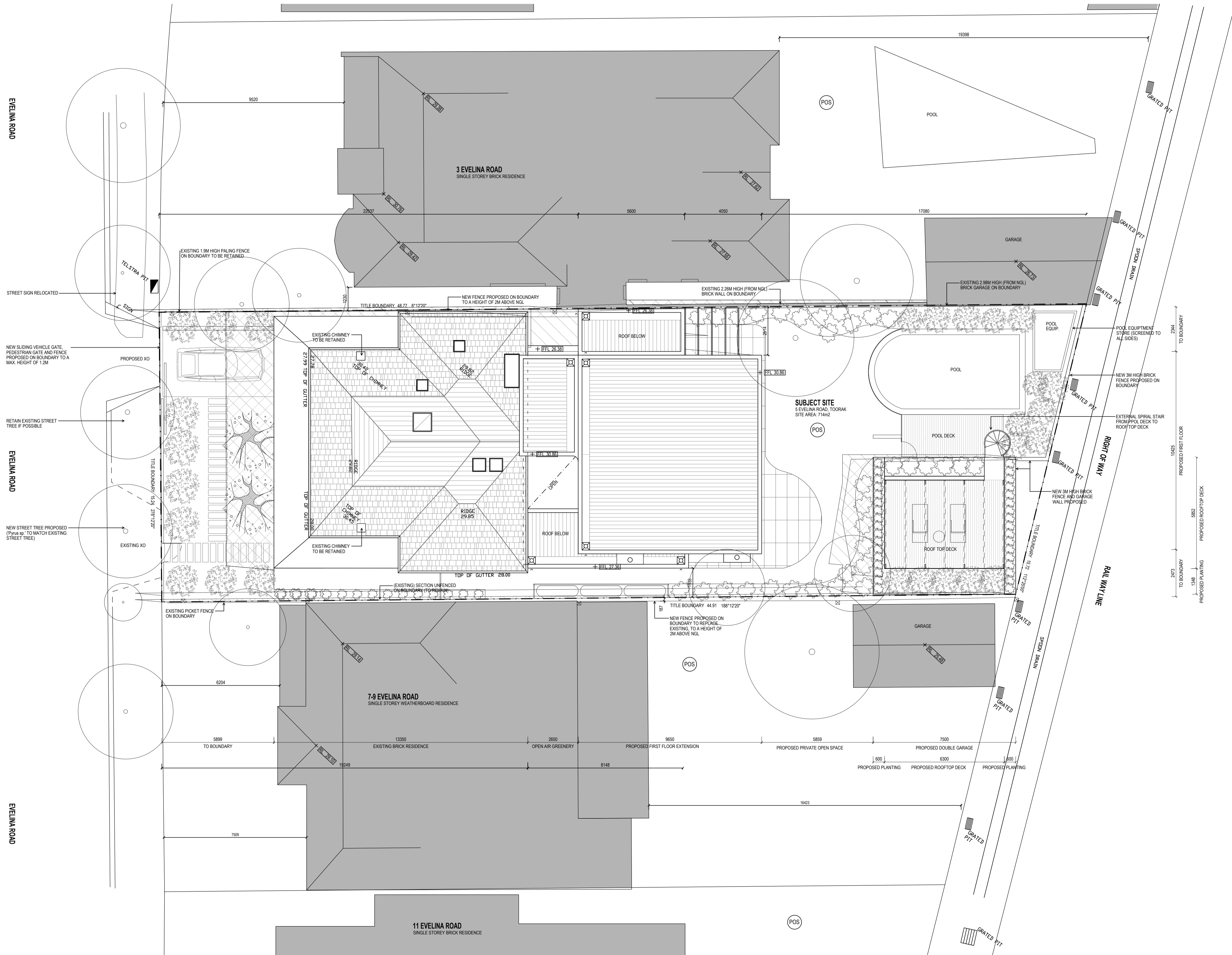
REV	DRAWN	DATE	DESCRIPTION
-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI
A	EG		
B	JS		

DRAWING TITLE
SHADOW DIAGRAMS 9AM

REV
C

DRAWN
JS

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TOWN PLANNING

DRAWING NUMBER	SCALE
TP-502	1:100 @ A1
REVISION	NORTH
C	

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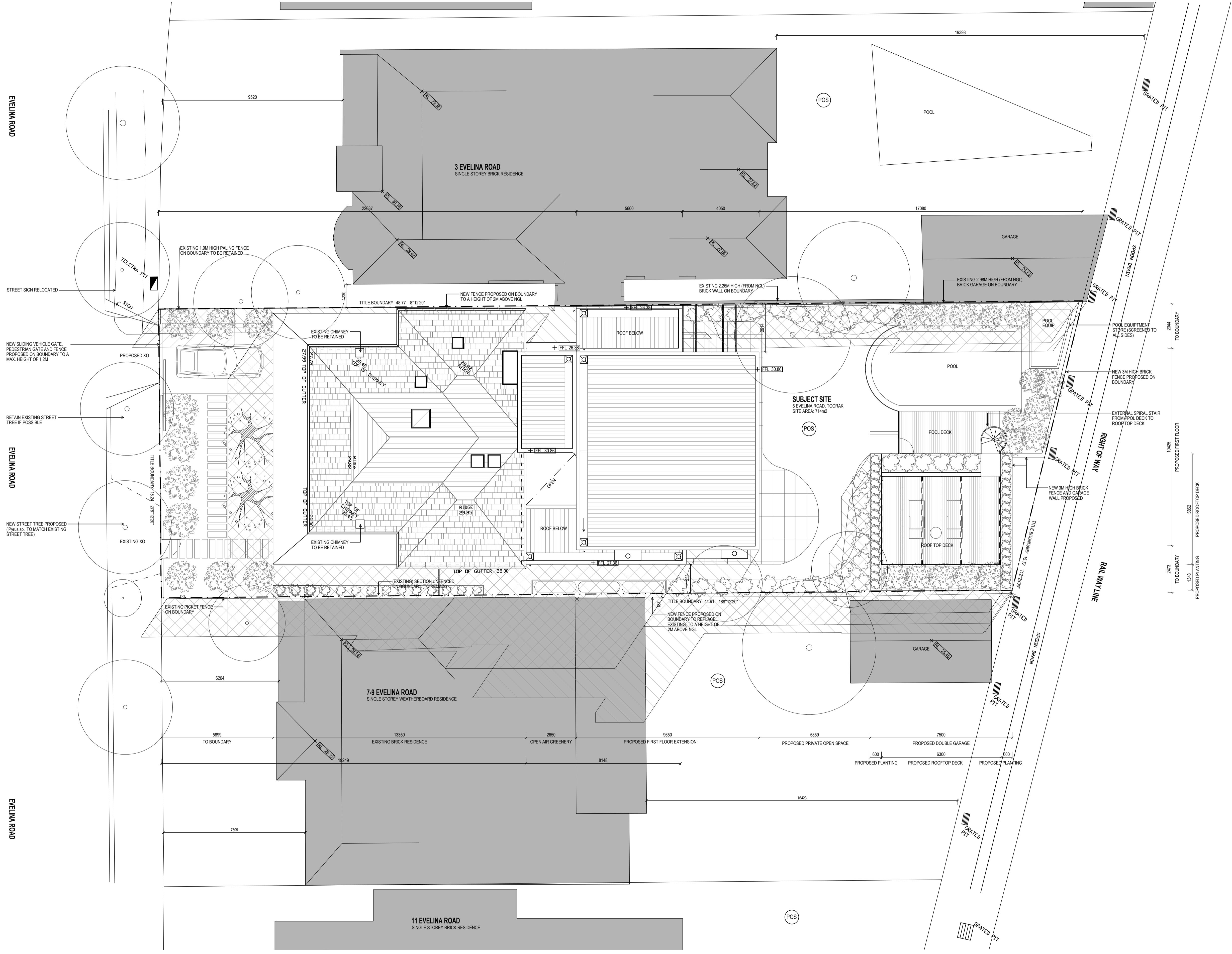
CLIENT
ANDREA BALL & JOHN DOWD
 PROJECT ADDRESS
5 EVELINA RD, TOORAK
 DRAWN
JM

DATE	DESCRIPTION	REV	DRAWN	DATE	DESCRIPTION	REV	DRAWN
30/11/2016	ISSUED FOR TOWN PLANNING	-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI	C	JS
20/02/2017	REISSUED FOR TOWN PLANNING	A	EG				
26/02/2020	RE-ISSUED FOR TOWN PLANNING	B	JS				

REV	DRAWN	DATE	DESCRIPTION	REV	DRAWN
-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI	C	JS
A	EG				
B	JS				

DRAWING TITLE
SHADOW DIAGRAM 12PM

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 EXISTING SHADOWS
 PROPOSED SHADOWS
 OVERLAP

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CLIENT
 ANDREA BALL & JOHN DOWD

BUILDER
 JM

PROJECT ADDRESS
 5 EVELINA RD, TOORAK

DATE
 30/11/2016

DATE
 20/02/2017

DATE
 26/02/2020

DESCRIPTION	REV	DRAWN	DATE	DESCRIPTION	REV	DRAWN
ISSUED FOR TOWN PLANNING	-	EG	27/04/2020	RE-ISSUED FOR TOWN PLANNING RFI	C	JS
RE-ISSUED FOR TOWN PLANNING	A	EG				
RE-ISSUED FOR TOWN PLANNING	B	JS				

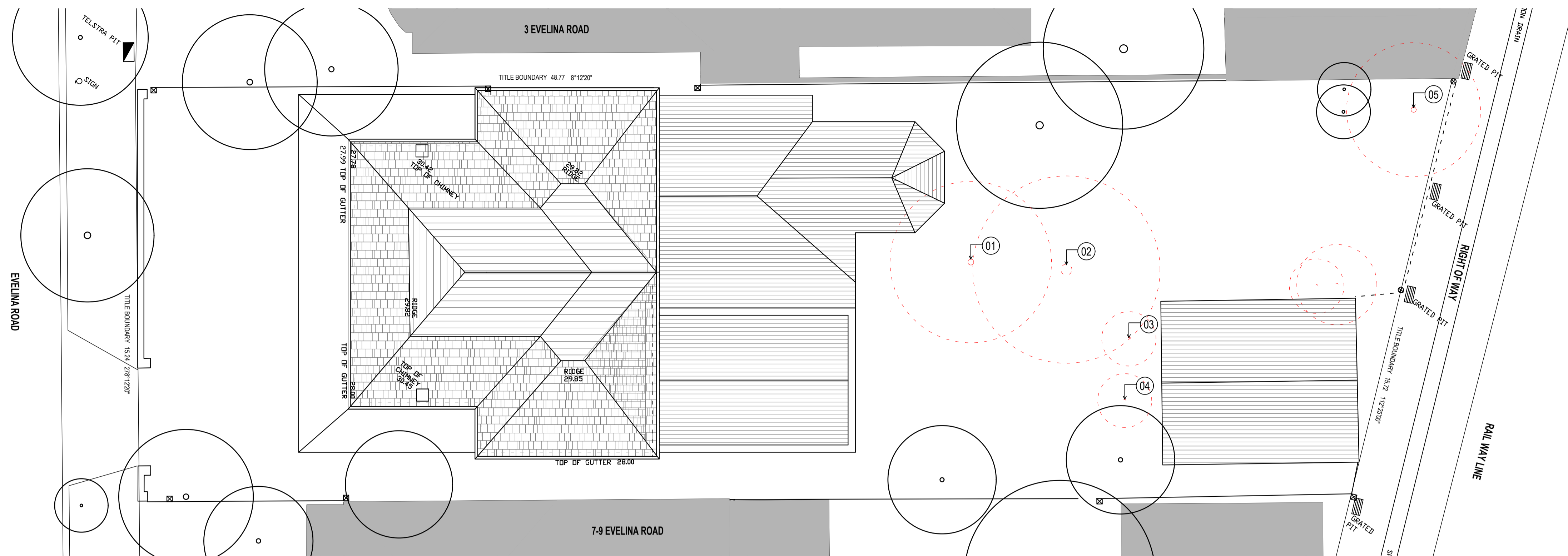
DRAWING TITLE
SHADOW DIAGRAM 3PM

DRAWING NUMBER
TP-503

REVISION
C

SCALE
1:100 @ A1

NORTH



01 SITE PLAN
TREE REMOVAL

01 BETULA PENDULA



70cm TRUNK CIRCUMFERENCE AT 1.4m
CLASS: NON-SIGNIFICANT

02 BETULA PENDULA



93cm TRUNK CIRCUMFERENCE AT 1.4m
CLASS: NON-SIGNIFICANT

03 LAURUS NOBILIS



67cm TRUNK CIRCUMFERENCE AT 1.4m
CLASS: NON-SIGNIFICANT

04 LAURUS NOBILIS



55cm TRUNK CIRCUMFERENCE AT 1.4m
CLASS: NON-SIGNIFICANT

05 MICHELIA DOLTSOPA



118cm TRUNK CIRCUMFERENCE AT 1.4m
CLASS: NON-SIGNIFICANT

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MATERIALS LEGEND

TL-41	EXISTING ROOF TILE
BRCK	EXISTING BRICK
REN-01	PROPOSED RENDER
REN-02	EXISTING RENDER
WIN-01	PROPOSED WINDOW OR DOOR (BLACK FRAME, CLEAR GLAZING)
WIN-02	EXISTING WINDOW OR DOOR
INT-01	PROPOSED GARAGE DOOR (GREY)
MTL-01	PROPOSED METAL DECK ROOF (GREY)
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BAL-01	PROPOSED BALUSTRADE (CLEAR GLAZING)
BAL-02	PROPOSED BALUSTRADE (POOL) (CLEAR GLAZING)
SCR-01	TRELLIS MESH ON REN-01 WALL
TM-01	PROPOSED TIMBER CLADDING
CER-01	PROPOSED OPEN STEEL PERGOLA STRUCTURE
CLAD-01	PROPOSED BLUESTONE CLADDING

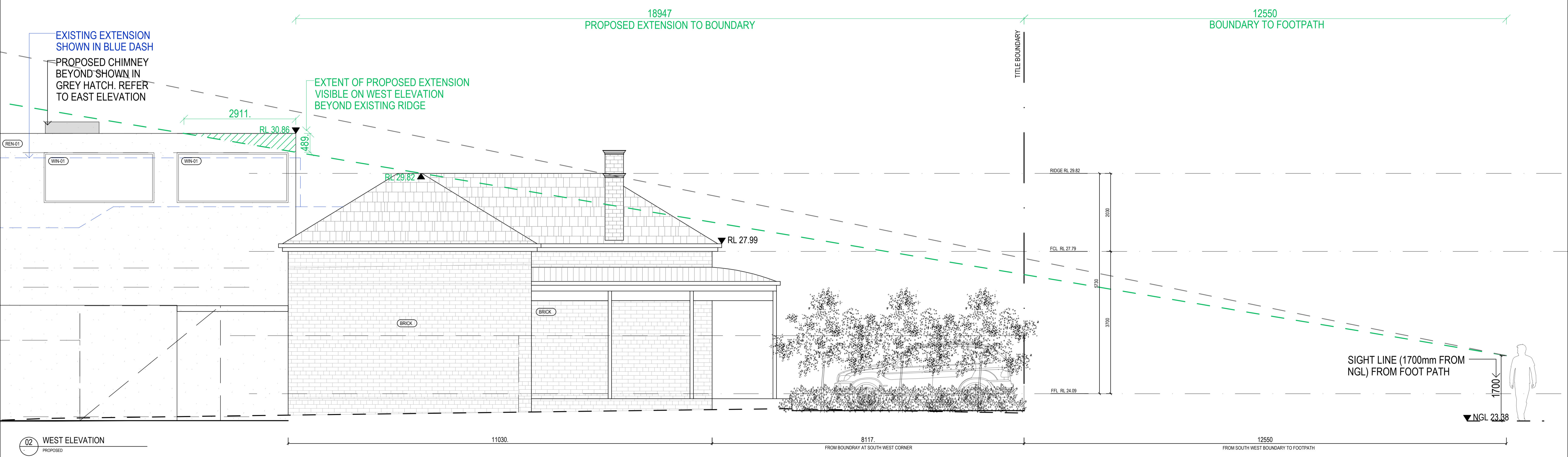
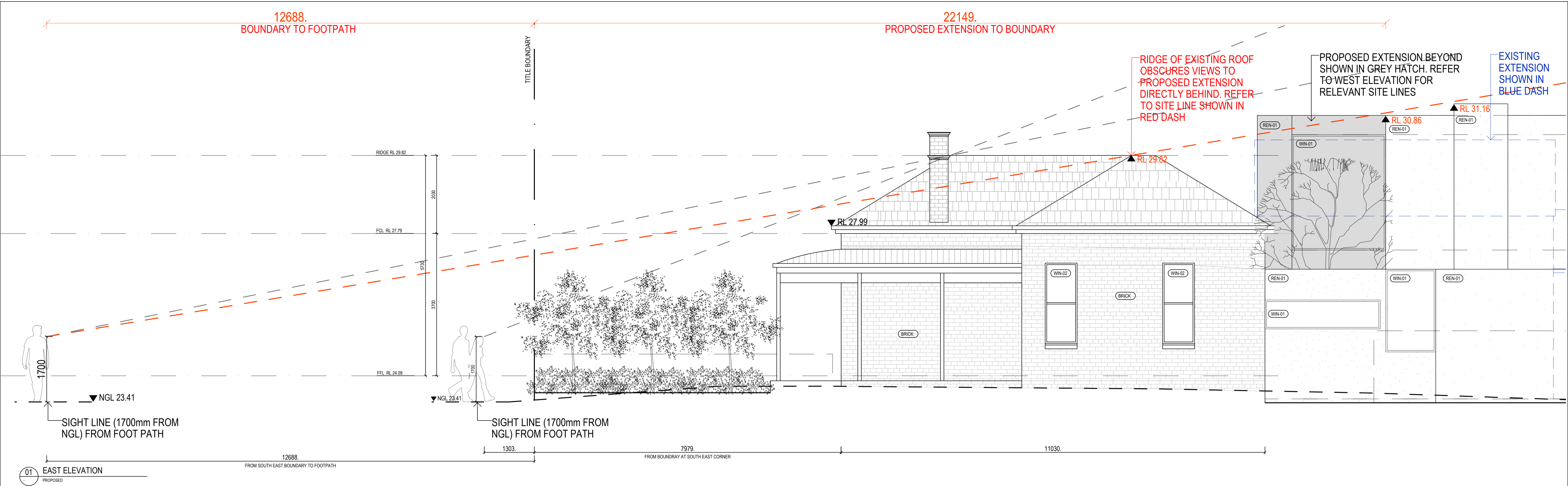
GENERAL LEGEND

[Solid Grey]	EXISTING WALL / FLOOR / ROOF
[White]	NEW WALL
[Red Dashed]	DEMOLITION
[Thin Grey]	TITLE BOUNDARY
[Blue Dashed]	OUTLINE OF EXISTING HOUSE
[SK-01]	EXISTING SKYLIGHT
[SK-02]	PROPOSED NEW SKYLIGHT
[R-01]	ROOM TAG - REFER DRAWING REFERENCED FOR FURTHER DETAILS OF THIS ROOM
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[+ RL 1000]	RELATIVE LEVEL - LEVEL RELATIVE TO AUSTRALIAN HEIGHT DATUM IN METERS
[TL-41]	SELECTED FINISH - REFER INDIVIDUAL CODES
[DP]	DOWNPIPE
[XO]	CROSS OVER
[POS]	PRIVATE OPEN SPACE

NOT FOR CONSTRUCTION

TOWN PLANNING

	MERRYLEES ARCHITECTURE MERRYLEESARCHITECTURE.COM PO BOX 60, ELSTERNWICK VIC 3185 JANE@MERRYLEESARCHITECTURE.COM T +61 (0) 405 720 330	CLIENT ANDREA BALL & JOHN DOWD	PROJECT ADDRESS 5 EVELINA RD, TOORAK	DATE 30/11/2016	DESCRIPTION ISSUED FOR TOWN PLANNING	REV -	DRAWN EG	DATE 27/04/2020	DESCRIPTION RE-ISSUED FOR TOWN PLANNING RFI	REV C	DRAWN JS	DRAWING TITLE SITE PLAN TREE REMOVAL RFI	DRAWING NUMBER SK-101	SCALE 1:100 @ A1
		BUILDER JM	DRAWN JM	DATE 20/02/2017	DESCRIPTION RE-ISSUED FOR TOWN PLANNING	REV A	DRAWN EG						REVISION C	NORTH
				DATE 26/02/2020	DESCRIPTION RE-ISSUED FOR TOWN PLANNING	REV B	DRAWN JS							



NOTE: NGLs OF FOOTPATH TO THE SOUTH OF EVELINA RD ARE AS IDENTIFIED ON THE LAND SURVEY AT THE FRONT OF 6 EVELINA RD

NOT FOR CONSTRUCTION TOWN PLANNING

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	JM	26/02/2020	RE-ISSUED FOR TOWN PLANNING	B	JS				

DRAWING TITLE
PROPOSED SITE LINES

DRAWING NUMBER
SK-101

SCALE
1:50 @ A1

REVISION

NORTH

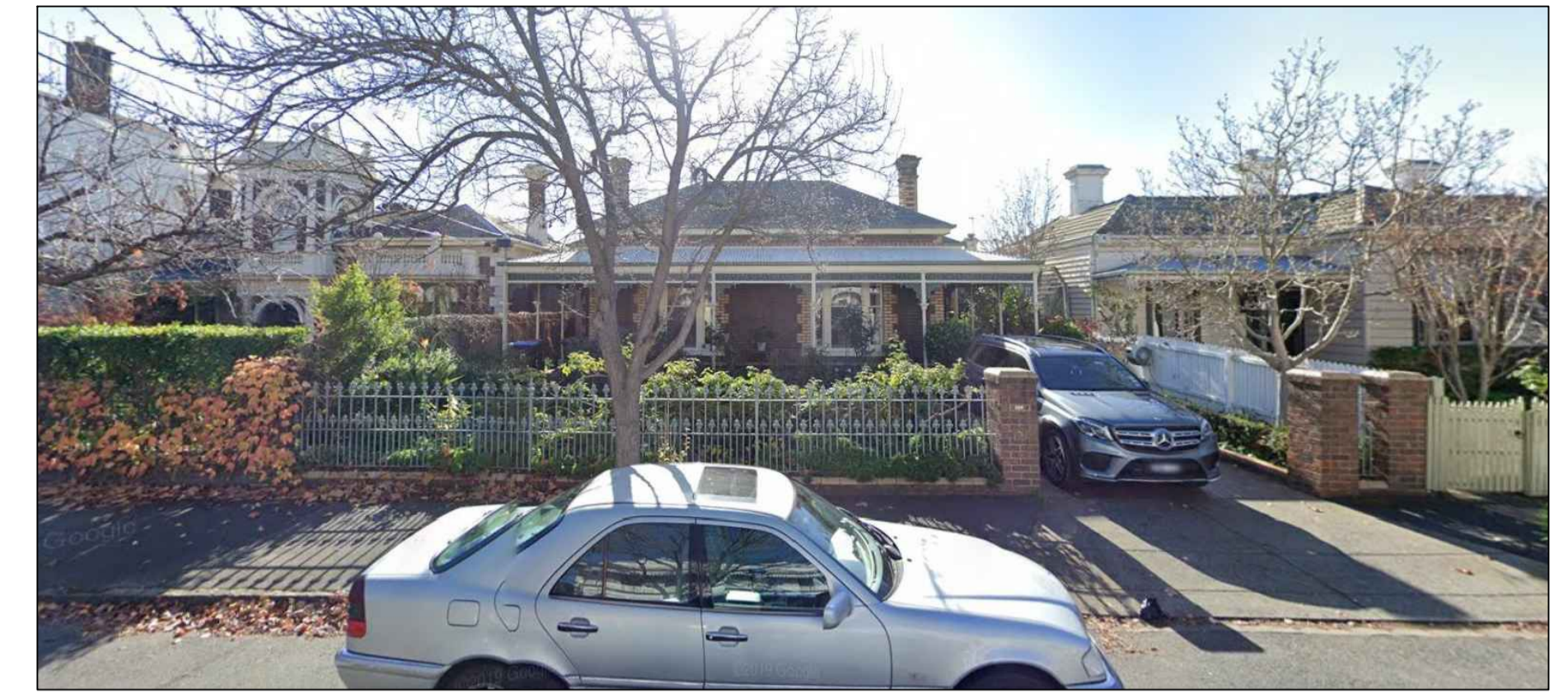
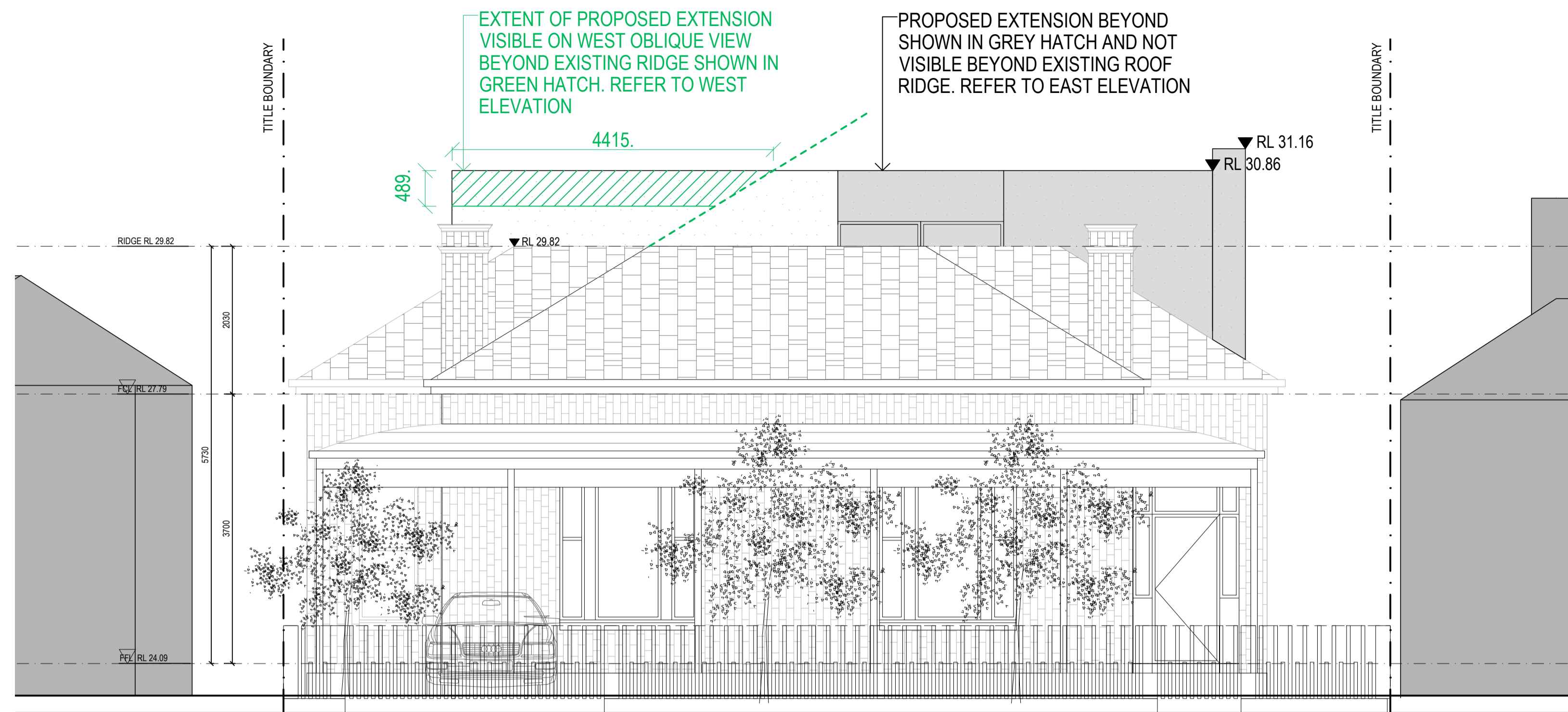
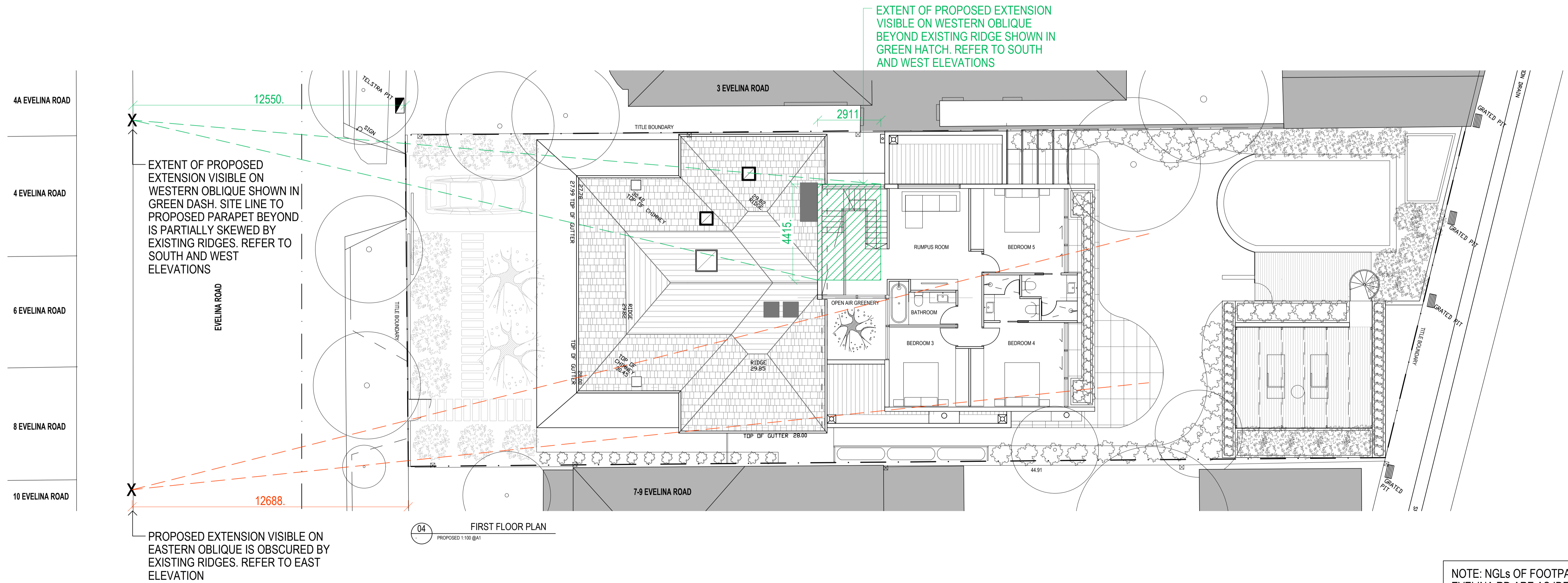


IMAGE OF EXISTING STREET VIEW. PROXIMITY OF NEIGHBOURING DWELLINGS TO EAST AND WEST BOUNDARY OF SUBJECT SITE AND LARGE STREET TREES WILL FURTHER OBSCURE VIEWS TO PROPOSED EXTENSION

03 SOUTH ELEVATION
PROPOSED



04 FIRST FLOOR PLAN
PROPOSED 1:100 @A1

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NOT FOR CONSTRUCTION TOWN PLANNING