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7 Netherlee Street, Glen Iris

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VIEW FROM ANTHONY STREET - UNIT 2

TOWNPLANNING - RFI ISSUE - REV2

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					<p>7 NETHERLEE STEERT, GLEN IRIS, VIC 3146</p>		<p>SCALE: @ A3 PROJECT No: J0XX</p>			
				<p>CLIENT HELKM PTY LTD. , LISA WASHINGTON & HEATH MOORE</p>		<p>DATE: 22-07-2020</p>	<p>DWG No: TP22</p>	<p>REV</p>	<p>1/762B HAWTHORN ROAD BRIGHTON EAST, VIC 3187 T 61 3 8525 1511 INFO@M-A.COM.AU WWW.M-A.COM.AU</p>	
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DEVELOPMENT SUMMARY	
SITE ADDRESS	7 NETHERLEE STREET. GLEN IRIS
CLIENT	HEMKM PTY. LTD.
PROPOSED PROJECT	2 x NEW SINGLE FAMILY 4 BEDROOM + (BASE)
CAR PARKING	4 CAR SPACES
ZONE	GRZ(10)
SITE AREA	717.95m ²

AREA SUMMARY	
GROUND FLOOR	381.1 m ² INCLUDES GARAGE
FIRST FLOOR	239.5 m ²

CLAUSE 55 COMPLIANCE SUMMARY	
STANDARD B8 - SITE COVERAGE	56.0%
STANDARD B9 - PERMEABILITY	34.6%
GARDEN AREA	36.4%

TP - DRAWING SCHEDULE		
SHEET NO.	SHEET NAME	REV

TP00	COVER PAGE	
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TP02	SURVEY	
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BUILDING DESIGN AND CONSTRUCTION IN ACCORDANCE WITH THE SUSTAINABLE MANAGEMENT PLAN (PREPARED BY KARIM GHOBRIAL, DATED 18/08/2015)

(CONDITION 18)

Summary and Commitments by Owner/Builder

Energy Efficiency	Units <ul style="list-style-type: none"> Energy rating assessment to be minimum 6.5 stars efficiency per each unit. Heating and cooling units in townhouses to meet minimum requirements of MEPS EER and COP 4.25. Gas central heating rating minimum 5-Star efficiency. Energy efficient electrical appliances to be within one point of the highest available energy rating. Dishwashers to be within one star from the best available on the market. Energy efficient water heaters to be used, gas instantaneous, minimum 5 stars. Solar gas hot water boosted unit on roof. External clothes line is required. To be depicted on plans. Lighting per units to be 4W/m² Energy efficient compact fluorescent lighting or building equivalent. ThinkWise products or approved equivalent. For more information, visit www.thinkwise.com.au
Material Fabric	<ul style="list-style-type: none"> Double-glazing to be used throughout. Insulation to be in accordance to minimum requirements: R2.5 for external walls. R5.0 for ceilings.
Water Efficiency	<ul style="list-style-type: none"> Toilets to be minimum 4 Star WELS rating. Basins to be minimum 5 Star WELS rating. Shower flow rate should not to exceed 6.0 l/min. To be noted on plans. Water tank of L2000 / unit to be used for irrigation and connection to toilets. To be noted on plans. Install a Media Filtration system in driveway.
Indoor Environment Quality	<ul style="list-style-type: none"> Minimise VOC materials on paints and adhesives. Solar Reflective Coatings or roof sarking per each unit.

Each dwelling to have a gas instantaneous solar gas boosted system, minimum 5 stars efficiency. By installing such a system, Hence, increasing overall energy efficiency and reducing reliance on fossil fuel from heating and cooling.

3.2 Appliances

Energy efficient appliances also required to be installed and used throughout the building as part of the base building works such as: lighting, dryers, dishwashers and refrigerators (if applicable). Each appliance is recommended to be within one point of the highest available energy rating under the Australian Government "Energy Rating" labelling system. This is in accordance to Green Star guidelines.

Minimum Energy Performance Standards (MEPS). Energy Rating (EER).

- Heating system type:** Gas central heating rating minimum 5-Star efficiency.
- Heating system options:** room/space heating per need basis to avoid unnecessary usage when unoccupied.
- Cooling system type:** air conditioning rating minimum EER 4.25 and 4.25 to bedrooms.
- Cooling system options:** room/space heating per need basis to avoid unnecessary usage when unoccupied.
- Water heater type:** Solar gas boosted hot water system with minimum 25% solar contribution.



Lighting in living areas: energy efficient LED downlights and/or compact fluorescent lighting type. SLS Series model LED P12, 12W lighting or similar.

Not to exceed 4W/m² for apartments in accordance to BCA 2012 Section 3.12.5.5. Low voltage or halogen lights Not to be used. This Code applies from May 2011. This is required to improved lighting efficiency



SITE DRAINAGE NOTE:

- ALL DOWNPIPES CONNECT TO RAINWATER TANK.
- RAINWATER TANK OVERFLOW CONNECT TO MAIN STORMWATER PIT TO DISCHARGE TO THE KERB AND CHANNEL OF NETHERLEE STREETS.
- ANY NEW OUTLET INTO THE STREET KERB AND CHANNEL MUST BE AT LEAST 500MM CLEAR OF ANY NEW OR EXISTING CROSSING. THE OUTLET MUST ALSO BE AT LEAST 2.0 METRES CLEAR OF ANY STREET TREE.
- THE DRAINAGE OF THE SITE SHALL BE BY MEANS OF A GRAVITY SYSTEM. A PUMPED SYSTEM SHALL NOT BE USED FOR ANY ROOFED, PAVED OR SURFACE AREAS. A PUMP MAY ONLY BE USED FOR AGRICULTURAL DRAINS AND SECTIONS OF BASEMENT RAMPS THAT CANNOT BE DRAINED TO THELEGAL POINT OF DISCHARGE BY GRAVITY. THE DESIGN AND CONSTRUCTION OF THE PUMPED SYSTEM MUST BE IN ACCORDANCE WITH AS/NZ 3500.3.2:1998.
- ALL INTERNAL AND EXTERNAL PIPES SHALL BE 100MM DIAMETER (MINIMUM) U.P.V.C. OR CONCRETE. F.R.C PIPES MAY BE USED IF GREATER THAN 300MM OF COVER IS TO BE PROVIDED.
- INSPECTION OPENINGS OR PITS SHALL BE PROVIDED AT ALL PIPE JUNCTIONS AND BENDS.
- PITS OR INSPECTION OPENINGS MUST BE PROVIDED TO ALLOW ACCESS TO ALL DRAINS (INCLUDING A.G. DRAINS) FOR CLEANING AND MAINTENANCE PURPOSES.
- PIT SIZES SHALL BE A MINIMUM OF 450 X 450MM (INTERNAL SIZE). PITS GREATER THAN 600MM IN DEPTH SHALL BE 600 X 600MM.
- PIPES UNDER BUILDINGS SHALL BE RUBBER RING JOINTED OR SOLVENT WELDED AND BE LAID WITHOUT BENDS OR JUNCTIONS.
- ALL SITE DRAINAGE INCLUDING ALL SURFACE RUNOFF MUST BE CONTAINED WITHIN THE SITE AND CONNECTED TO THE LAWFUL POINT OF DISCHARGE.
- ALL OTHER DRAINAGE REQUIREMENTS SHALL COMPLY WITH AS/NZS 3500.3.2:1998.

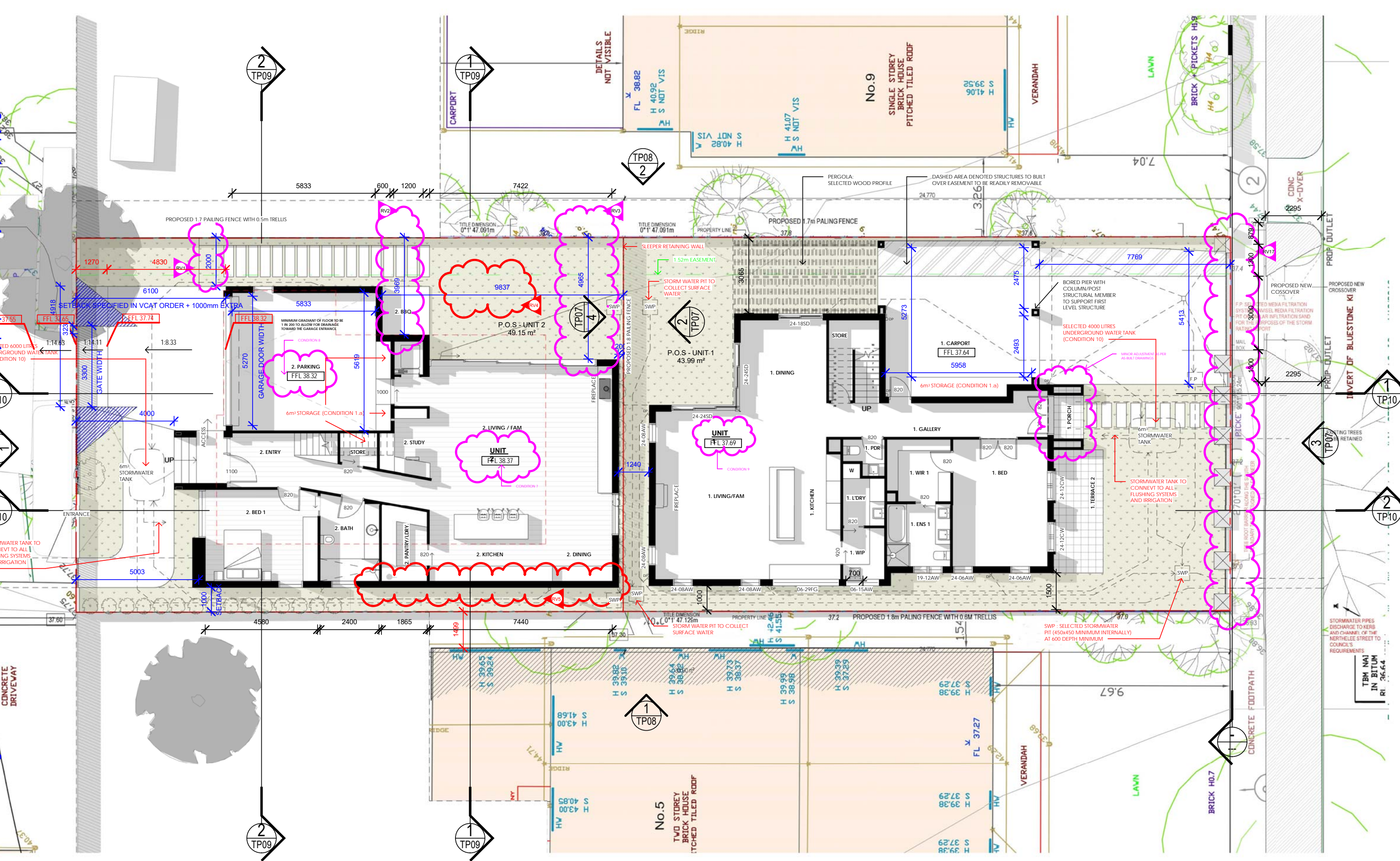
REVISIONS SCHEDULE - REV 1
26/05/20

- RV1 SETBACK REDUCED BY 165MM
- RV2 SETBACK INCREASED BY 1100MM
- RV3 SETBACK REDUCED BY 1700MM
- RV4 SETBACK INCREASED BY 4500MM
- RV5 WALL IS SETBACK 1000MM AWAY FROM BOUNDARY. (PREVIOUS WALL ON BOUNDARY)
- RV6 SETBACK DEDUCED BY 500MM
- RV7 SETBACK INCREASED BY 1350MM
- RV8 SETBACK REDUCED BY 100MM
- RV9 SETBACK IS INCREASED TO MATCH THE ORIGINALLY PERMITTED 5700MM
- RV10 SETBACK INCREASED BY 300MM
- RV11 SETBACK IS INCREASED TO 1670MM
- RV12 SETBACK IS REDUCED BY 1000MM
- RV13 REVISED NEO GEORGIAN REPRODUCTION ARCHITECTURE TO MORE CONTEMPORARY LANGUAGE.
- RV14 REVISED NEO GEORGIAN REPRODUCTION ARCHITECTURE TO MORE CONTEMPORARY LANGUAGE.
- RV15 REVISED NEO GEORGIAN REPRODUCTION ARCHITECTURE TO MORE CONTEMPORARY LANGUAGE.
- RV16 REVISED NEO GEORGIAN REPRODUCTION ARCHITECTURE TO MORE CONTEMPORARY LANGUAGE.
- RV17 REVISED FENCE DESIGN TO UNIT 1 & 2 : 1500MM TALL FENCE 50% TRANSPARENCY
- RV18 OVERSHADWING TO P.O.S IS REDUCED
- RV19 SITE COVERAGE IS REDUCED
- RV20 FULL HEIGHT WINDOW IS REMOVED AND HIGHLIGHT WINDOW IS INTRODUCED.

TOWNPLANNING - RFI ISSUE - REV2

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			<p>CLIENT</p> <p>HEMKM PTY LTD. , LISA WASHINGTON & HEATH MOORE</p>	<p>SCALE: @ A3 As indicated</p> <p>PROJECT No: JOXX</p>	<p>DATE: 22-07-2020</p> <p>DRAWN BY: Author</p>	

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1 GROUND FLOOR LAYOUT
Scale 1:100

ALL EXTERNAL WALLS TO BE INSULATED : R2.5 MINIMUM
ALL CEILINGS TO BE INSULATED : R5.0 MINIMUM

TOWNPLANNING - RFI ISSUE - REV2

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No	Date	Description
2	26-05-202	Revision 2
1	xx-xx-xxxx	Revision 1

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELMK PTY LTD., LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
GROUND FLOOR PLAN

SCALE: @ A2 1:100

DATE: 22-07-2020

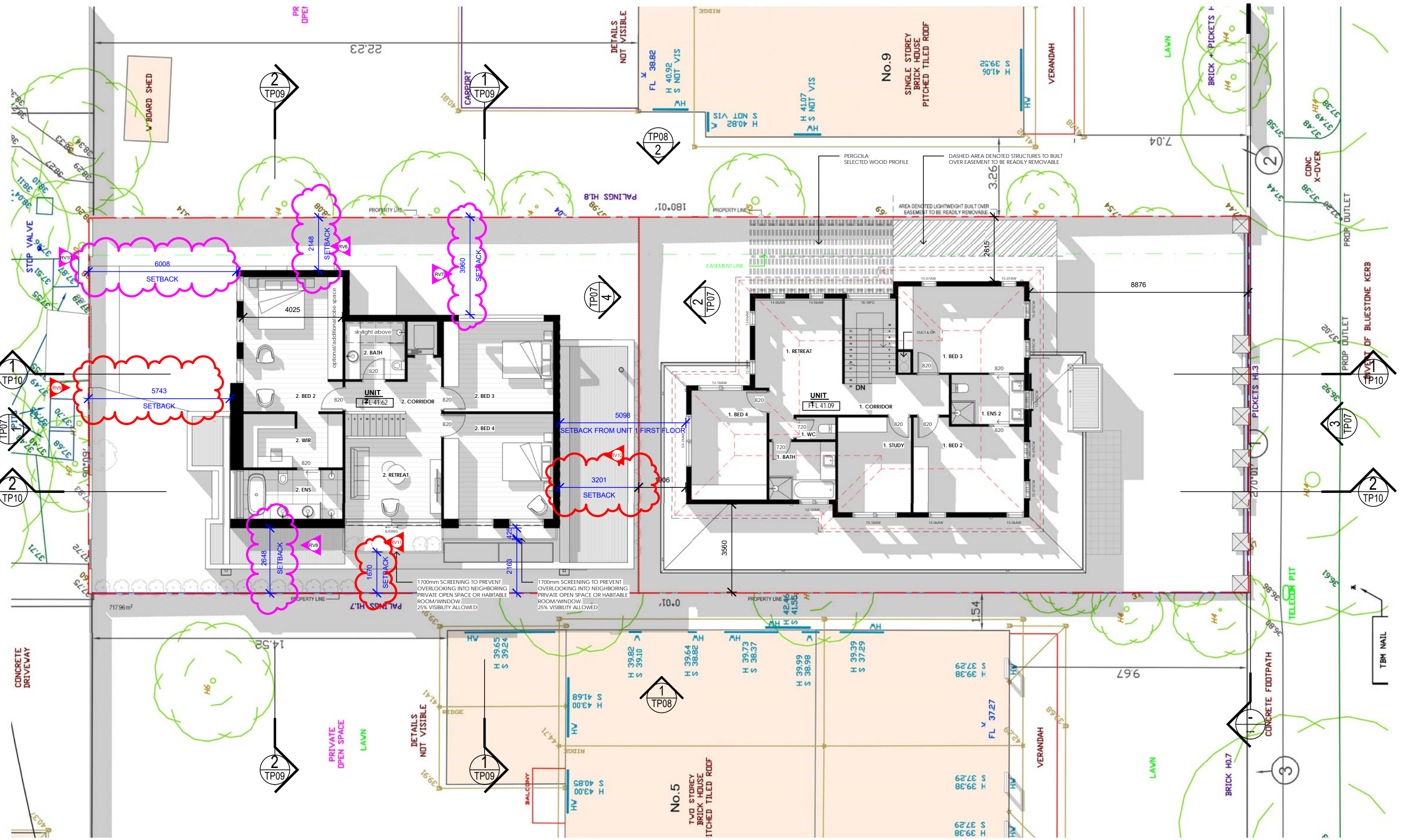
DWG No: TP04
REV: TP2

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1 FIRST FLOOR LAYOUT
Scale 1: 100

ALL EXTERNAL WALLS TO BE INSULATED : R2.5 MINIMUM
ALL CEILINGS TO BE INSULATED : R5.0 MINIMUM

TOWNPLANNING - RFI ISSUE - REV2

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1	xx-xx-xxxx	Revision 1

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELMK PTY LTD., LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
FIRST FLOOR PLAN

SCALE: @ A2 1: 100

DATE: **22-07-2020**

DRAWN BY: Author **TP05**

PROJECT No: **J0XX**

DWG No: **TP2**

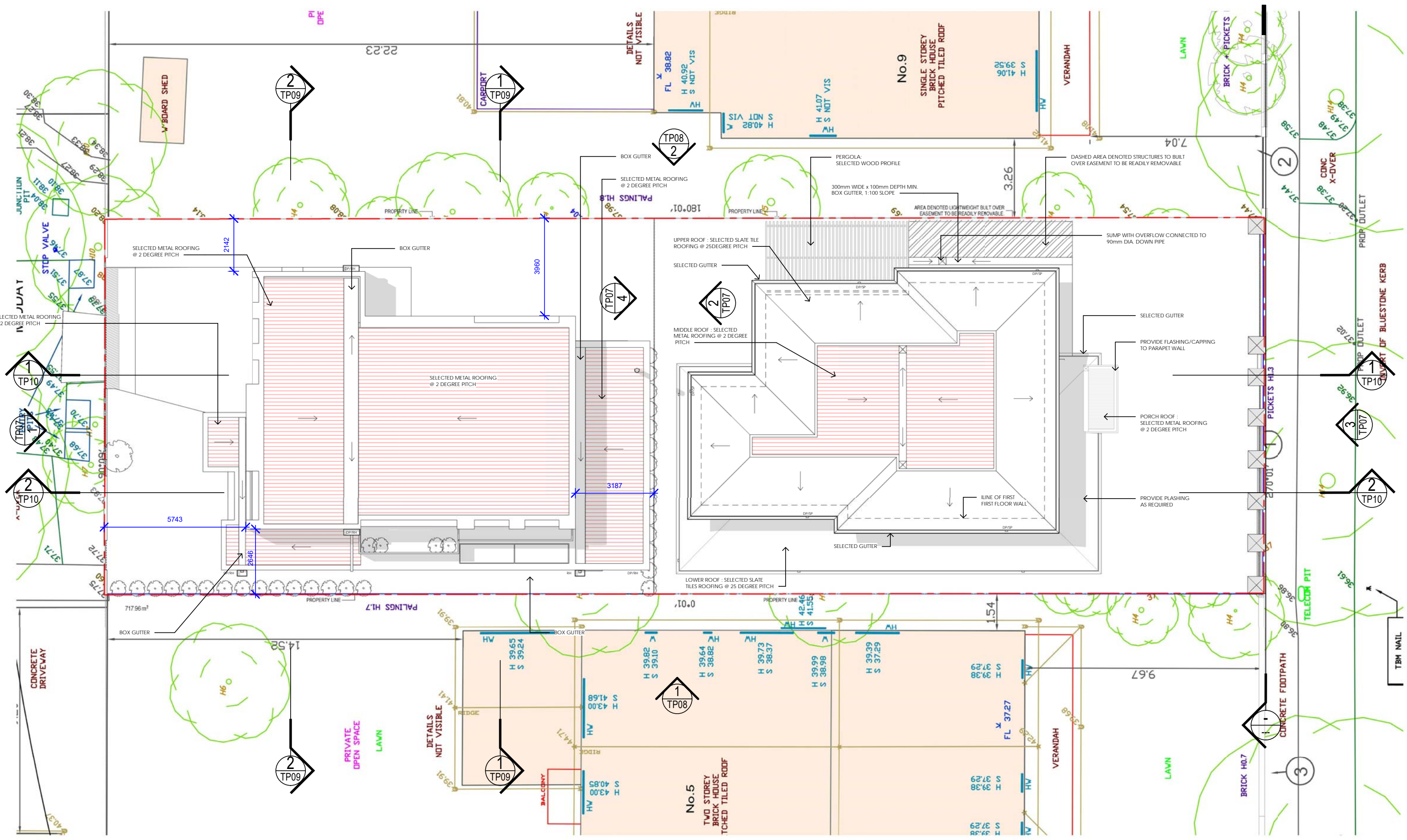
REV

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1 ROOF PLAN
Scale 1 : 100

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No	Date	Description

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELMK PTY LTD., LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
ROOF PLAN

SCALE: @ A2 1 : 100

DATE: 22-07-2020

DRAWN BY: Author

PROJECT No. J0XX

DWG No: TP06

REV

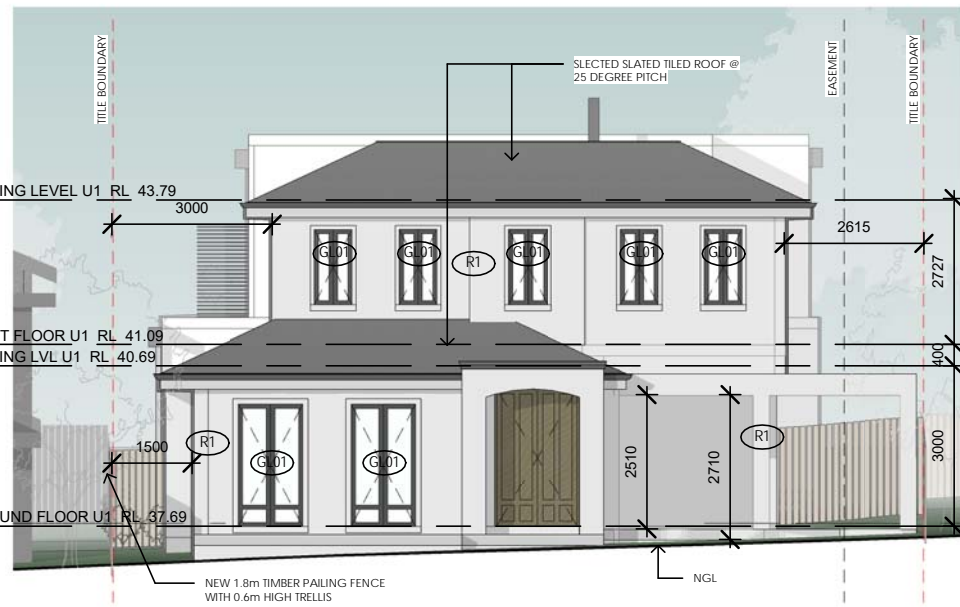
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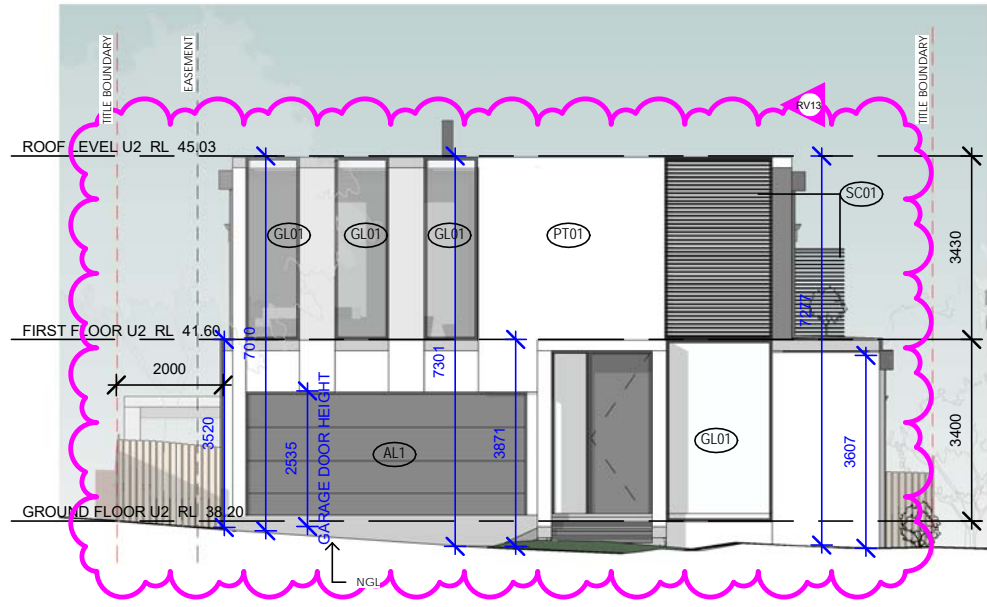
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3 SOUTH ELEVATION - UNIT 1
TP04 Scale 1 : 100



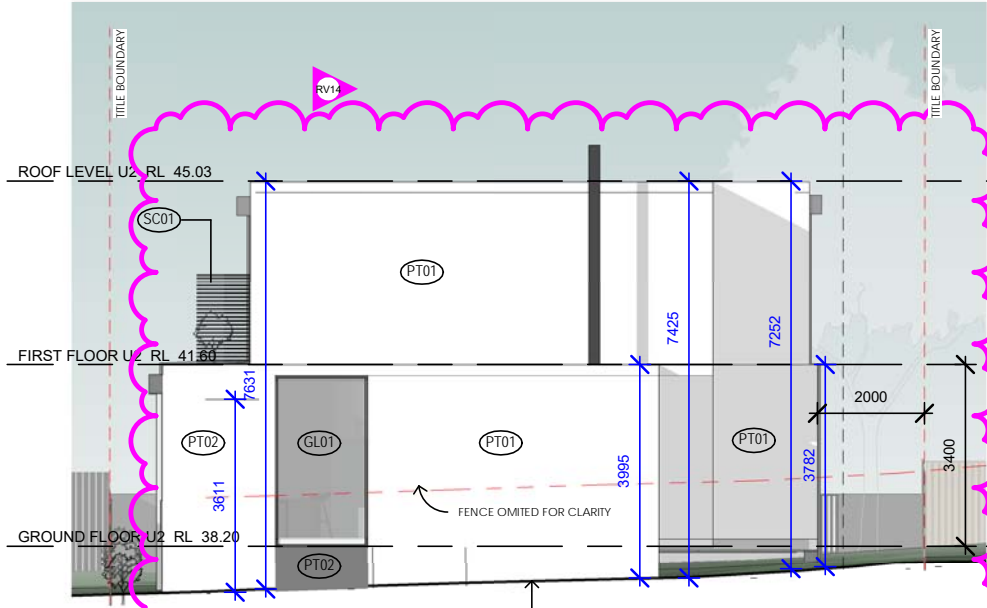
1 NORTH (FRONT) ELEVATION - UNIT 2
TP04 Scale 1 : 100



5 SOUTH ELEVATION - UNIT 1 WITH FENCE
Scale 1 : 100



4 NORTH ELEVATION - UNIT 1
TP04 Scale 1 : 100



2 SOUTH-WEST ELEVATION - UNIT 2
TP04 Scale 1 : 100



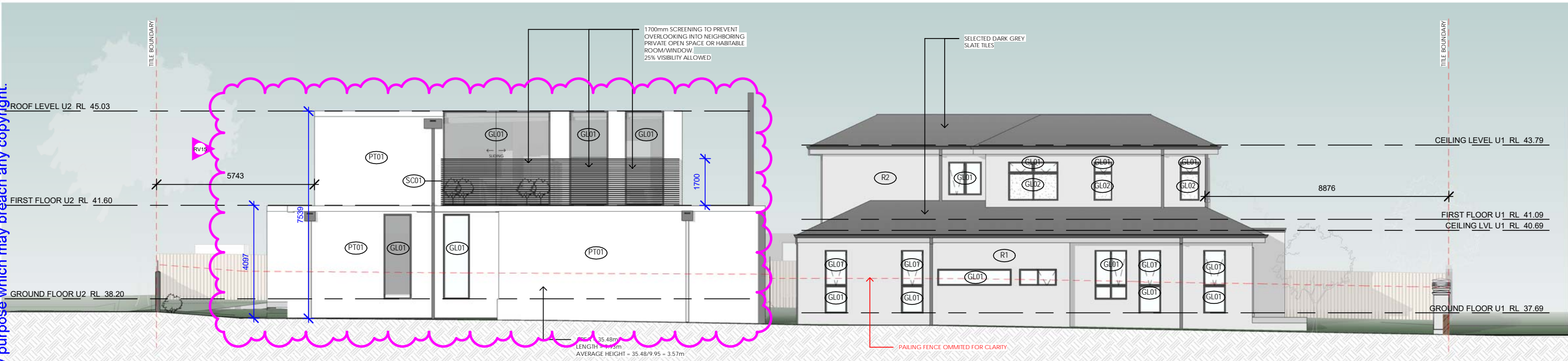
6 NORTH ELEVATION - UNIT 2 WITH FENCE
Scale 1 : 100

MATERIAL LEGEND			
GL01	DOUBLE GLAZED CLEAR WINDOW	R1	RENDER ON MASTER FOAM; DULUX PUPPY OR SIMILAR
GL02	DOUBLE GLAZED OPAQUE WINDOW	R2	RENDER ON MASTER FOAM; DULUX BEDBOX OR SIMILAR
PT01	PLASTER & PAINT FINISH 1	DOWNPIPES: SELECTED MID-DARK BROWN ANODISED ALUMINIUM	
PT02	PLASTER & PAINT FINISH 2	FASCIA: DULUX PUPPY OR SIMILAR	
SC01	METAL SCREENING		
BR01	BRICK VENEER FINISH		
AL1	ALUMINIUM GARAGE DOOR		

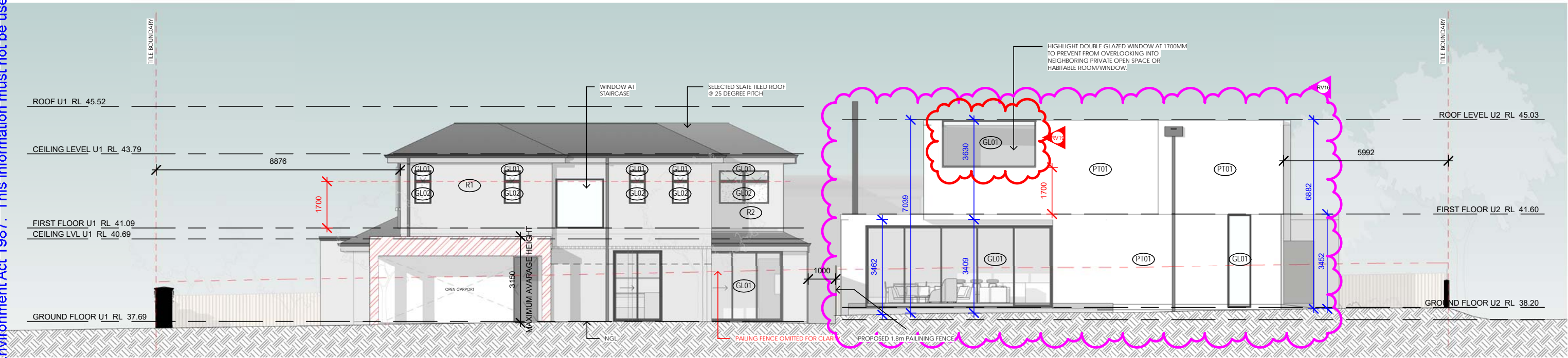
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1 NORTH-WEST ELEVATION
TP04 Scale 1 : 100



2 SOUTH-EAST ELEVATION
TP04 Scale 1 : 100

MATERIAL LEGEND	
(GL01) DOUBLE GLAZED CLEAR WINDOW	(R1) RENDER ON MASTER FOAM; DULUX PUPPY OR SIMILAR
(GL02) DOUBLE GLAZED OPAQUE WINDOW	(R2) RENDER ON MASTER FOAM; DULUX BEDBOX OR SIMILAR
(PT01) PLASTER & PAINT FINISH 1	DOWNPIPES: SELECTED MID-DARK BROWN ANODISED ALUMINIUM
(PT02) PLASTER & PAINT FINISH 2	FASCIA: DULUX PUPPY OR SIMILAR
(SC01) METAL SCREENING	
(BR01) BRICK VENEER FINISH	
(AL1) ALUMINIUM GARAGE DOOR	

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PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELM PTY LTD., LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
ELEVATIONS

SCALE: @ A2 As indicated PROJECT No: J0XX

DATE: 22-07-2020 DWG No: REV
DRAWN BY: Author TP08 TP2

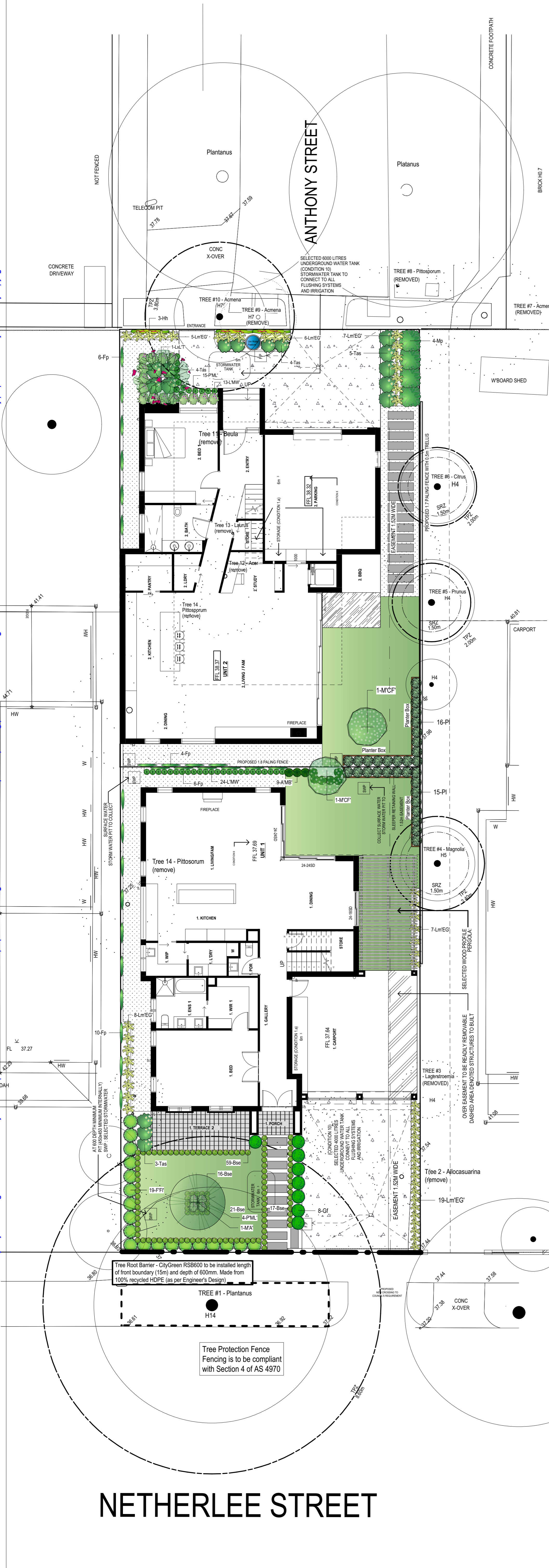
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LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
Site preparation to be carried out under suitable conditions and in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden bed and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. If gypsum is required, this is to be distributed and cultivated into the sub-grade as per the manufacturer's instructions.

Weeds are to be removed prior to sub-grade preparation, top-soiling and planting.

SOIL PREPARATION:
Imported topsoil is to be supplied by an approved supplier to a depth of approximately 150-300mm (as required) for garden beds. Do not spread in muddy conditions. The topsoil is to be a light to medium friable loam (capable of being compressed into a ball by hand when moist yet can be broken apart immediately after). It's PH will be 6.0 - 7.0 and free from perennial weeds and building rubble. The finished top level after settlement should be 75mm below the edging level to allow for mulch. Imported topsoil for lawn areas is to be supplied to a depth of approximately 100mm (or as required).

TIMBER EDGING:
Timber edging is to be installed to separate all lawn, planting areas and hillyside topping / pebble areas. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.

PLANTS AND PLANTING:
Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed. When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be teased outwards if roots are matted in pot. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered.

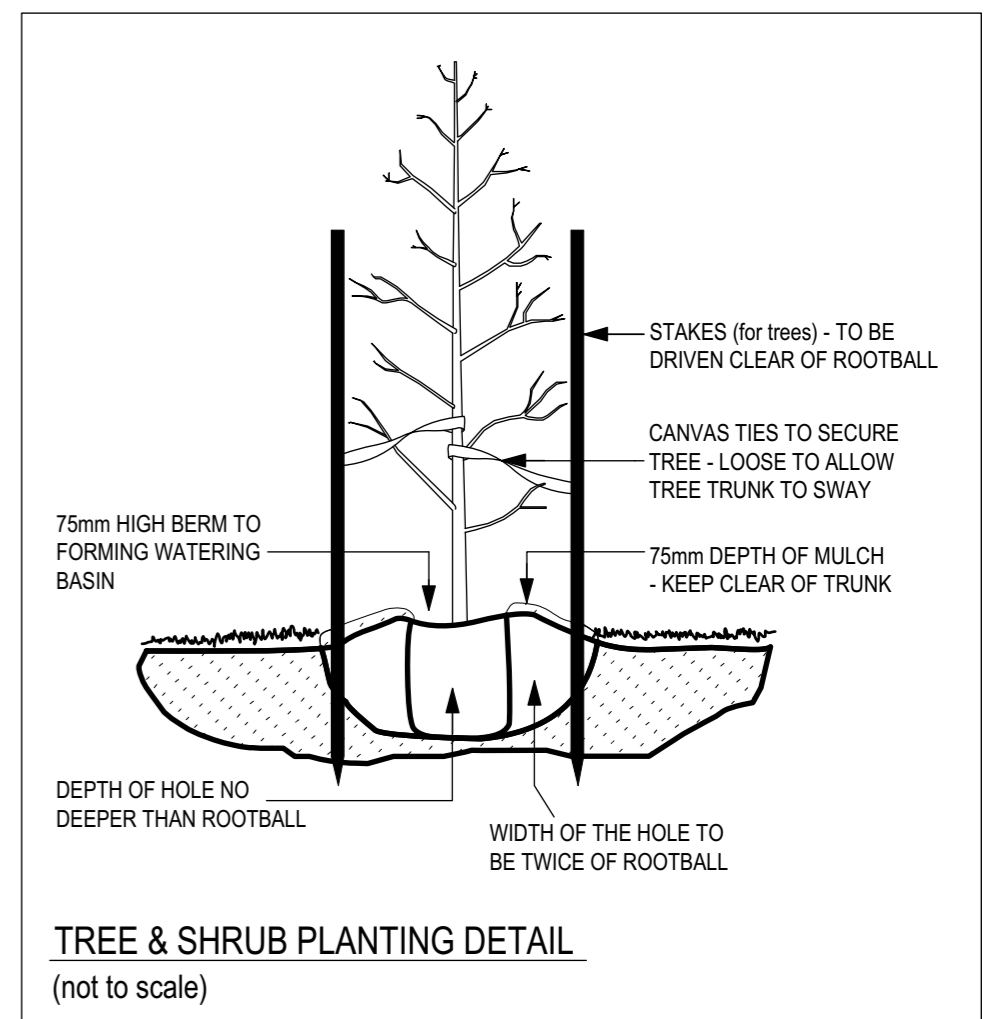
Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are tight enough to support the trees in windy conditions but loose enough to simulate good tree growth and development. The tree ties must not injure tree bark or restrict tree growth for at least the first three years of tree growth.

A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately.

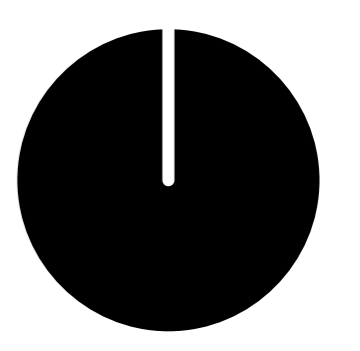
A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

IRRIGATION:
An in-ground automatic drip irrigation system is to be installed to water all planting areas.

DRAINAGE:
Surface and sub-surface drainage is to be specified by a certified consulting engineer.



PLANTING SCHEDULE						
	ID	Qty	Common Name	Botanical Name	Height x Width @ Maturity (m)	Pot Size @ Install (cm)
Trees						
	LxLT'	1	Crepe Myrtle	Lagerstroemia indica X L. fauriei 'Tuscarora'	5 x 3	40 - min.2m @ installation
	MA'	1	Magnolia	Magnolia 'Alta'	8 x 3	40 - min.2m @ installation
Shrubs & Groundcovers						
	Bse	113	Box Hedge	Buxus sempervirens	0.3 x 0.3 hedged	14
	FF'	19	Hedging Ficus	Ficus 'Flash'	2.5 x 1.0	20
	Gf	8	Gardenia	Gardenia florida	1.0 x 1.0	20
	MCF'	2	Michelia	Michelia 'Cream Fairy'	3.5 x 2	25
	Mp	4	Orange Jessamine	Murraya paniculata	2.5 x 1.0 hedged	20
	P'ML'	19	Mona Lavender	Plectranthus 'Mona Lavender'	0.7 x 0.6	14
	PI	31	Portuguese Laurel	Prunus lusitanica	1.5 x 0.5 hedged	20
	Tas	16	Groundcover Jasmine	Trachelospermum asiaticum	0.1 x 1.0	14
Grasses & Climbers						
	A'MB'	9	NZ Rock Lily	Arthropodium 'Matapouri Bay'	0.5 x 0.5	14
	Fp	26	Creeping Fig	Ficus pumila	Climber	14
	L'MW'	37	Lilyturf	Liriope 'Monroe White'	0.3 x 0.3	14
	Lm'EG'	52	Evergreen Giant Lilyturf	Liriope muscari 'Evergreen Giant'	0.6 x 0.6	14
	Hh	3	Atlantic Ivy	Hedera hibernica	Climber	14



- E 03/20 Rev 4
- D 08/16 Rev 3
- C 05/16 Rev 2
- B 04/16 Rev 1
- A 08/15 Design 1

NO. DATE NOTE
THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.

Client
Mrs Lisa Washington

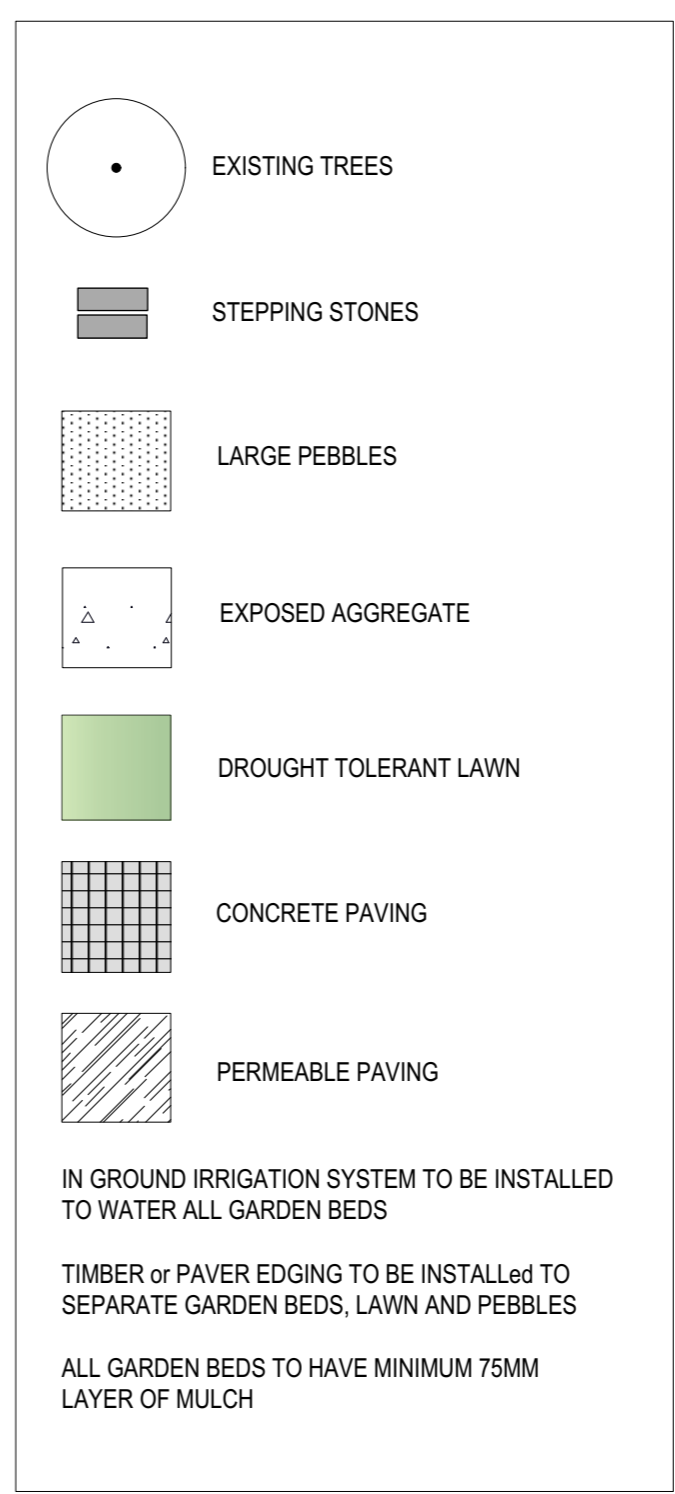
Address
**7 Netherlee Street
Glen Iris**

Project
Two Unit Development

Drawing
Landscape Plan

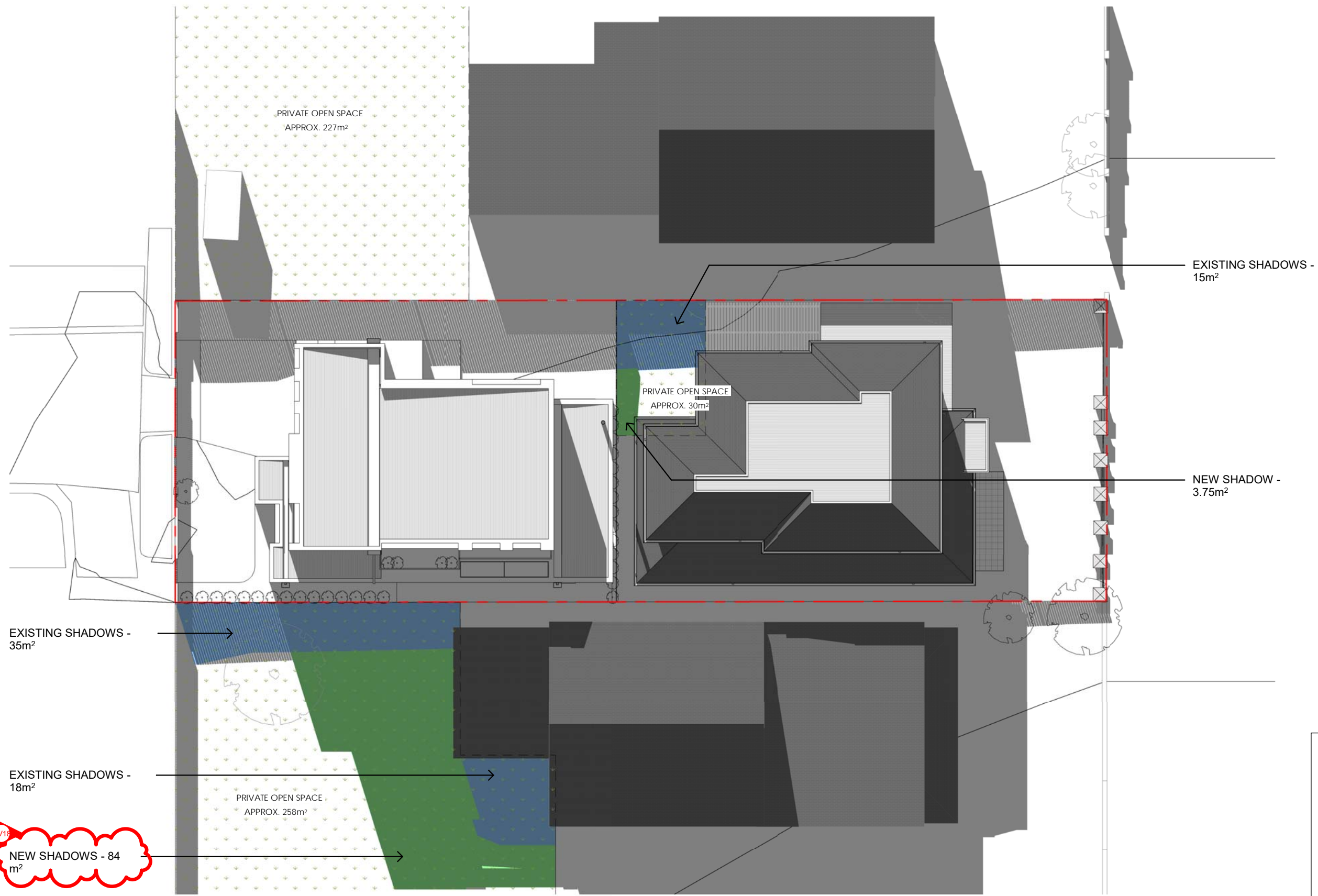
Zenith Concepts
Landscape Design
171 Abbott Street, Sandringham
PO Box 9087
P 03 9598 2129
M 0411 399 937
E landscapes@zenithconcepts.com

Scale 1:100	
Date March 2020	
Rev. E	Dwg No. Sheet 1 of 1 (A1)



NETHERLEE STREET

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- NEIGHBOURING PRIVATE OPEN SPACE
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1 SHADOW DIAGRAM - 22 SEP 9AM
Scale 1 : 200

TOWNPLANNING - RFI ISSUE - REV2

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No	Date	Description
1	26-05-2020	Revision 2

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELM PTY LTD. , LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
SHADOW DIAGRAMS - 9AM

SCALE: @ A3 As indicated PROJECT No: JOXX

DATE: 22-07-2020 DWG No: REV

DRAWN BY: Author **TP11** REV 1

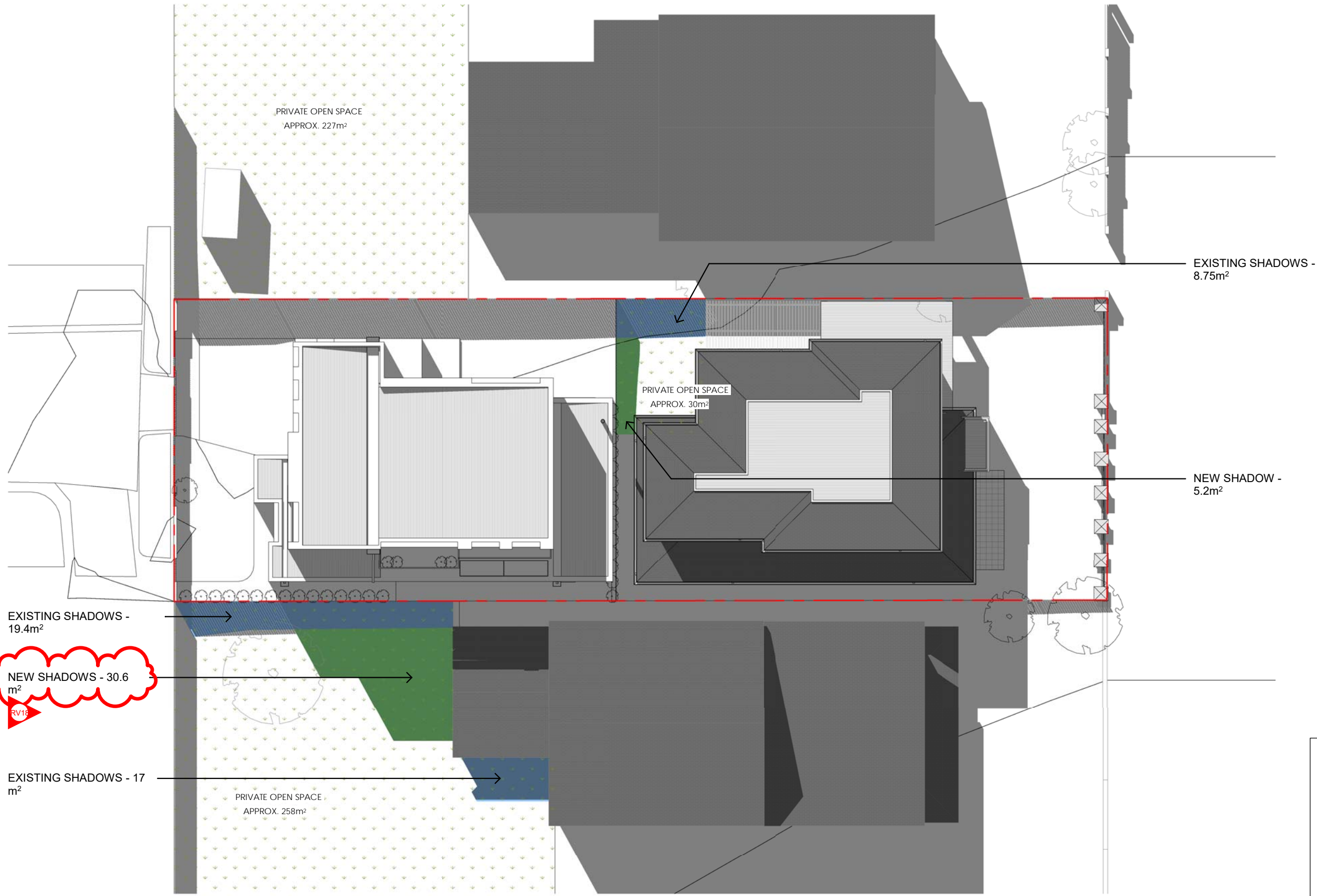


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1 SHADOW DIAGRAM - 22 SEP 10AM
Scale 1 : 200

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No	Date	Description
1	26-05-2020	Revision 2

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
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DRAWING TITLE
SHADOW DIAGRAMS - 10AM

SCALE: @ A3 As indicated PROJECT No: JOXX

DATE: 22-07-2020 DWG No: REV

DRAWN BY: Author **TP12** REV 1

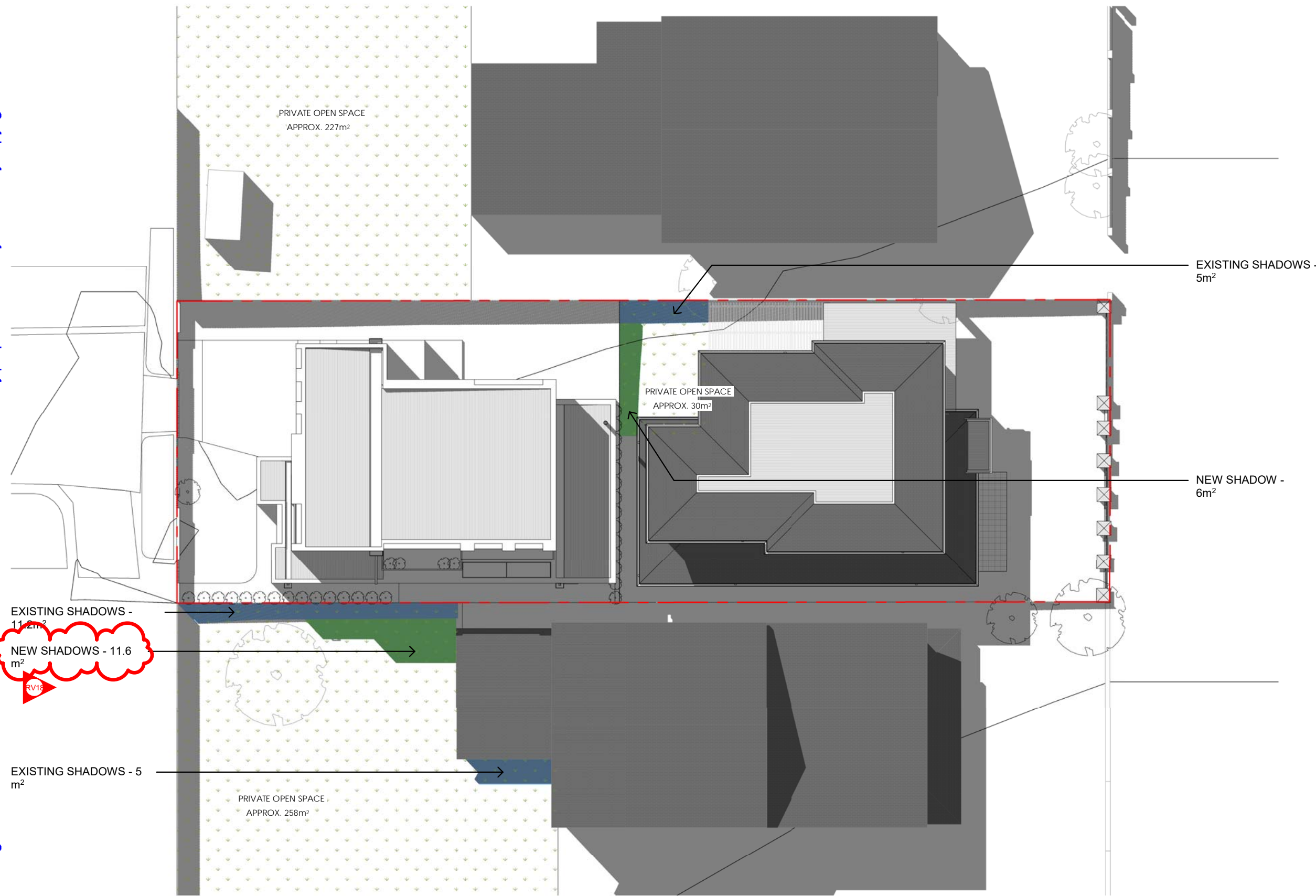


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1 SHADOW DIAGRAM - 22 SEP 11AM
Scale 1 : 200

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No	Date	Description
1	26-05-2020	Revision 2

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

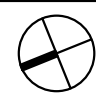
CLIENT
HELM PTY LTD. , LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
SHADOW DIAGRAMS - 11AM

SCALE: @ A3 As indicated PROJECT No: JOXX

DATE: 22-07-2020 DWG No: REV

DRAWN BY: Author **TP13** REV 1

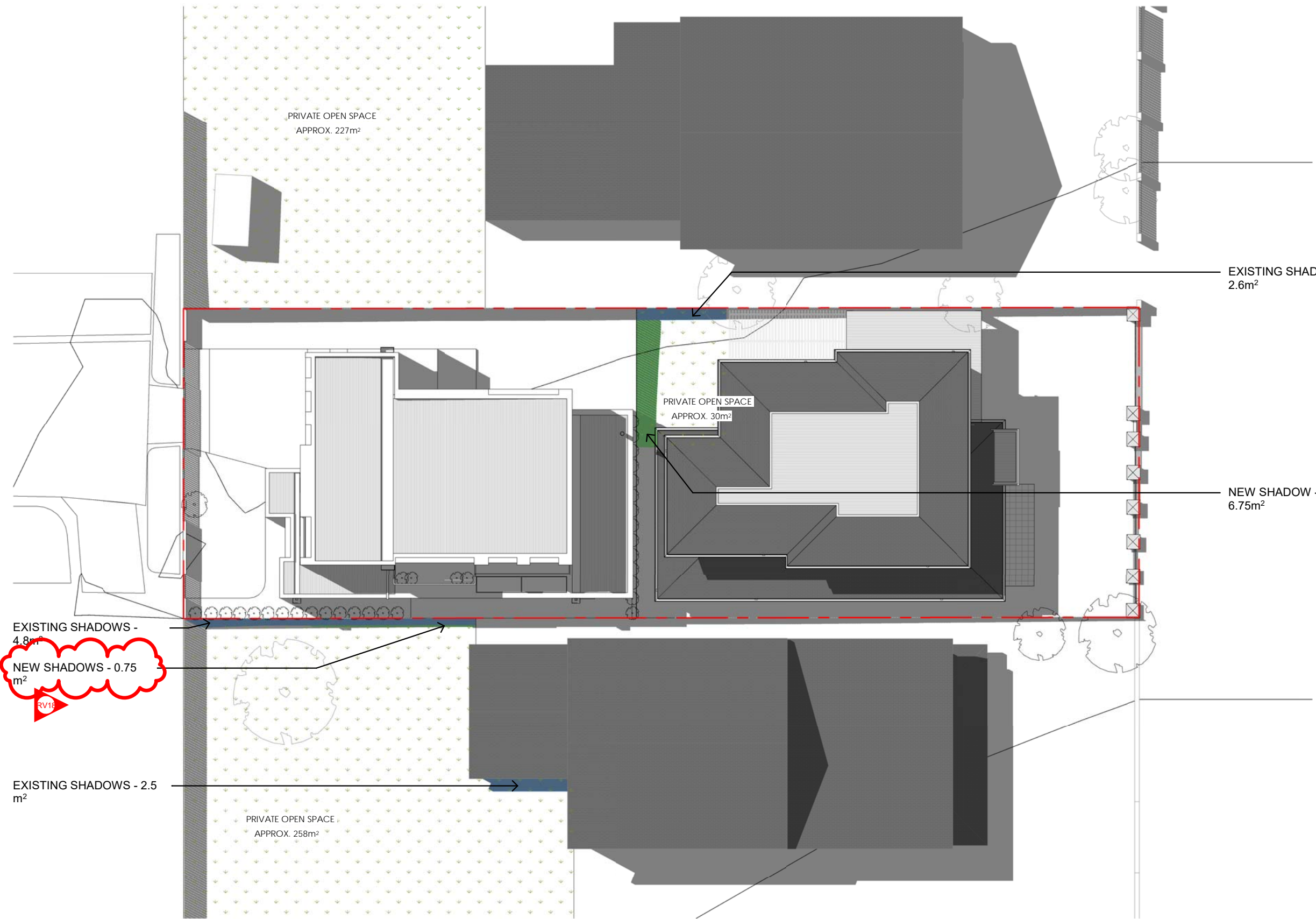


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1 SHADOW DIAGRAM - 22 SEP 12PM
Scale 1 : 200

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No	Date	Description
1	26-05-2020	Revision 2

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

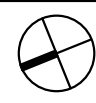
CLIENT
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DRAWING TITLE
SHADOW DIAGRAMS - 12PM

SCALE: @ A3 As indicated PROJECT No: JOXX

DATE: 22-07-2020 DWG No: REV

DRAWN BY: Author **TP14** REV 1

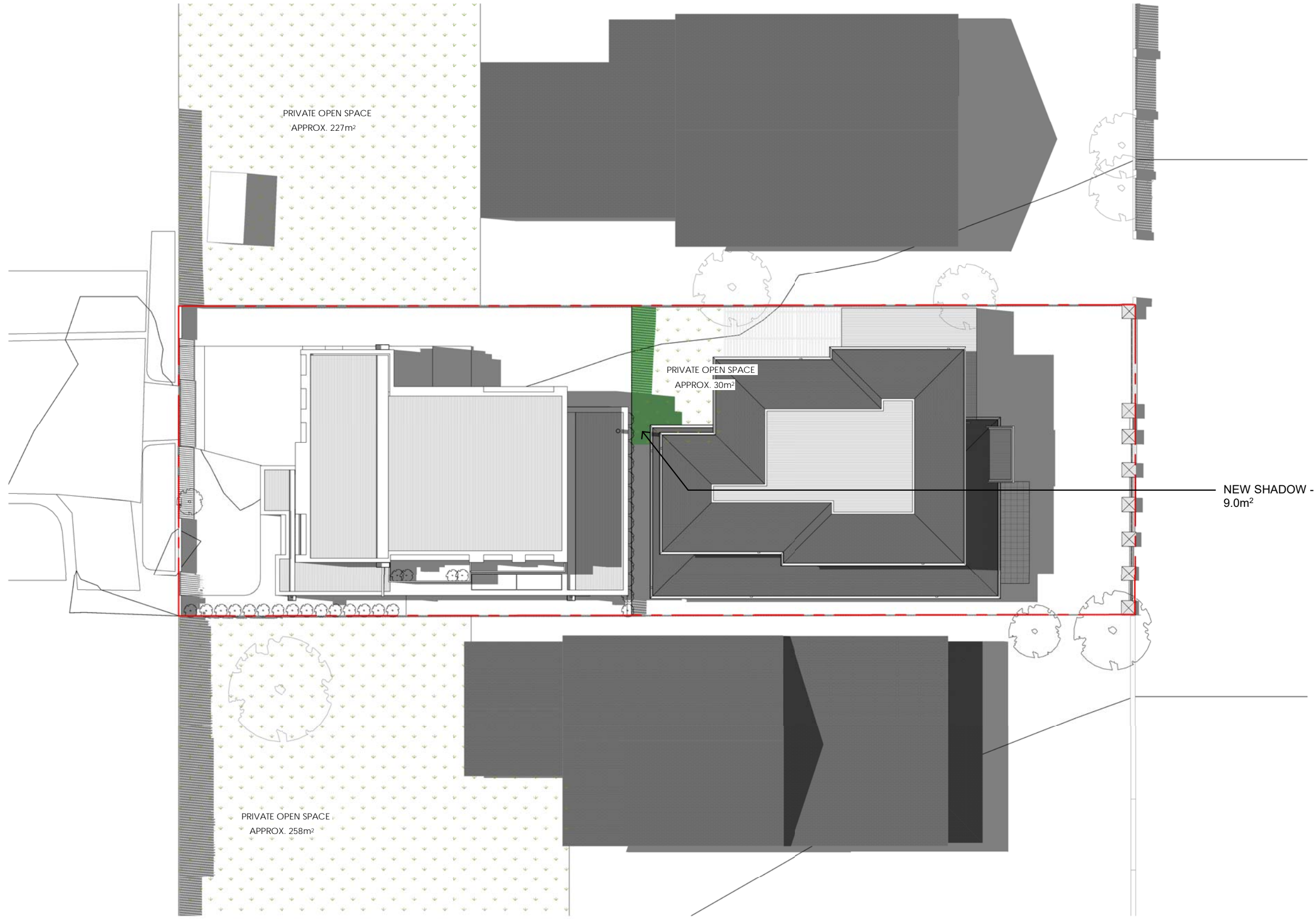


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1 SHADOW DIAGRAM - 22 SEP 1PM
Scale 1 : 200

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No	Date	Description

PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

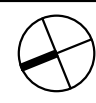
CLIENT
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DRAWING TITLE
SHADOW DIAGRAMS - 1PM

SCALE: @ A3 As indicated PROJECT No: J0XX

DATE: 22-07-2020 DWG No: REV

DRAWN BY: Author **TP15**

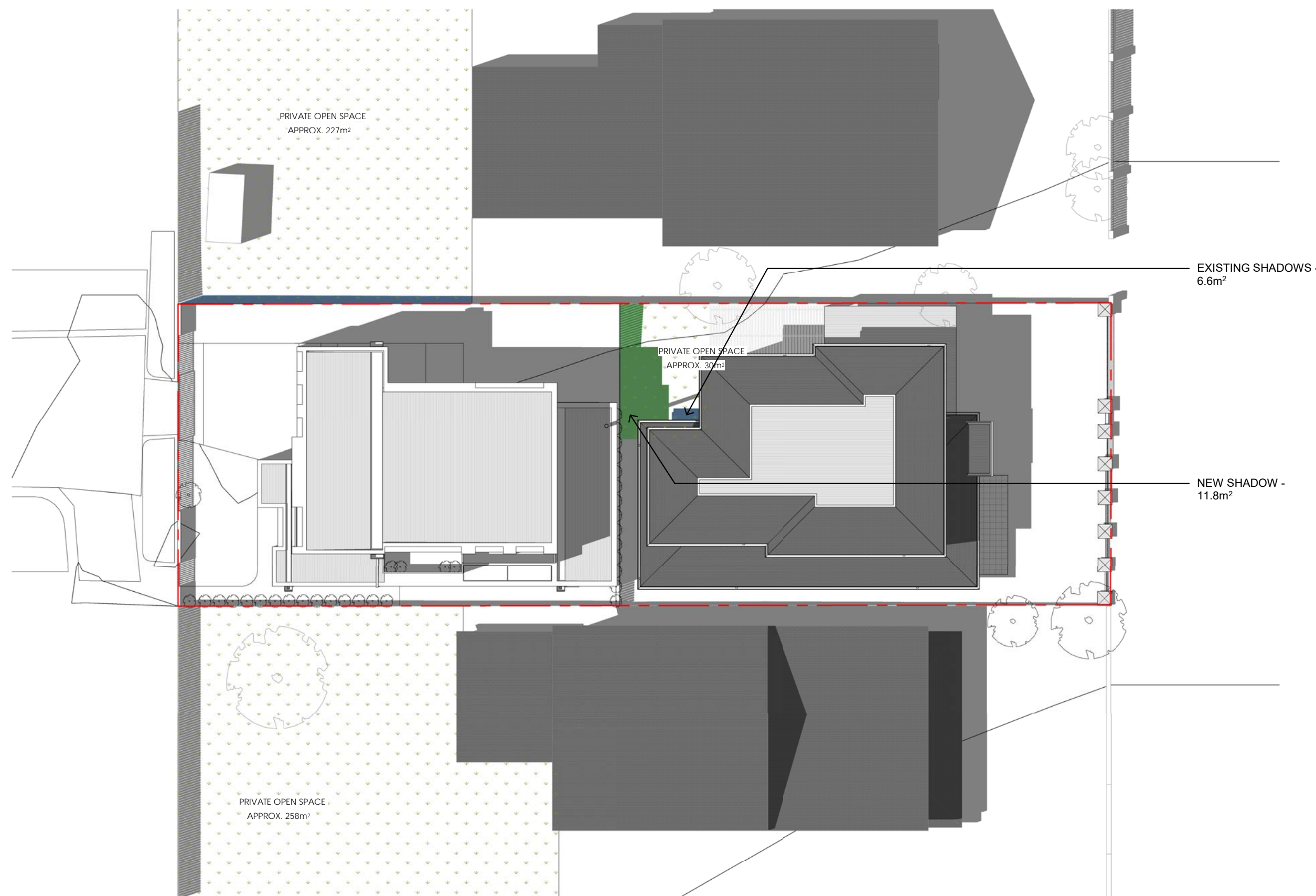


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1 SHADOW DIAGRAM - 22 SEP 2PM
Scale 1 : 200

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No	Date	Description

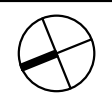
PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
HELM PTY LTD. , LISA WASHINGTON & HEATH MOORE

DRAWING TITLE
SHADOW DIAGRAMS - 2PM

SCALE: @ A3 **As indicated** PROJECT No: J0XX

DATE: **22-07-2020** DWG No: REV
DRAWN BY: **Author**

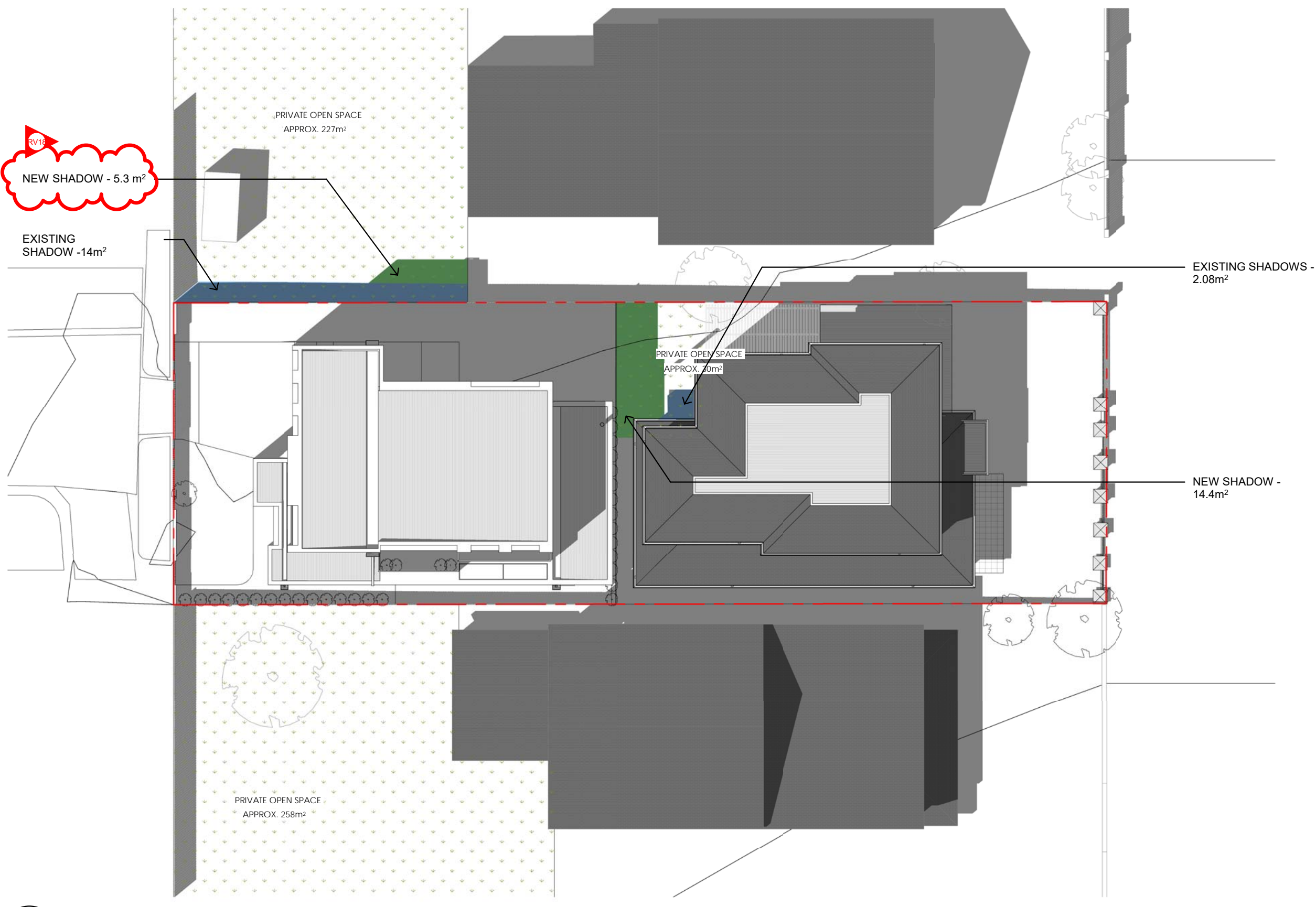


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1 SHADOW DIAGRAM - 22 SEP 3PM
Scale 1 : 200

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No	Date	Description
1	26-05-2020	Revision 2

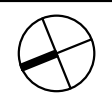
PROJECT TITLE
7 NETHERLEE STREET
7 NETHERLEE STEERT, GLEN IRIS, VIC 3146

CLIENT
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DRAWING TITLE
SHADOW DIAGRAMS - 3PM

SCALE: @ A3 As indicated PROJECT No: JOXX

DATE: 22-07-2020 DWG No: REV
DRAWN BY: Author TP17 REV 1

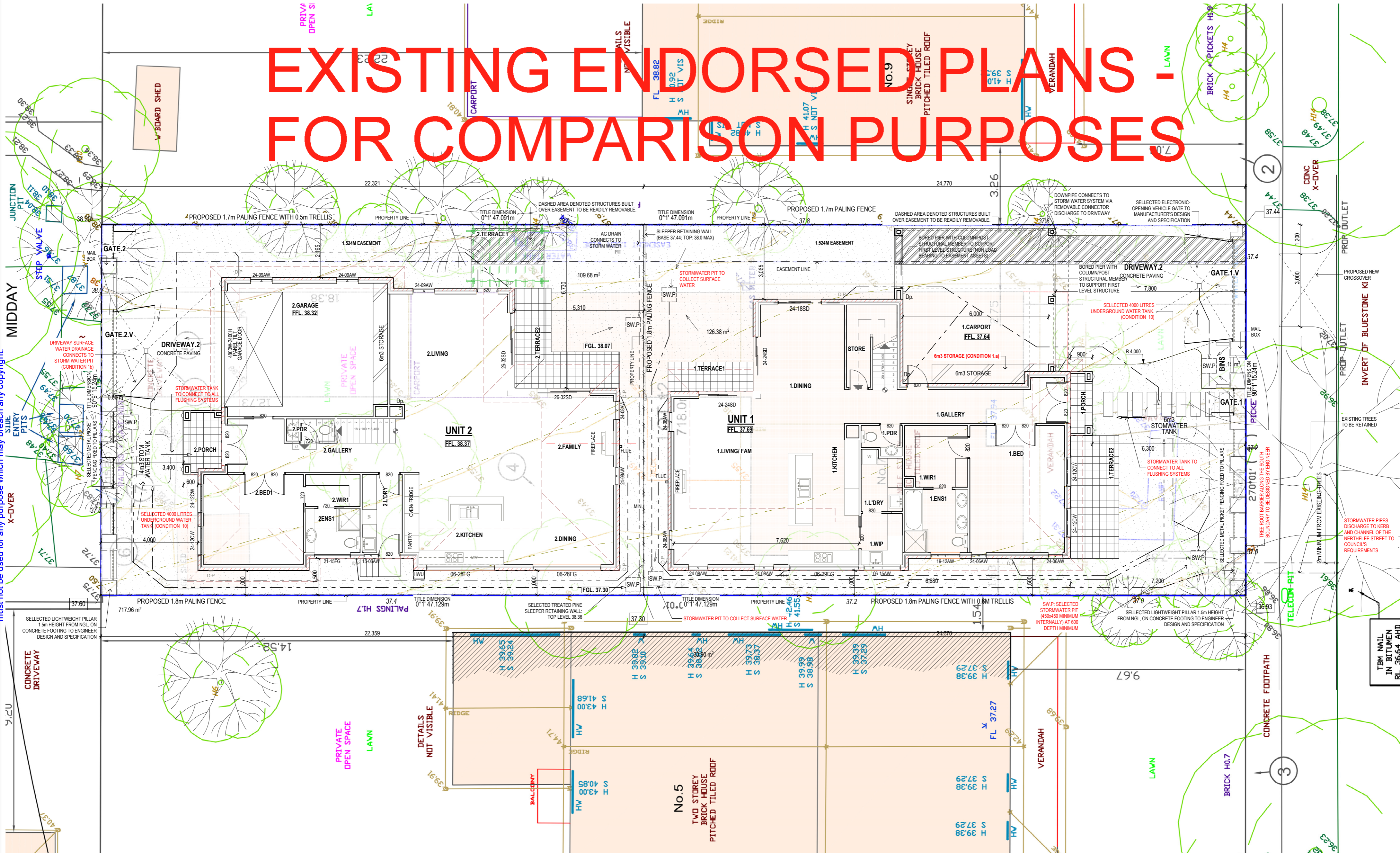


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EXISTING ENDORSED PLANS - FOR COMPARISON PURPOSES



AMENDED PLANS TO TOWN PLANNING PERMIT

UNIT 1&2: AMENDED GROUND FLOOR PLAN
SCALE 1:100

Revisions	Date	Revisions	Date
1	AMENDED TP DRAWINGS UPDATED 29/4/17	10	
2	AMENDED TP DRAWINGS UPDATED 15/05/17	11	
3	AMENDED TP DRAWINGS UPDATED 31/05/17	12	
4		13	
5		14	
6		15	
7		16	
8		17	
9		18	

ASSURED design
Registered Building Practitioner DP-AD 41315
Binh: 0415098982 | tbinh.arch@gmail.com

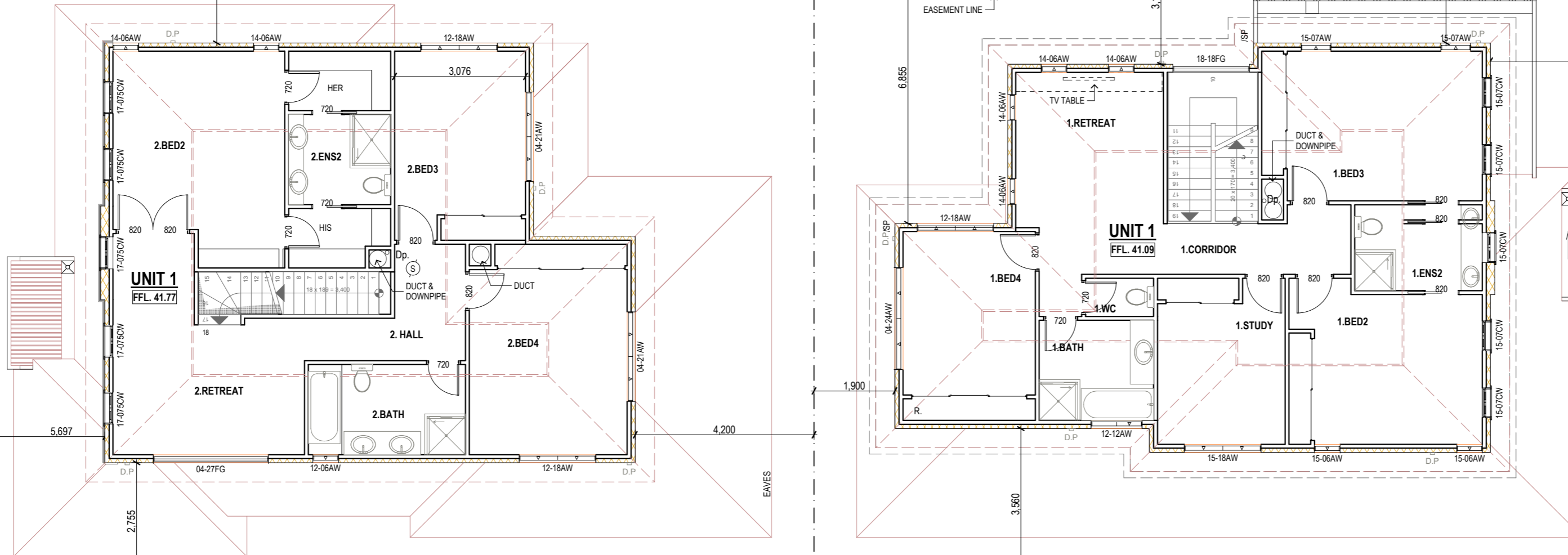
Client	HELMK Pty Ltd	Issue date	384 - 31/05/2017	Printed in	31/05/2017, 4:09 PM
Project	TWO NEW DWELLINGS	Status	TOWN PLANNING		
Address:		Project number	1616	Scale	1:100 @A2
Drawing name	AMENDED GROUND FLOOR PLAN	Drawn	KD	Checked	BN
		Drawing number			A.TP.2

This plan supersedes corresponding sheet endorsed on 1/12/2016

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Endorsed as part of Permit No. 0759/15 sheet 2 of 8 on 25/08/2017

EXISTING ENDORSED PLANS - FOR COMPARISON PURPOSES



UNIT 1&2: FIRST FLOOR PLAN
SCALE 1:100

AMENDED PLANS TO TOWN PLANNING PERMIT

Revisions	Date	Revisions	Date
1	AMENDED TP DRAWINGS UPDATED 29/4/17	10	
2	AMENDED TP DRAWINGS UPDATED 15/05/17	11	
3	AMENDED TP DRAWINGS UPDATED 31/05/17	12	
4		13	
5		14	
6		15	
7		16	
8		17	
9		18	

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Client	HELMK Pty Ltd	Issue date	384 - 31/05/2017	Printed in	31/05/2017, 4:09 PM
Project	TWO NEW DWELLINGS	Status	TOWN PLANNING		
Address		Project number	1616	Scale	1:100 @A2
Drawing name	AMENDED FIRST FLOOR PLAN AND ROOF PLAN	Drawn	KD	Checked	BN
					A.TP.3

This plan supersedes corresponding sheet endorsed on 1/12/2016

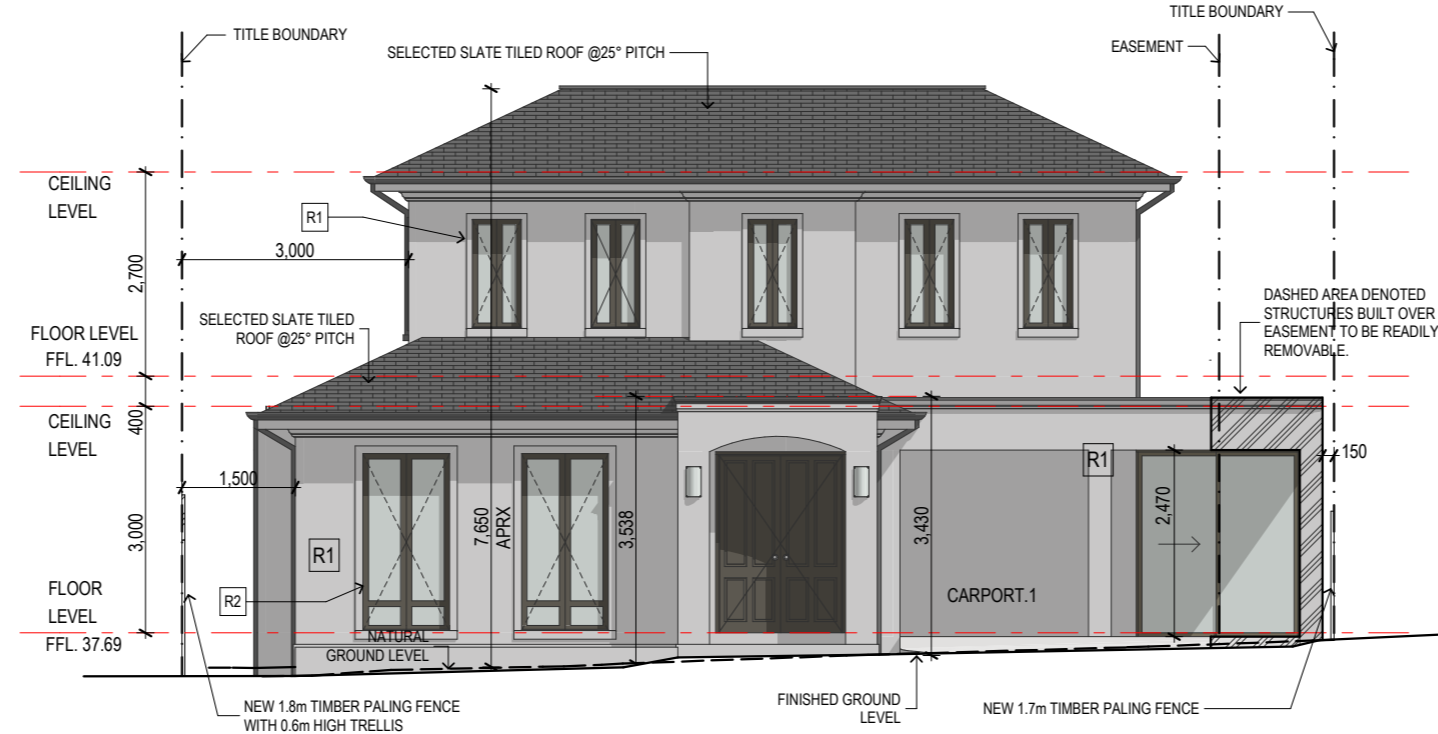
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Endorsed as part of Permit No. 0759/15 sheet 3 of 8 on 25/08/2017

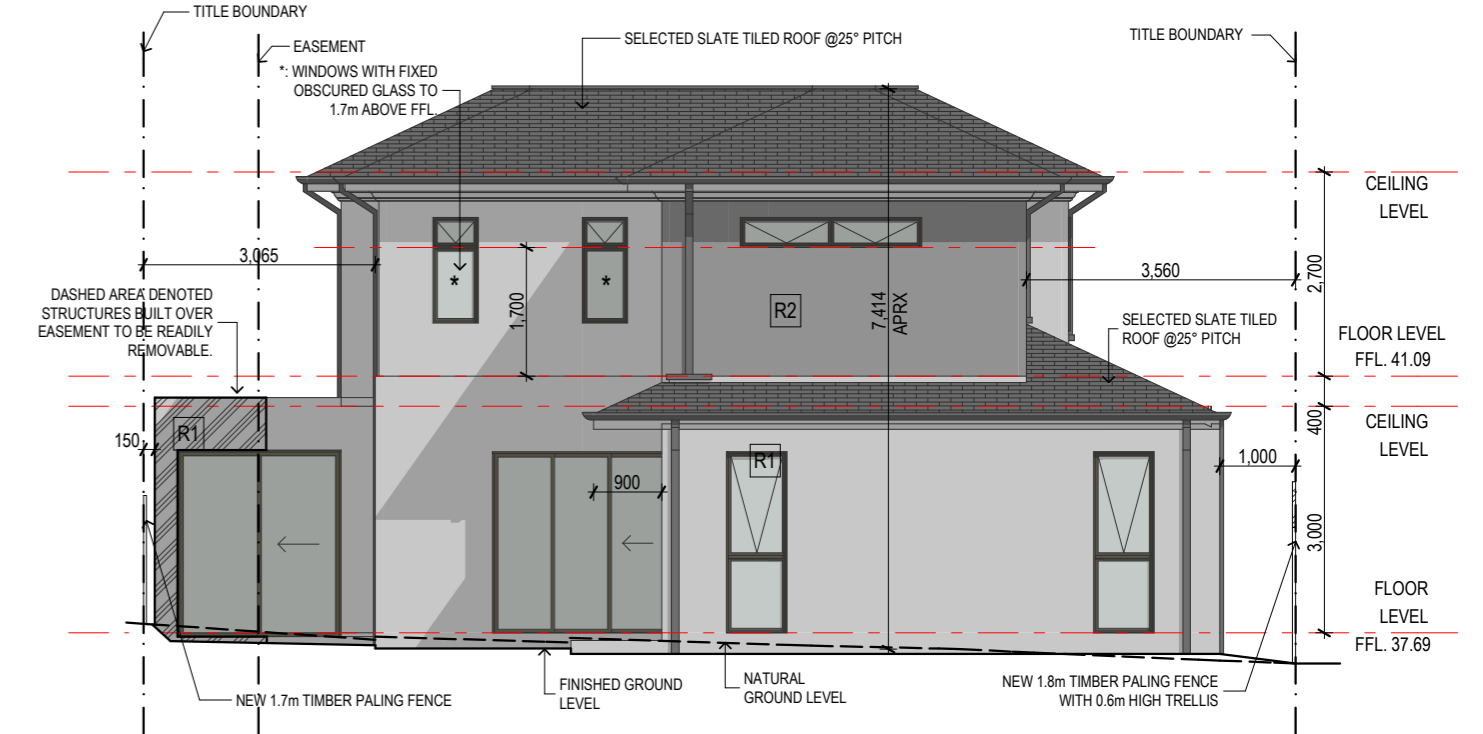
EXISTING ENDORSED PLANS - FOR COMPARISON PURPOSES



UNIT 1: FRONT FENCE ELEVATION
SCALE 1:100



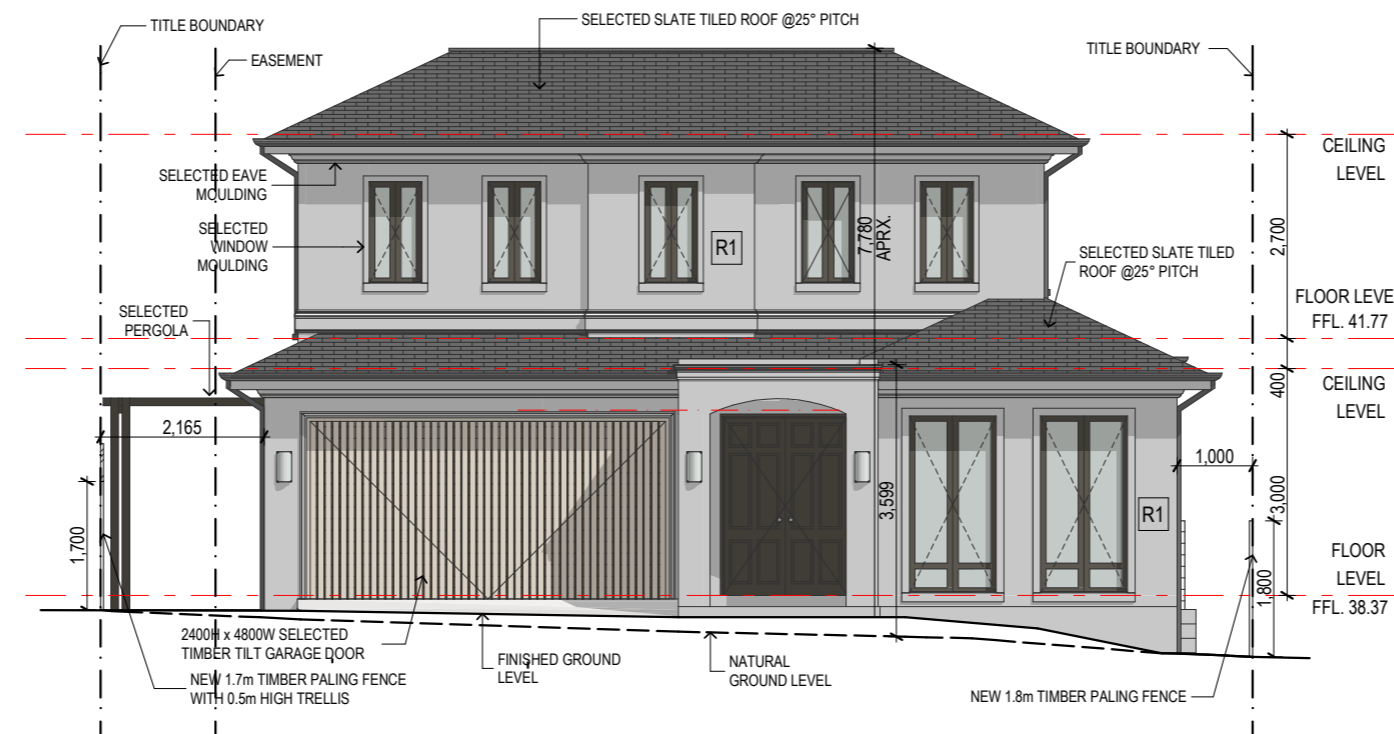
UNIT 1: SOUTH (FRONT) ELEVATION
SCALE 1:100



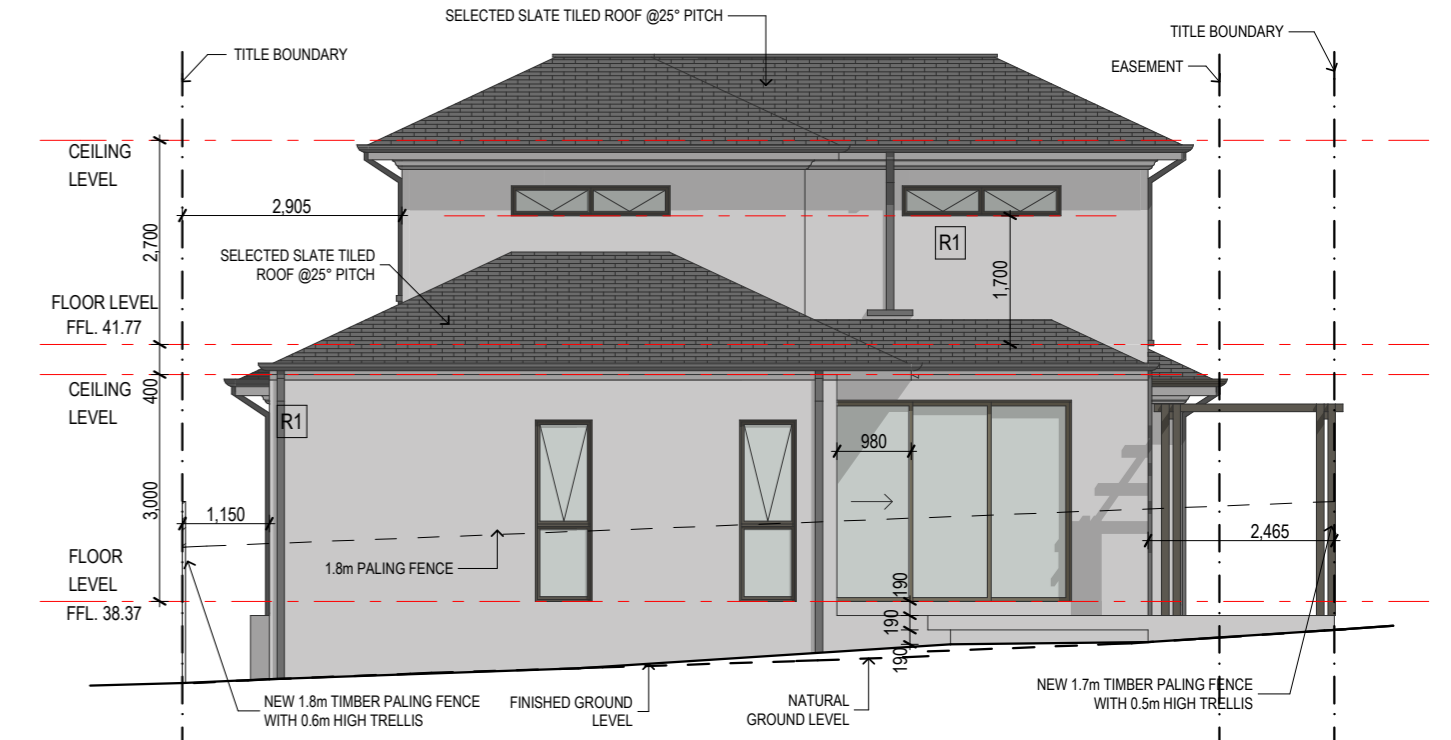
UNIT 1: NORTH ELEVATION
SCALE 1:100



UNIT 2: FRONT FENCE ELEVATION
SCALE 1:100



UNIT 2: NORTH (FRONT) ELEVATION
SCALE 1:100



UNIT 2: SOUTH ELEVATION
SCALE 1:100

EXTERNAL COLOUR SCHEDULE:

	EXTERNAL WALL R1: - RENDER ON BRICK OR MASTER FOAM; - DULUX PUPPY OR SIMILAR		EXTERNAL WINDOW/ DOOR FRAME: - DARK BROWN ANODISED ALUMINIUM		DOWN PIPES : - SELECTED MID-DARK BROWN ANODISED ALUMINIUM
	EXTERNAL WALL R2: - RENDER ON BRICK OR MASTER FOAM; - DULUX BEDBOX OR SIMILAR		ROOF TILES: - SELECTED DARK GREY SLATE TILES		FASCIA: - DULUX PUPPY OR SIMILAR

AMENDED PLANS TO TOWN PLANNING PERMIT

Revisions	Date	Revisions	Date
1	AMENDED TP DRAWINGS UPDATED	29/4/17	10
2	AMENDED TP DRAWINGS UPDATED	15/05/17	11
3	AMENDED TP DRAWINGS UPDATED	31/05/17	12
4			13
5			14
6			15
7			16
8			17
9			18

ASSURED design

Registered Building Practitioner DP-AD 41315
Binh: 0415098982 | tbinh.arch@gmail.com

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Client: HELKM Pty Ltd

Project: TWO NEW DWELLINGS

Address:

Drawing name: AMENDED ELEVATIONS (1)

Issue/ date: 384 - 31/05/2017

Printed in: 31/05/2017, 4:09 PM

Status: TOWN PLANNING

Project number: 1616

Scale: 1:100 @A2

Drawn: KD

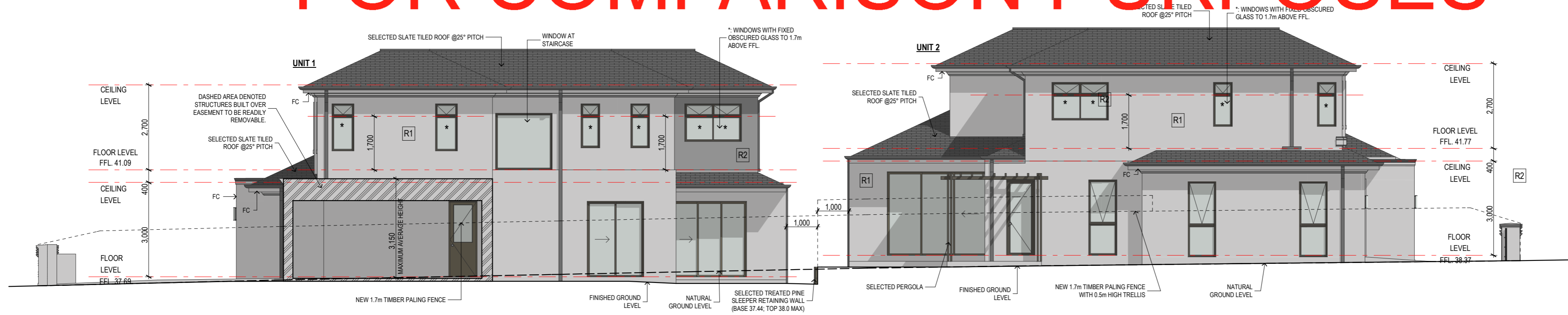
Checked: BN

Drawing number: A.TP.5

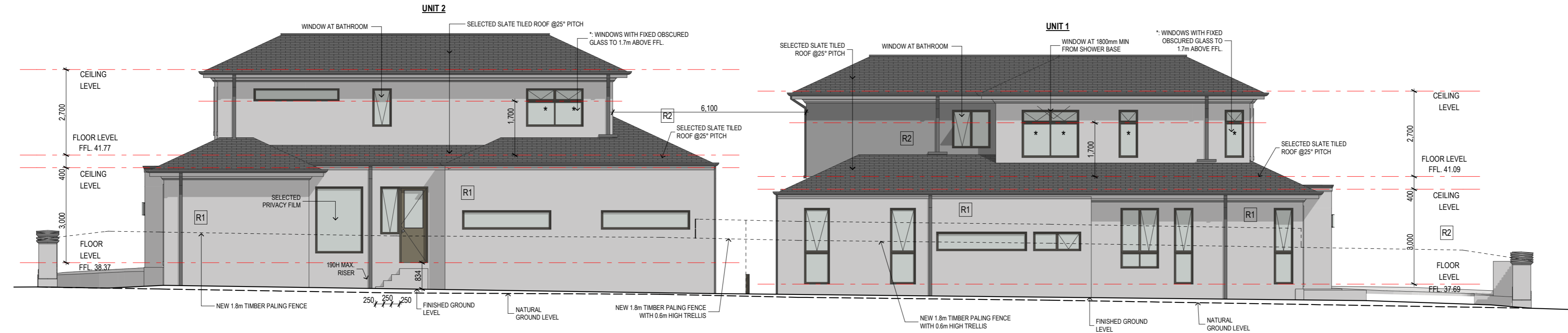
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Endorsed as part of Permit No. 0759/15 sheet 5 of 8 on 25/08/2017

EXISTING ENDORSED PLANS - FOR COMPARISON PURPOSES



UNIT 1&2: EAST ELEVATION
SCALE 1:100



UNIT 1&2: WEST ELEVATION
SCALE 1:100

EXTERNAL COLOUR SCHEDULE:

<p>EXTERNAL WALL R1: - RENDER ON BRICK OR MASTER FOAM; - DULUX PUPPY OR SIMILAR</p>	<p>EXTERNAL WINDOW/ DOOR FRAME: - DARK BROWN ANODISED ALUMINIUM</p>	<p>DOWN PIPES : - SELECTED MID-DARK BROWN ANODISED ALUMINIUM</p>
<p>EXTERNAL WALL R2: - RENDER ON BRICK OR MASTER FOAM; - DULUX BEDBOX OR SIMILAR</p>	<p>ROOF TILES: - SELECTED DARK GREY SLATE TILES</p>	<p>FASCIA: - DULUX PUPPY OR SIMILAR</p>

AMENDED PLANS TO TOWN PLANNING PERMIT

Revisions	Date	Revisions	Date
1	AMENDED TP DRAWINGS UPDATED 29/4/17	10	
2	AMENDED TP DRAWINGS UPDATED 15/05/17	11	
3	AMENDED TP DRAWINGS UPDATED 31/05/17	12	
4		13	
5		14	
6		15	
7		16	
8		17	
9		18	

ASSURED design

Registered Building Practitioner DP-AD 41315
Bin: 0415098982 | tbinh.arch@gmail.com

Client: HELKM Pty Ltd

Project: **TWO NEW DWELLINGS**

Address:

Drawing name: **AMENDED ELEVATIONS (2)**

Issue/ date: 384 - 31/05/2017

Printed in: 31/05/2017, 4:09 PM

Status: TOWN PLANNING

Project number: **1616**

Scale: 1:100 @A2

Drawn: KD

Checked: BN

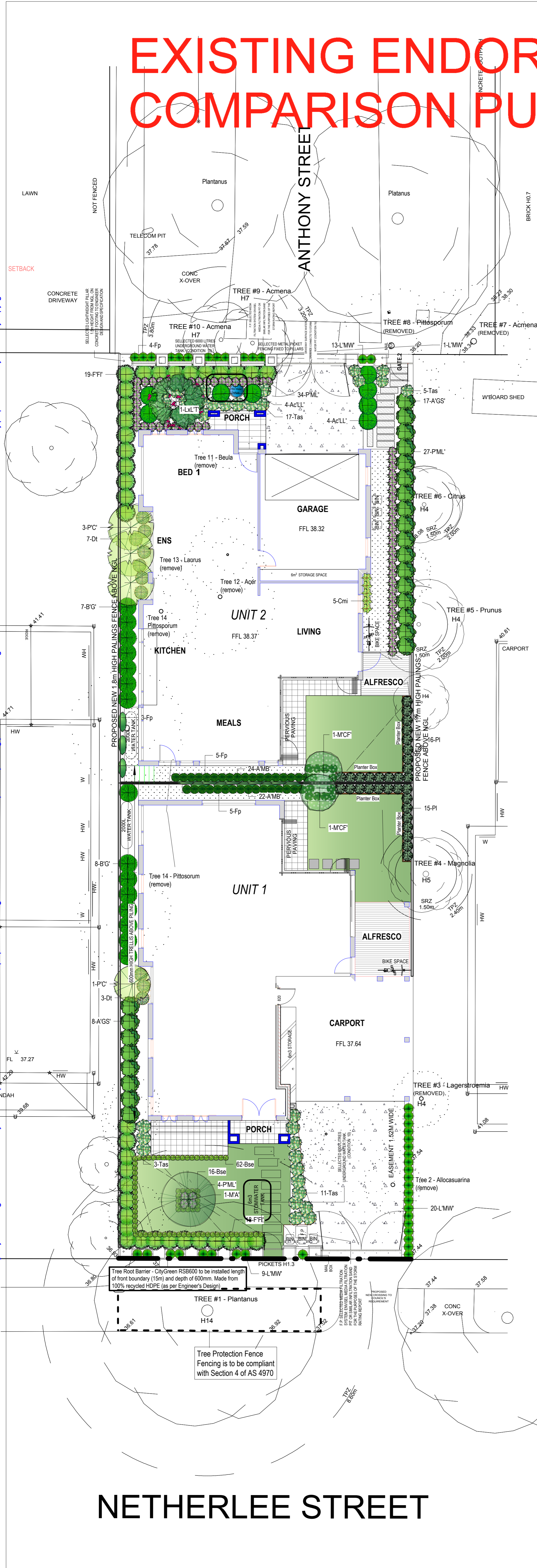
Drawing number: **A.TP.6**

This plan supersedes corresponding sheet endorsed on 1/12/2016

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Endorsed as part of Permit No. 0759/15 sheet 6 of 8 on 25/08/2017

EXISTING ENDORSED PLANS - FOR COMPARISON PURPOSES ONLY



LANDSCAPE CONSTRUCTION SPECIFICATIONS

SUBGRADE PREPARATION:
Site preparation to be carried out under suitable conditions and in accordance with standard horticultural practice. The use of machinery and tools that may damage soil structure is not acceptable. Garden bed and lawn sub-grade is to be cultivated to a depth of 150mm and shaped to achieve drainage falls prior to adding topsoil. If gypsum is required, this is to be distributed and cultivated into the sub-grade as per the manufacturer's instructions.

Weeds are to be removed prior to sub-grade preparation, top-soiling and planting.

SOIL PREPARATION:
Imported topsoil is to be supplied by an approved supplier to a depth of approximately 150-300mm (as required) for garden beds. Do not spread in muddy conditions. The topsoil is to be a light to medium friable loam (capable of being compressed into a ball by hand when moist yet can be broken apart immediately after). It's PH will be 6.0 - 7.0 and free from perennial weeds and building rubble. The finished top level after settlement should be 75mm below the edging level to allow for mulch. Imported topsoil for lawn areas is to be supplied to a depth of approximately 100mm (or as required).

TIMBER EDGING:
Timber edging is to be installed to separate all lawn, planting areas and hillyade topping / pebble areas. The treated pine timber (or similar) is to be 75mm x 25mm in size, secured with 300mm long stakes at 1000mm spacings.

PLANTS AND PLANTING:
Trees and plants supplied are to be healthy and free from insects, diseases and weeds. The pot sizes indicated in the plant schedule are the minimum size to be supplied and installed. When each planting area is prepared, if soil is dry, fill with water and allow to drain away completely. Plant roots are to be teased outwards if roots are matted in pot. Place plant in centre of hole and ensure that the top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Soil is to be backfilled firmly into the hole and thoroughly watered.

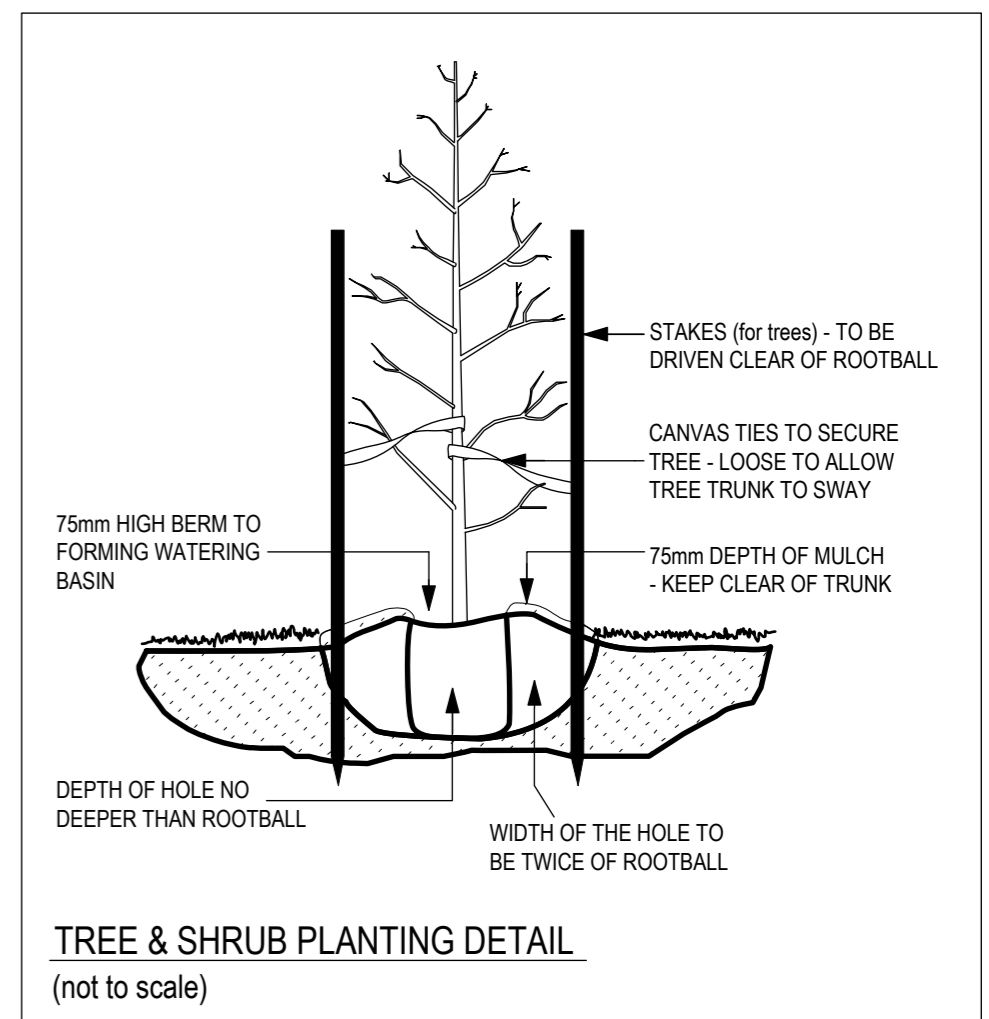
Trees are to be staked with two hardwood stakes driven firmly into the ground but not through the rootball. Trees are to be secured to the stakes with strong but flexible tree ties that are tight enough to support the trees in windy conditions but loose enough to simulate good tree growth and development. The tree ties must not injure tree bark or restrict tree growth for at least the first three years of tree growth.

A slow release fertiliser (e.g. Osmocote or similar) is to be applied to all garden beds as specified by the manufacturer and be kept away from the plant trunks and then watered immediately.

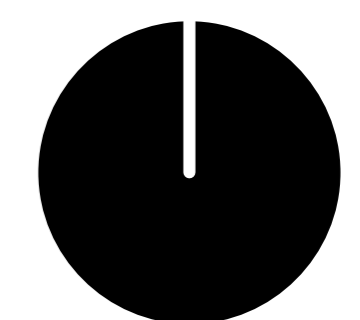
A layer of aged organic mulch to a minimum depth of 75mm is to be applied to all planting areas after planting is completed.

IRRIGATION:
An in-ground automatic drip irrigation system is to be installed to water all planting areas.

DRAINAGE:
Surface and sub-surface drainage is to be specified by a certified consulting engineer.



PLANTING SCHEDULE						
	ID	Qty	Common Name	Botanical Name	Height x Width @ Maturity (m)	Pot Size @ Install (cm)
Trees						
	LxL'T'	1	Crepe Myrtle	Lagerstroemia indica X L. fauriei 'Tuscarora'	5 x 3	40 - min.2mh @ installation
	MA'	1	Magnolia	Magnolia 'Alta'	8 x 3	40 - min.2mh @ installation
	PC'	4	Ornamental Pear	Pyrus calleryana 'Capital'	7 x 2.5	30
Shrubs & Groundcovers						
	AcLL'	8	Dwarf Bower Wattle	Acacia cognata 'Limelight'	1 x 1	20
	A'GS'	25	Lily Pilly	Acmena 'Green Screen'	4 x 1 (hedged)	25
	B'G'	15	Bamboo	Bambusa 'Gracilis'	4 x 1	25
	Bse	78	Box Hedge	Buxus sempervirens	0.3 x 0.3 (hedged)	14
	F'FI'	37	Hedging Ficus	Ficus 'Flash'	2.5 x 1	25
	M'CF'	2	Michelia	Michelia 'Cream Fairy'	3.5 x 2	25
	P'ML'	65	Mona Lavender	Plectranthus 'Mona Lavender'	0.5 x 0.5	14
	PI	31	Portuguese Laurel	Prunus lusitanica	1.5 x .5 (hedged)	20
	Tas	36	Groundcover Jasmine	Trachelospermum asiaticum	0.3 x 0.8	14
Grasses & Climbers						
	A'MB'	46	NZ Rock Lily	Arthropodium 'Matapouri Bay'	0.5 x 0.5	14
	Cmi	5	Bush Lily	Clivia miniata	0.5 x 0.5	14
	Dt	10	Flax Lily	Dianella tasmanica	1 x 0.8	14
	Fp	17	Creeping Fig	Ficus pumila	Climber	14
	L'MW'	43	Lilyturf	Liriope 'Monroe White'	0.5 x 0.5	14



D	08/16	Rev 3
C	05/16	Rev 2
B	04/16	Rev 1
A	08/15	Design 1

NO. DATE NOTE

THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE PROPRIETOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE FROM DRAWINGS.

Client
Mrs Lisa Washington

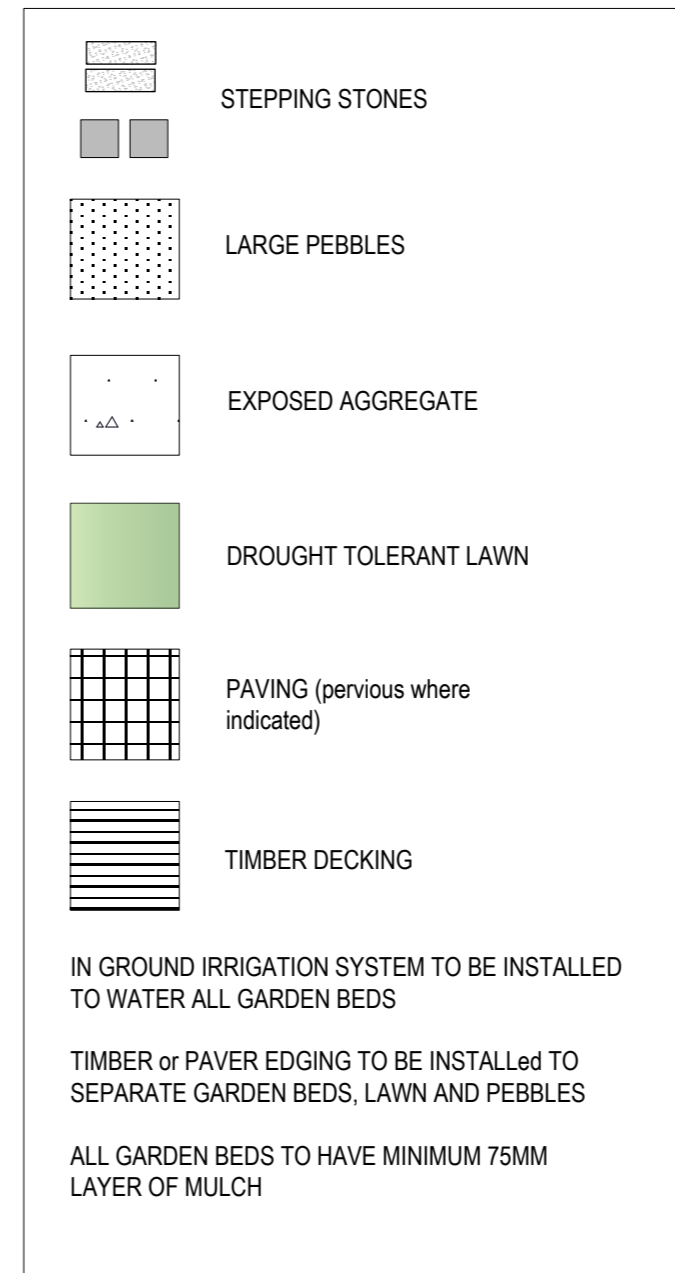
Address
**7 Netherlee Street
Glen Iris**

Project
Two Unit Development

Drawing
Landscape Plan

Zenith Concepts
Landscape Design
171 Abbott Street, Sandringham
PO Box 9087
P 03 9598 2129
M 0411 399 937
E landscapes@zenithconcepts.com

Scale 1:100	
Date August 2015	
Rev. D	Dwg No. Sheet 1 of 1 (A1)



Endorsed as part of Permit No. 0759/15 sheet 8 of 8 on 25/08/2017

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