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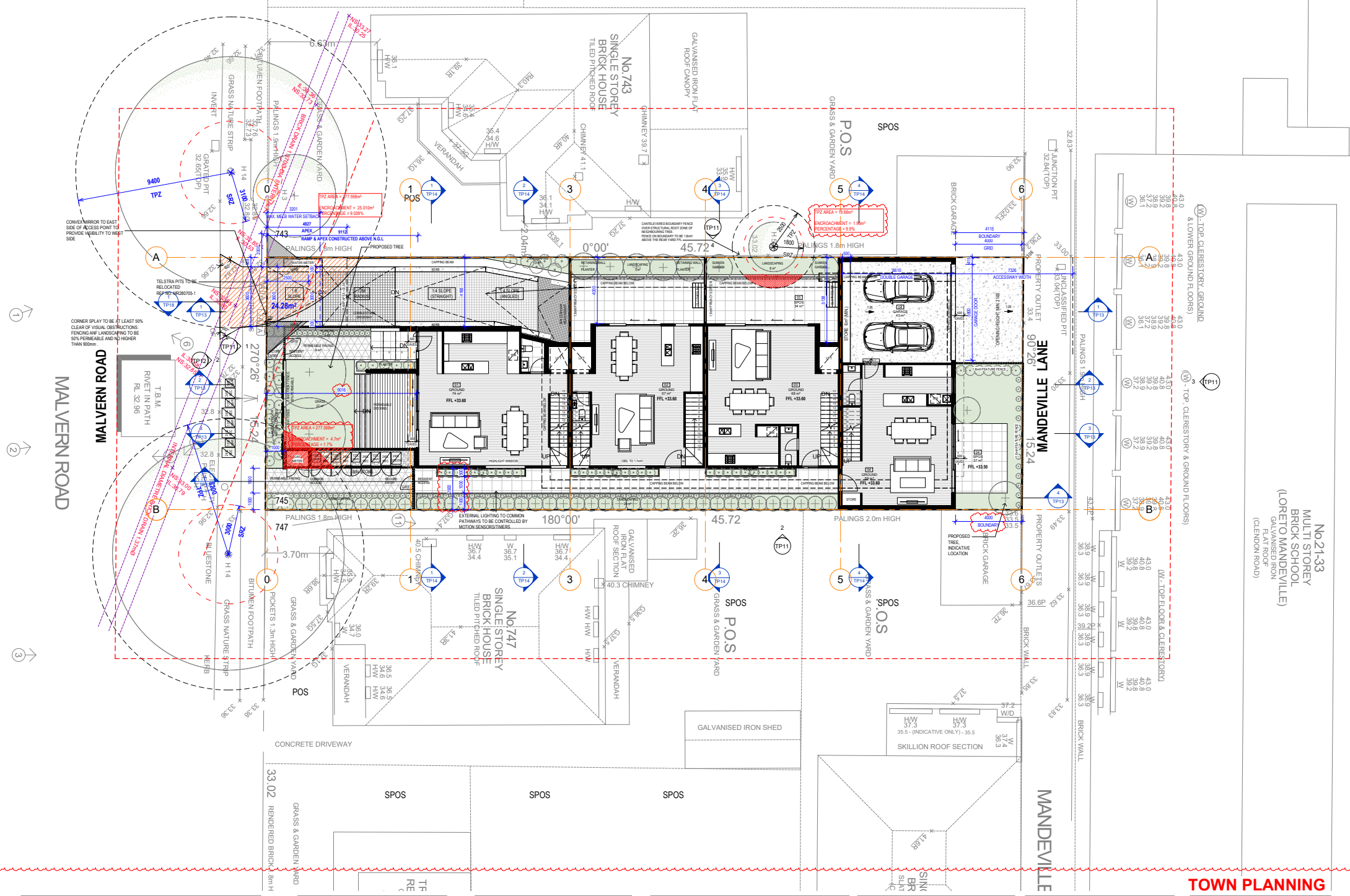
745 Malvern Road, Toorak

★ Objector Properties

Date printed: 17/06/2021

Scale: 1:1250

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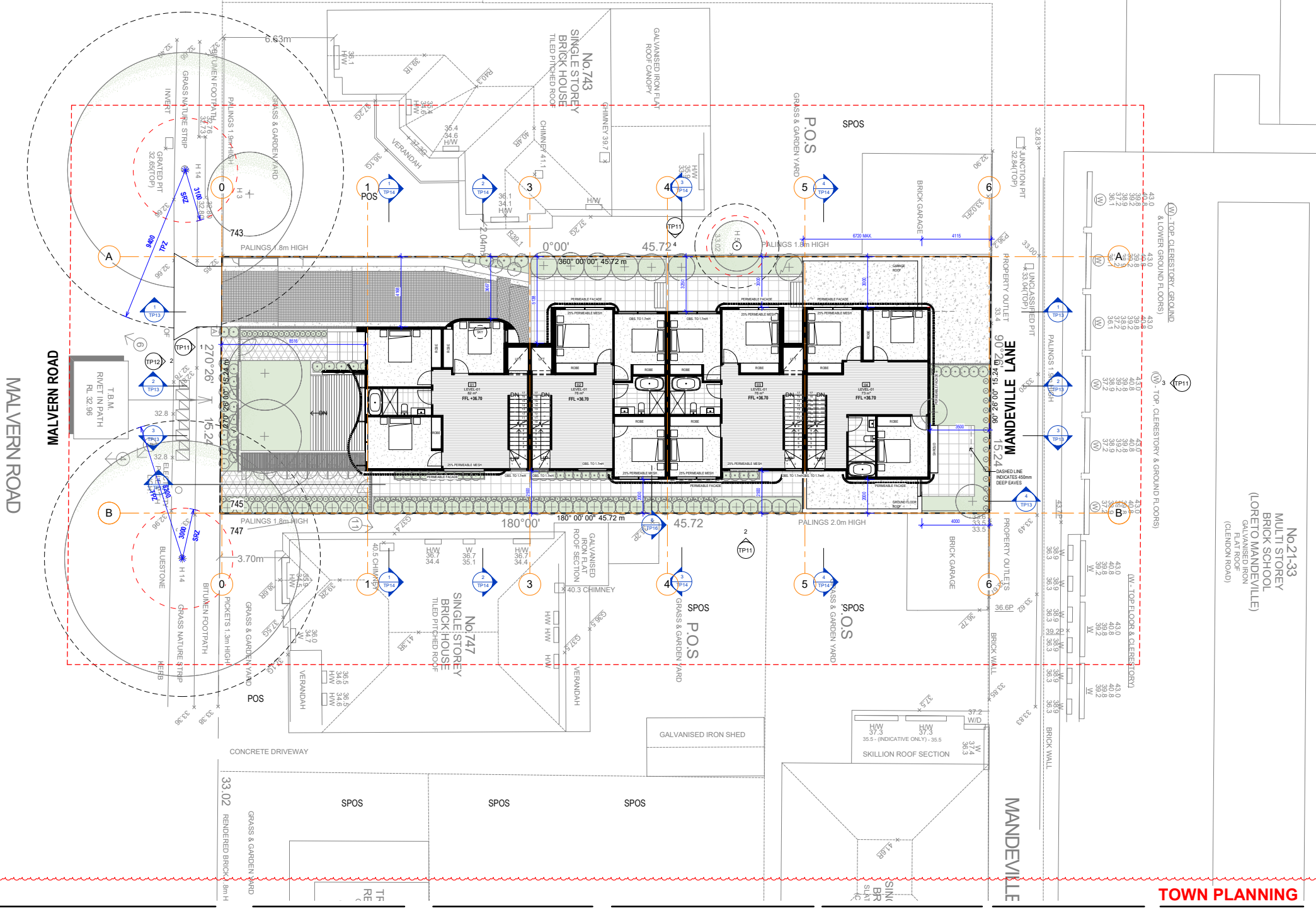


No.21-33
 MULTI STOREY
 BRICK SCHOOL
 (LORETO MANDEVILLE)
 GALVANISED IRON
 FLAT ROOF
 (CLENDON ROAD)

TOWN PLANNING



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TOWN PLANNING

No 21-33
 MULTI STOREY
 BRICK SCHOOL
 (LORETO MANDEVILLE)
 GALVANISED IRON
 FLAT ROOF
 (CLENDON ROAD)

Point	Top Floor & Lower Ground Floors	Top Clerestory & Ground Floors
1	43.0	43.0
2	39.8	39.8
3	38.9	38.9
4	37.2	37.2
5	36.1	36.1
6	43.0	43.0
7	43.0	43.0
8	39.8	39.8
9	39.2	39.2
10	37.2	37.2
11	43.0	43.0
12	39.8	39.8
13	39.2	39.2
14	37.2	37.2
15	43.0	43.0
16	39.8	39.8
17	39.2	39.2
18	37.2	37.2
19	43.0	43.0
20	39.8	39.8
21	39.2	39.2
22	37.2	37.2

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Revision	Description	Date
E	TOWN PLANNING	2020.06.29
F	TOWN PLANNING	2020.08.27
G	WITHOUT PREJUDICE	2020.11.09
H	TOWN PLANNING	2021.04.13



Project: PROPOSED MULTI-UNIT DEVELOPMENT
 Address: 745 MALVERN ROAD, TOORAK 3142
 Client: SAM LAU

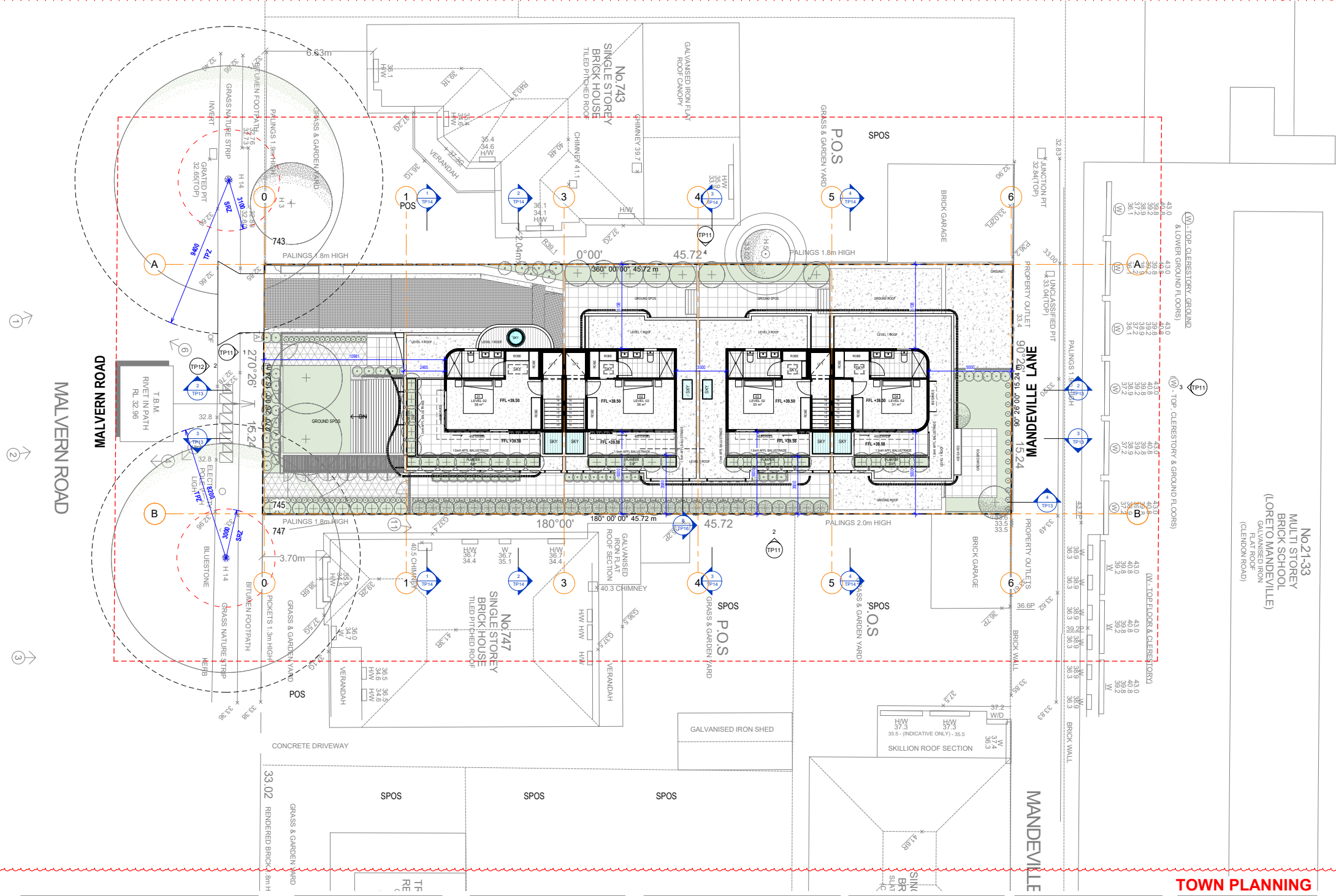
Drawing: PROPOSED LEVEL 01 PLAN
 Scale: 1:100 @ A1
 Date: 2021.04.13

Sheet No: TP06
 Scale: 1:100 @ A1
 Date: 2021.04.13

Rev: H
 Drawn by: NKD
 Project No: 19023

Use figured dimensions in preference to scale. Verify dimensions at job before shop fabrication. Read drawing in conjunction with specification.

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TOWN PLANNING

No 21-33
 MULTI STOREY
 BRICK SCHOOL
 (LORETO MANDEVILLE)
 GALVANISED IRON
 FLAT ROOF
 (CLENDON ROAD)

(W) - TOP CLERESTORY & GROUND FLOORS
 (A) - TOP & LOWER GROUND FLOORS

Project No.
19023

Rev. **H**
 Down by **NKD**

Scale
1:100 @ A1
 Date
2021.04.13

Sheet No.
TP07

Project
**PROPOSED LEVEL 02
 PLAN**

Project
PROPOSED MULTI-UNIT DEVELOPMENT

Address
745 MALVERN ROAD, TOORAK 3142

Client
SAM LAU

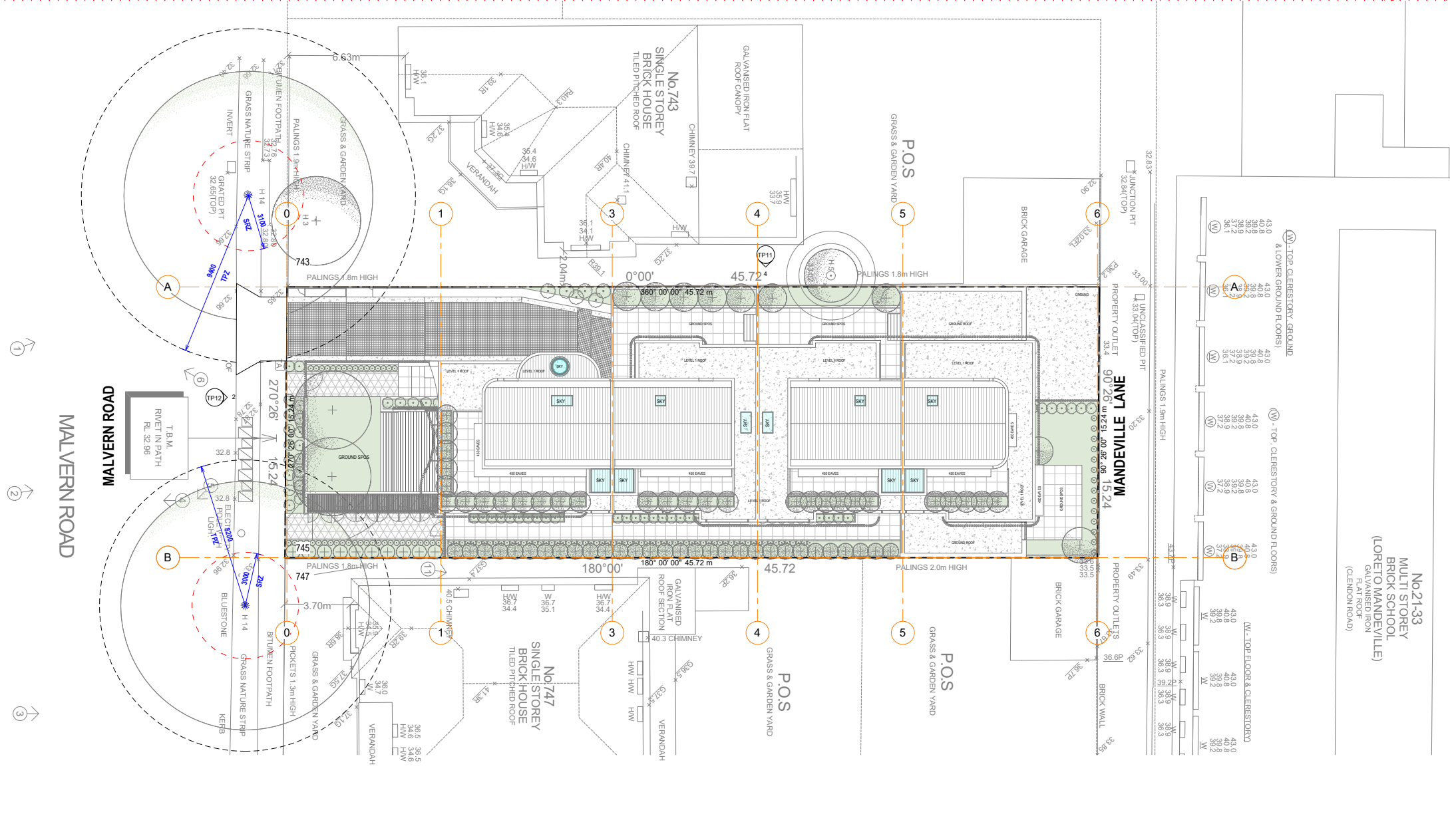


Revision	Date
E TOWN PLANNING	2020.06.29
F TOWN PLANNING	2020.08.27
G WITHOUT PREJUDICE	2020.11.09
H TOWN PLANNING	2021.04.13

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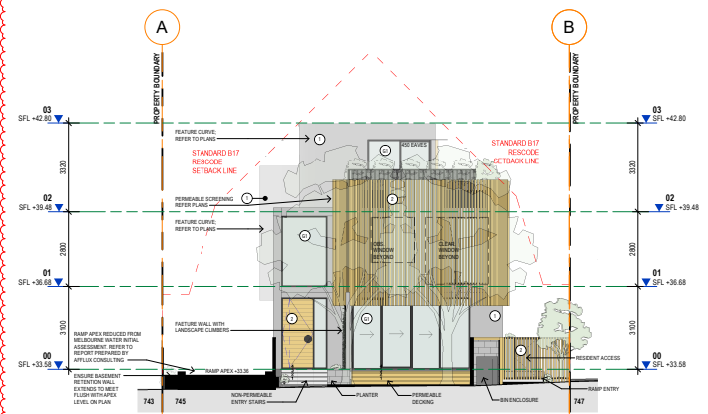


ESD NOTES
 RAINWATER TANK SYSTEM WITH A STORAGE CAPACITY OF A MINIMUM 9,600L WILL BE INSTALLED THAT WILL CAPTURE STORMWATER FROM 100% OF THE COLLECTABLE ROOF AREAS. THE TANK WILL BE USED TO SERVICE ALL TOILETS AND INCLUDE EXTERNAL CONNECTIONS FOR LANDSCAPING/ GENERAL WASHDOWN ON SITE. THE RAINWATER TANK SYSTEM WILL INITIALLY RUN THROUGH A FIRST-FLUSH FILTRATION PROCESS TO ENSURE THE WATER IS OF SUITABLE QUALITY. RAINWATER TANKS ARE TO BE USED SOLELY FOR THE PURPOSE OF RE-USE WITHIN THE DWELLINGS, AND WILL NOT BE CONNECTED TO STORM DETENTION SYSTEMS.

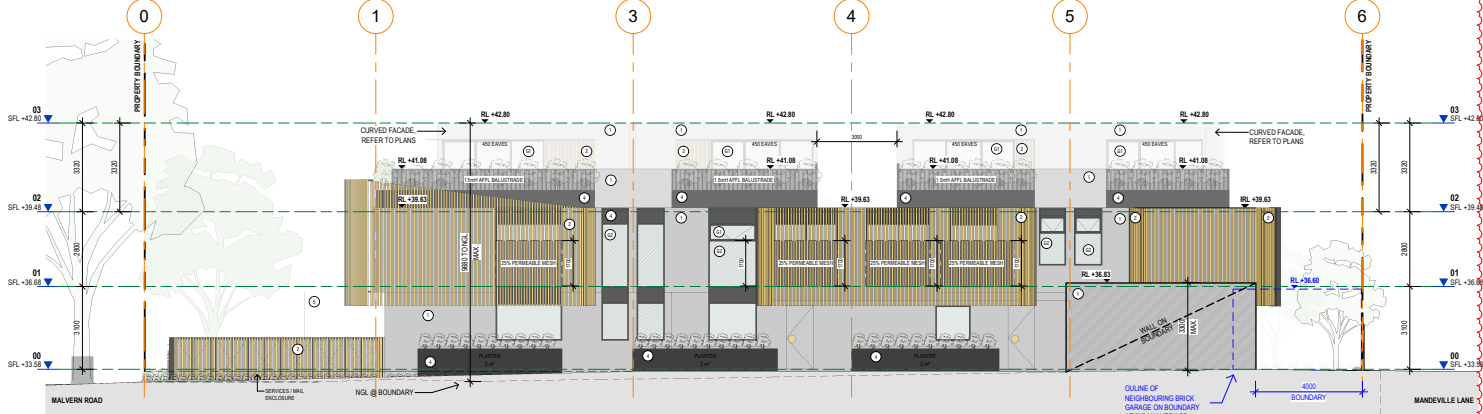
THE STORM RATING ACHIEVED FROM THIS STRATEGY IS 100%. REFER TO ENERGYLAB APPX. B FOR FULL STORM ASSESSMENT. TOTAL ROOFING AREA DIVERTED TO 9,600L TANK = 294.9m²

SOUTH ACCESS STEPS TO STORM = 3.8m²
 EAST ACCESSWAY TO STORM = 29m²
 NORTH DRIVEWAY TO STORM = 24.3m²
 GROUND SPOS PAVING TO STORM = 38.7m²
 TERRACES (MINUS PLANTERS) TO STORM = 38.5m²
 BASEMENT RAMP TO STORM = 71.6m²

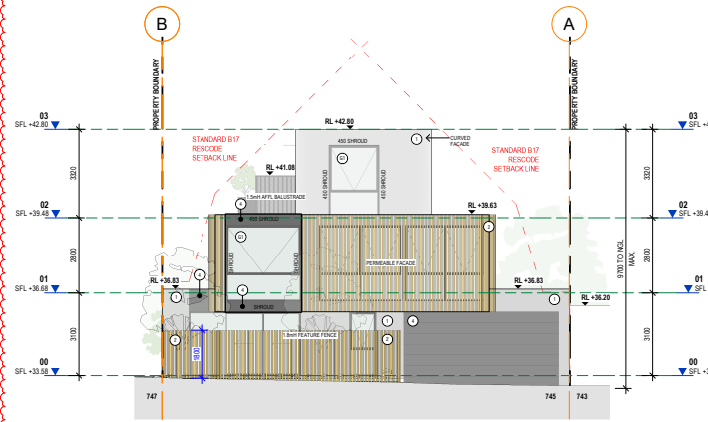
Point	Top Floor & Lower Ground Floors	Top Floor & Ground Floors	Top Floor & Clerestory
A	43.0 40.8 39.8 38.8 37.2 36.1	43.0 40.8 39.8 38.8 37.2 36.1	43.0 40.8 39.8 38.8 37.2 36.1
B	43.0 40.8 39.8 38.8 37.2 36.1	43.0 40.8 39.8 38.8 37.2 36.1	43.0 40.8 39.8 38.8 37.2 36.1



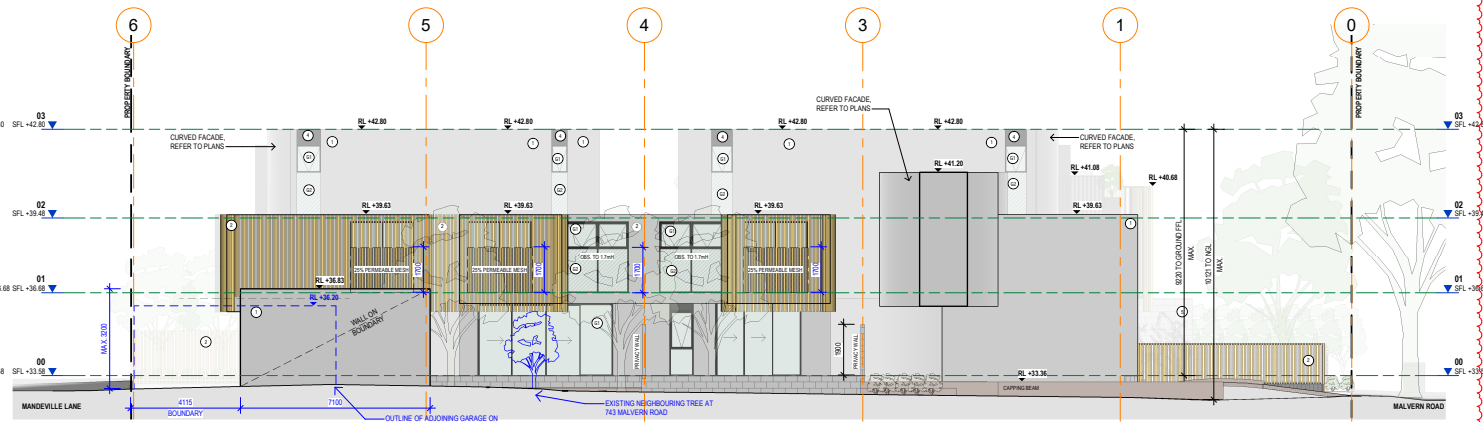
1 PROPOSED SOUTH ELEVATION
1: 100



2 PROPOSED EAST ELEVATION
1: 100



3 PROPOSED NORTH ELEVATION
1: 100



4 PROPOSED WEST ELEVATION
1: 100

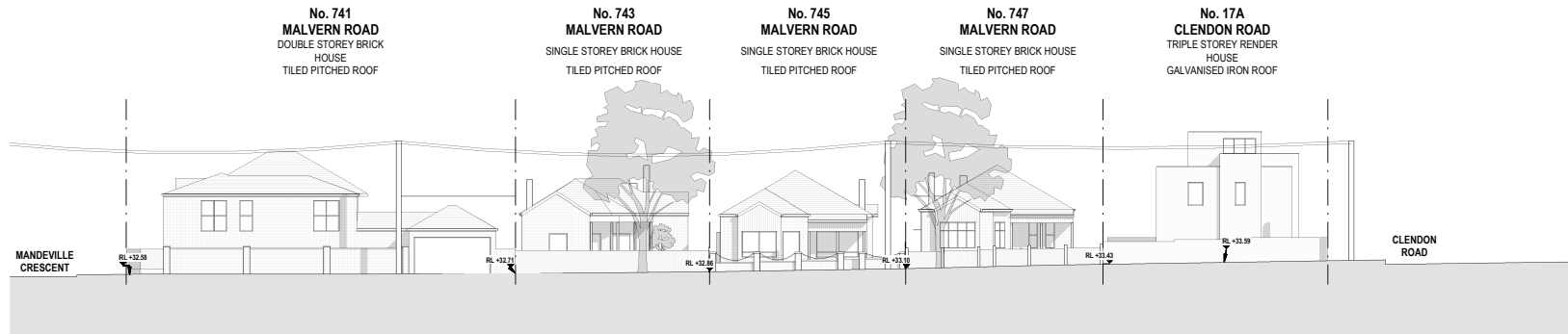
- FEATURE GREY RENDER
- FEATURE TIMBER LOOK 50% PERMEABLE SCREEN
- FEATURE TIMBER LOOK 25% PERMEABLE SCREEN
- CHARCOAL COLOUR
- FEATURE BLOCKWORK
- CLEAR GLAZING
- OBSCURE GLAZING
- CLEAR BALUSTRADE
- CHARCOAL VERTICAL BALUSTRADE
- 25% PERMEABLE MESH

6 MATERIALS
1: 100

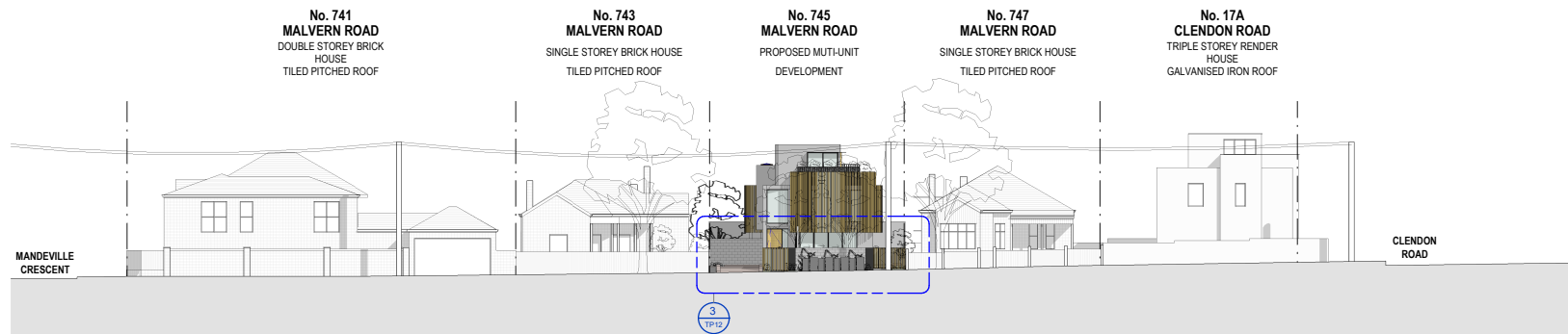
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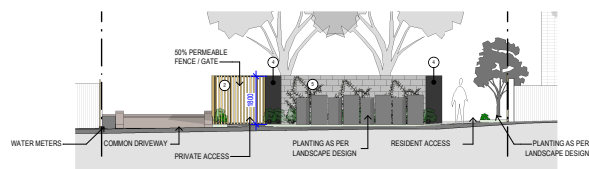
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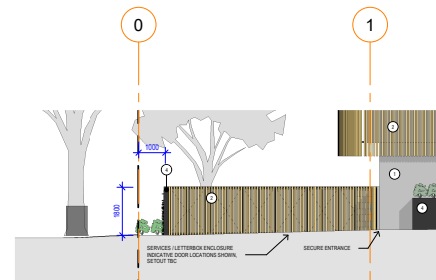
1 MALVERN ROAD (SOUTH) - EXISTING STREET ELEVATION
1 : 200



2 MALVERN ROAD (SOUTH) - PROPOSED STREET ELEVATION
1 : 200



3 PROPOSED FENCE ELEVATION
1 : 100



4 PROPOSED EAST WALKWAY
1 : 100

TOWN PLANNING



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Revision	Date
- PRELIMINARY	2020.05.19
A CONSULTANT ISSUE	2020.06.09
B TOWN PLANNING	2020.06.29
C TOWN PLANNING	2021.04.13

Project: PROPOSED MULTI-UNIT DEVELOPMENT
Address: 745 MALVERN ROAD, TOORAK 3142
Client: SAM LAU

Drawing: STREET ELEVATIONS

Sheet No: TP12

Rev: C
Drawn by: NKD

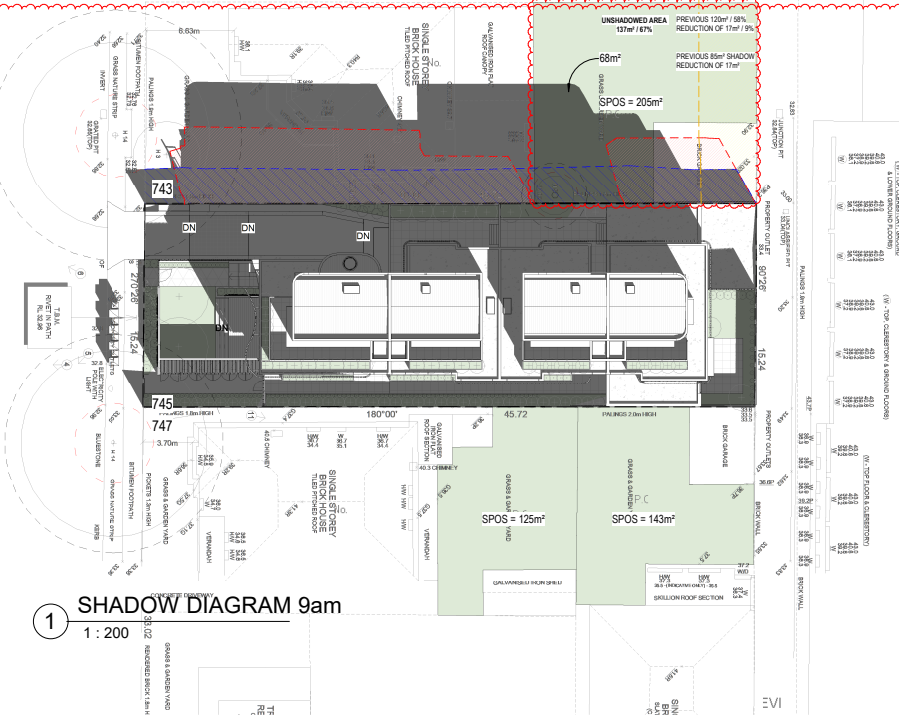
Project No: 19023

Scale: As indicated @ A1
Date: 2021.04.13

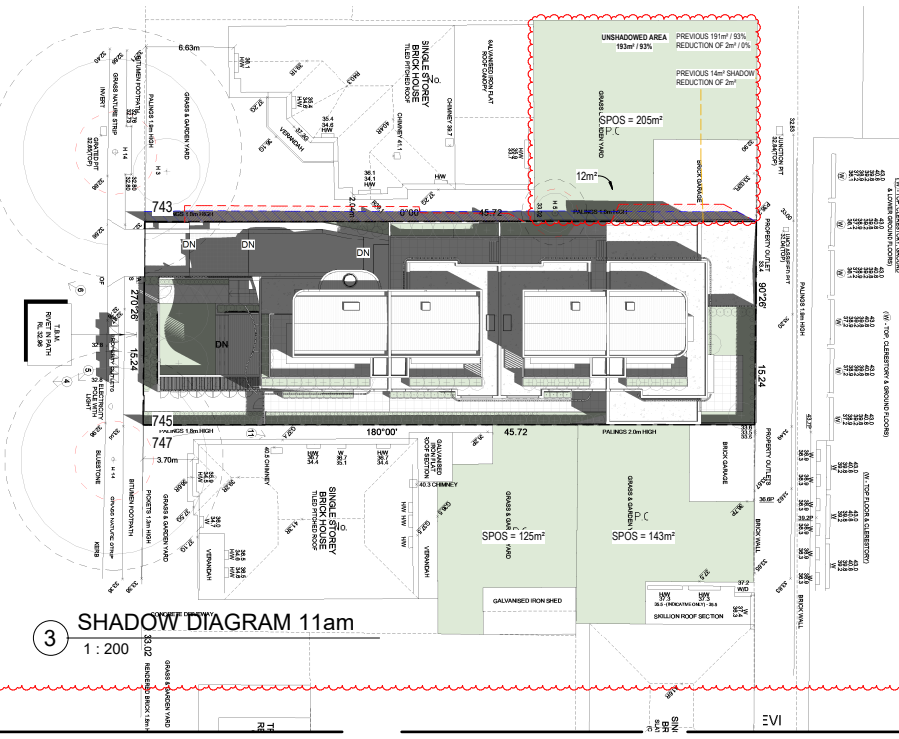
Use figured dimensions in preference to scale. Verify dimensions at job before shop fabrication. Read drawing in conjunction with specification.

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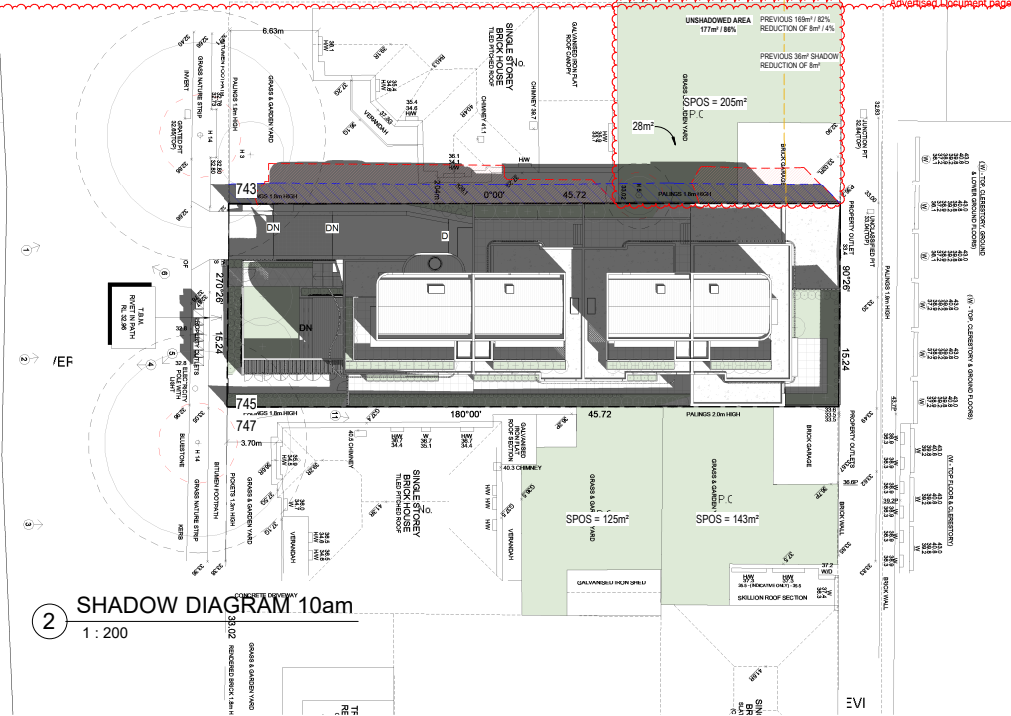
Approved Document page 138 of 147, May 2021



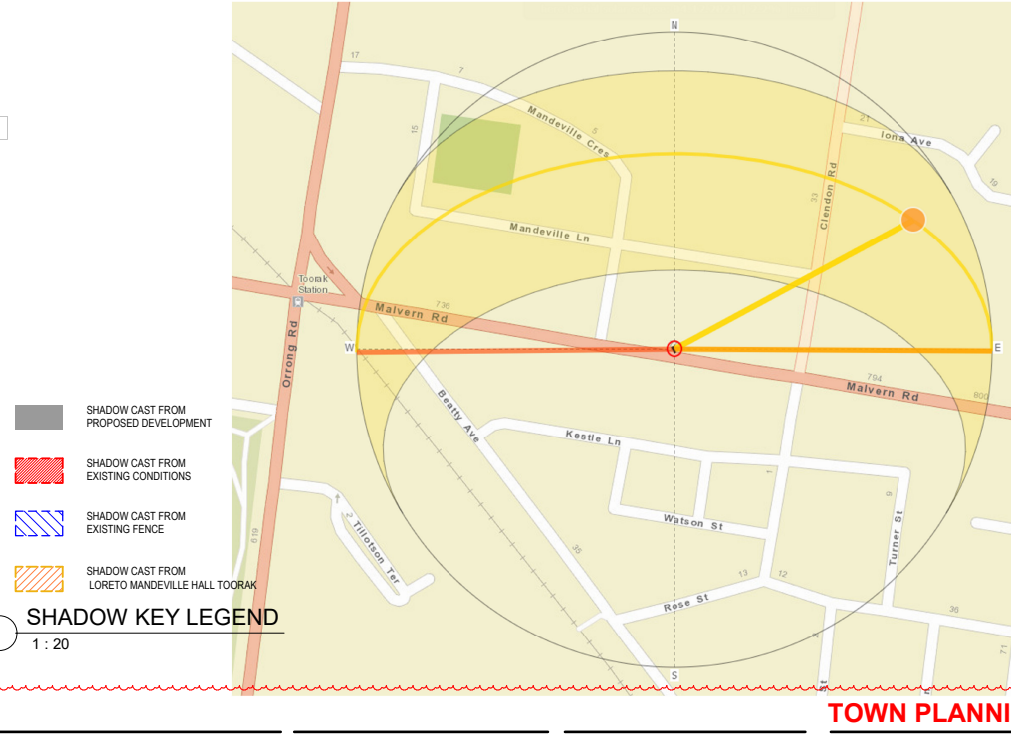
1 SHADOW DIAGRAM 9am
1 : 200



3 SHADOW DIAGRAM 11am
1 : 200



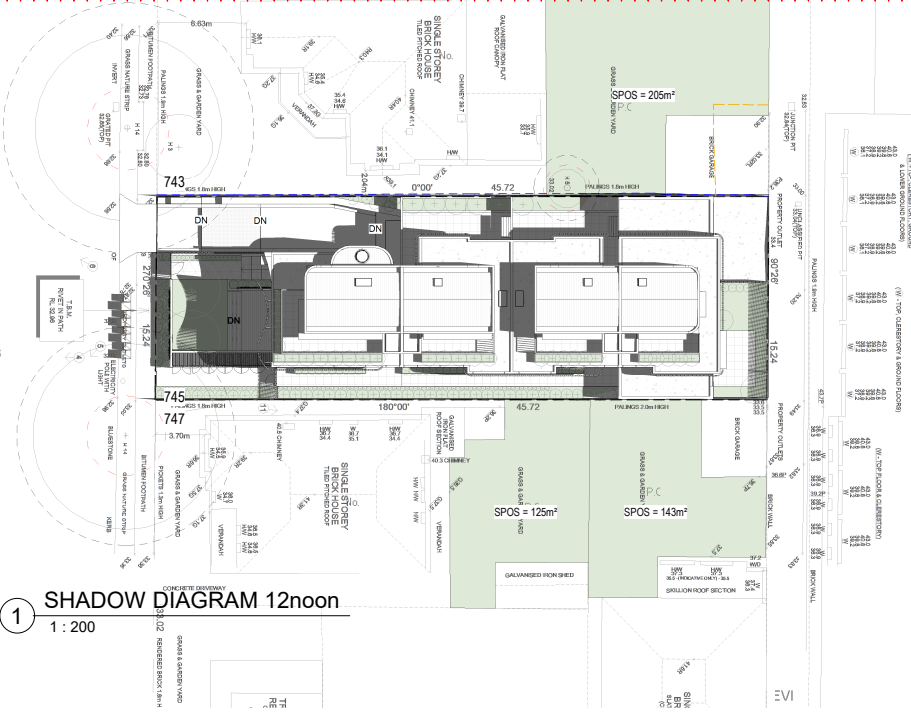
2 SHADOW DIAGRAM 10am
1 : 200



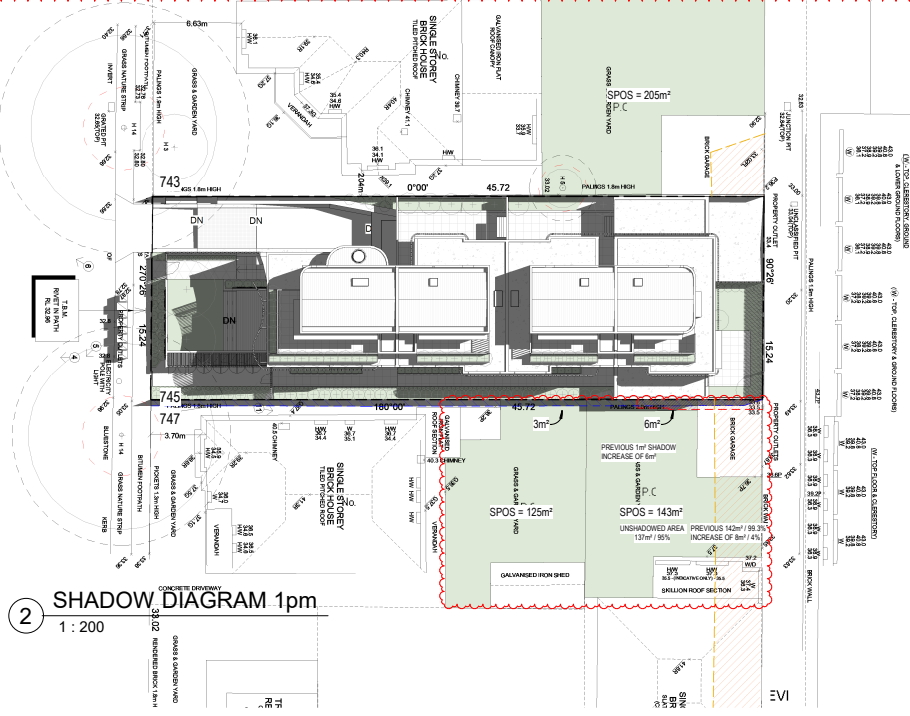
SHADOW KEY LEGEND
1 : 20



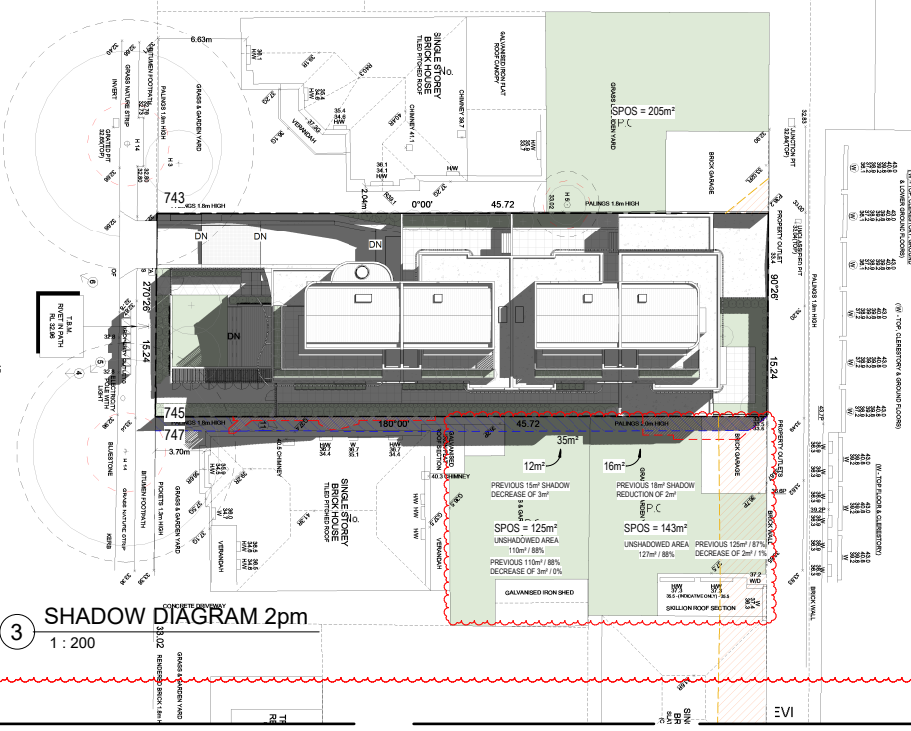
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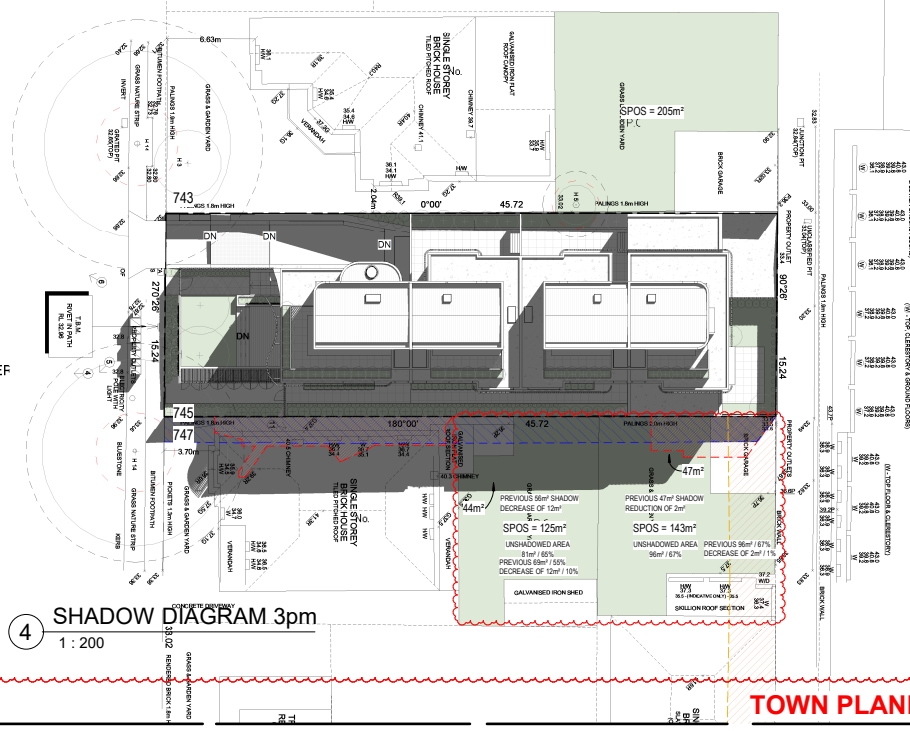
1 SHADOW DIAGRAM 12noon
1 : 200



2 SHADOW DIAGRAM 1pm
1 : 200



3 SHADOW DIAGRAM 2pm
1 : 200

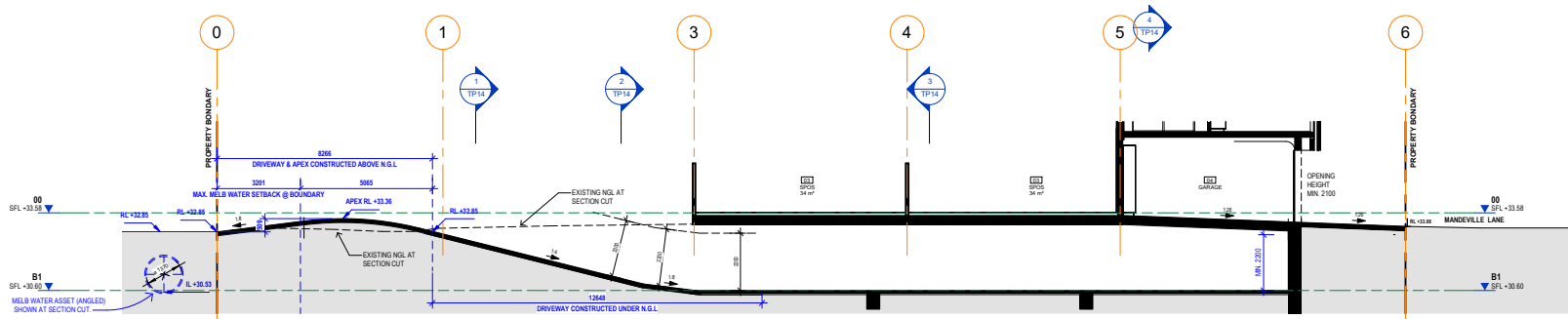


4 SHADOW DIAGRAM 3pm
1 : 200

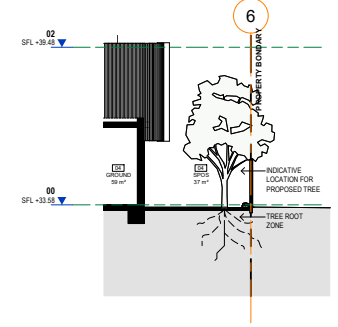
TOWN PLANNING



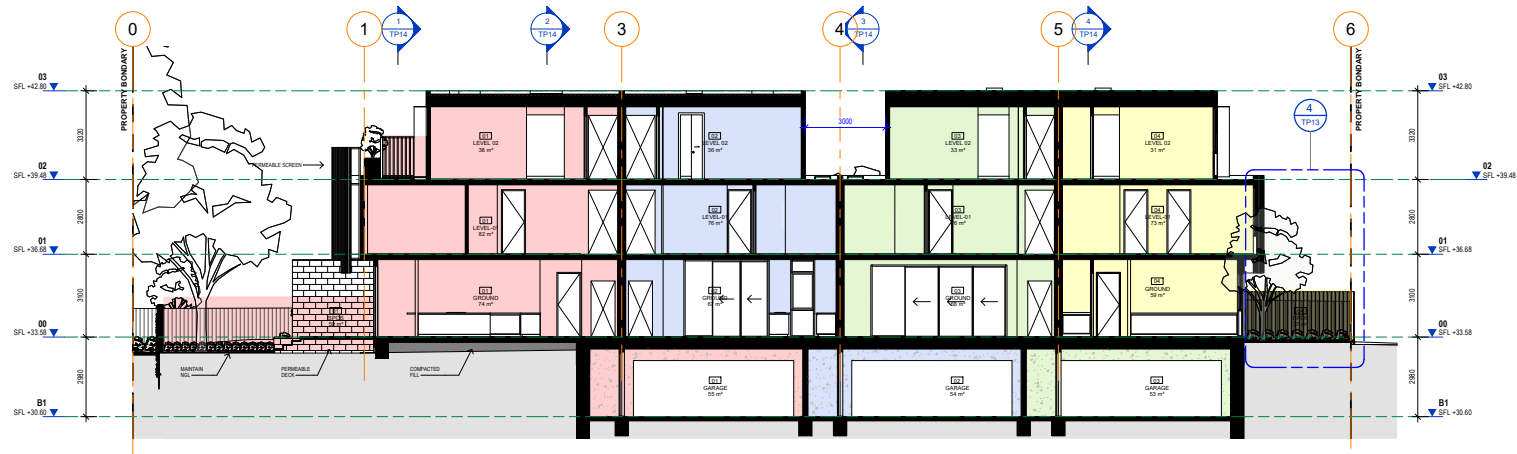
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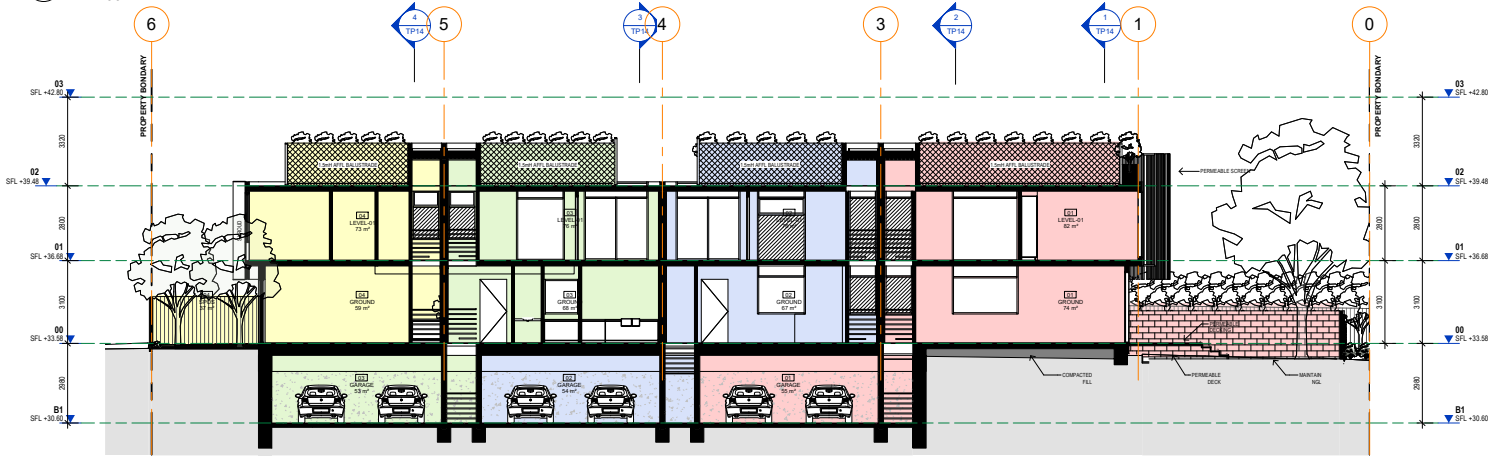
1 LONG SECTION A
1 : 100



4 REAR SECTION
1 : 100



2 LONG SECTION B
1 : 100

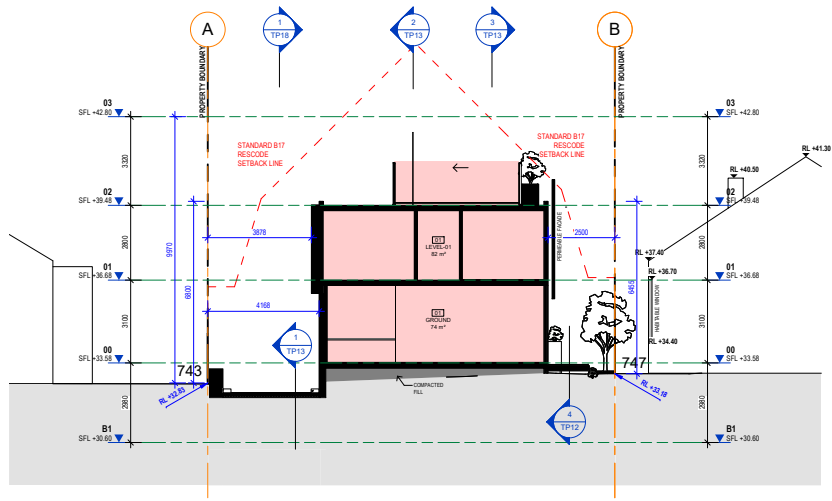


3 LONG SECTION C
1 : 100

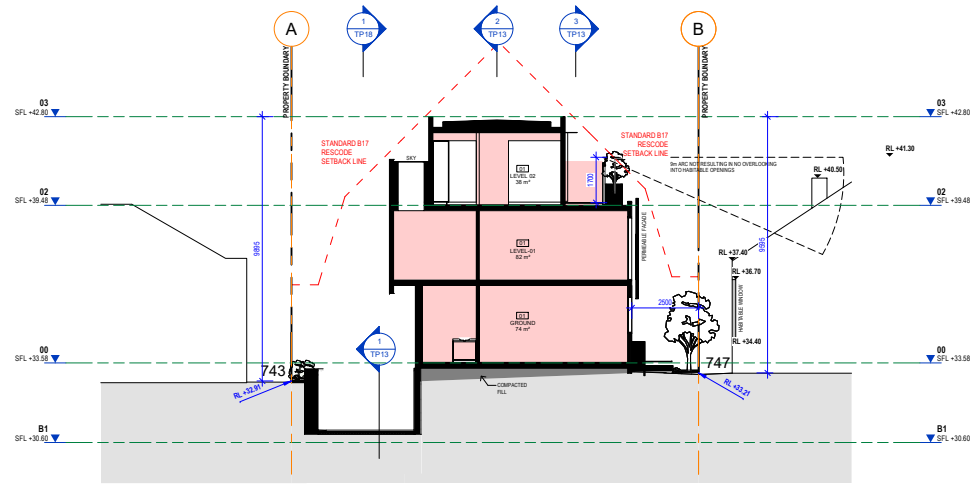
- 01
- 02
- 03
- 04

TOWN PLANNING

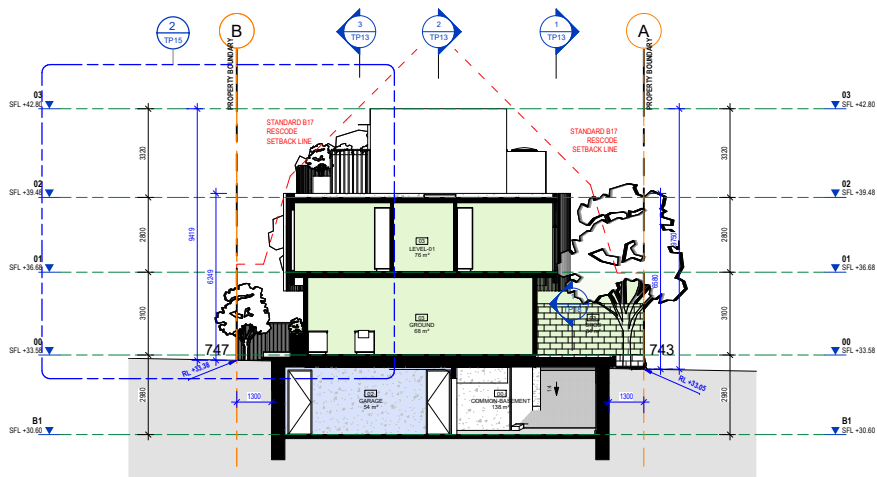
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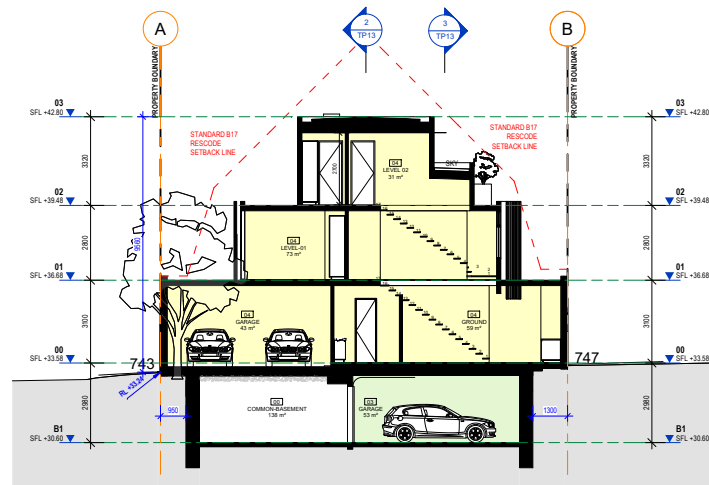
1 SHORT SECTION A
1 : 100



2 SHORT SECTION B
1 : 100



3 SHORT SECTION C
1 : 100

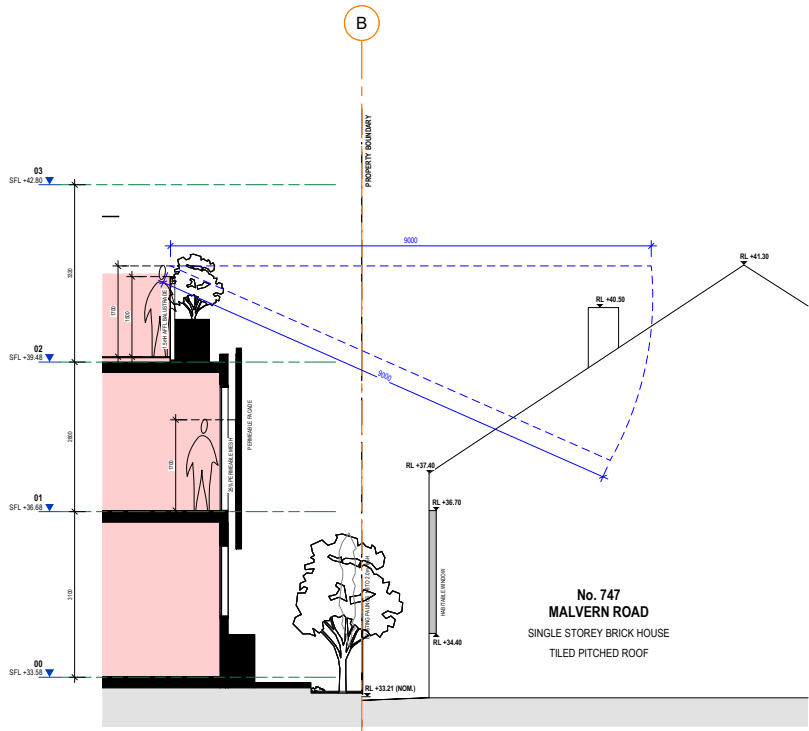


4 SHORT SECTION D
1 : 100

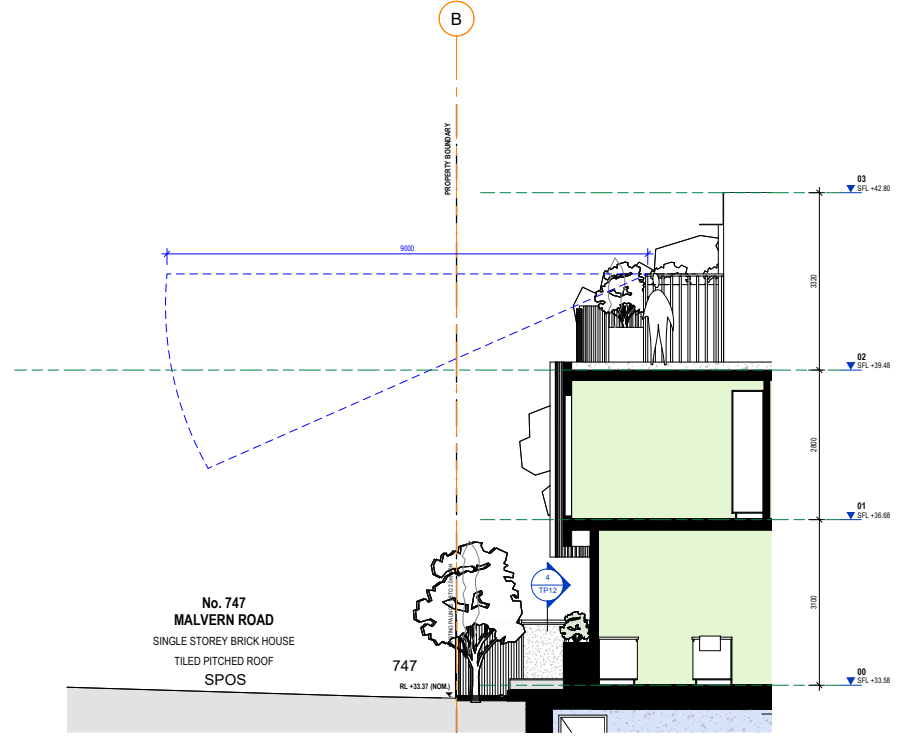
- 01
- 02
- 03
- 04

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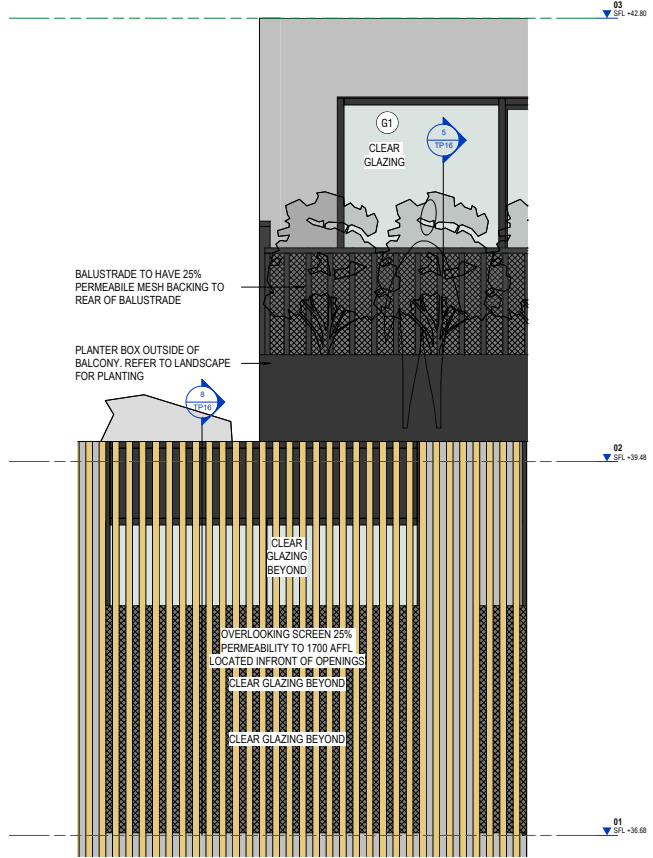
① SHORT SECTION B - 747 - NEIGHBOURING EXISTING HOUSE
1 : 50



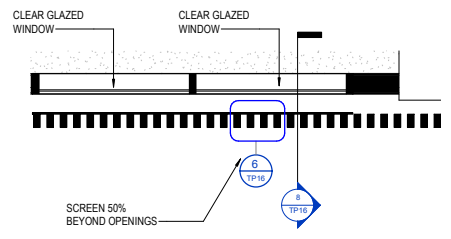
② SHORT SECTION B - 747 - NEIGHBOURING SPOS
1 : 50

TOWN PLANNING

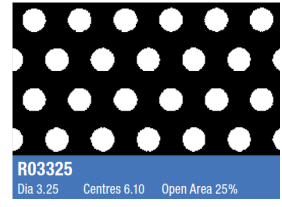
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1 OVERLOOKING DETAILS - ELEVATION
1 : 20

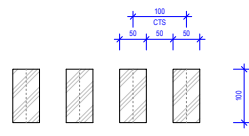


2 OVERLOOKING - SCREEN PLAN DETAIL
1 : 20

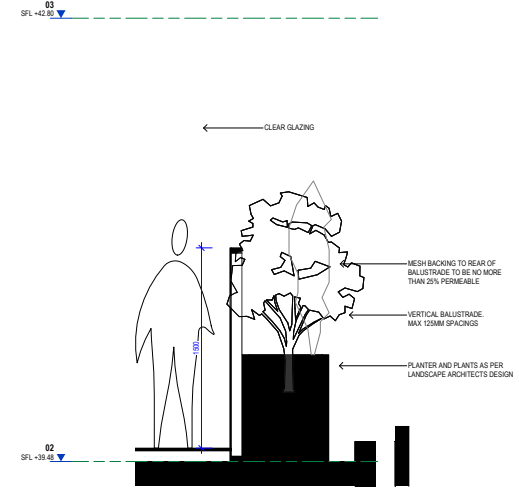


METAL MAX 25% TRANSPARENCY T IN ACCORDANCE WITH B22 STANDARD. LOCKER GROUP = R03325

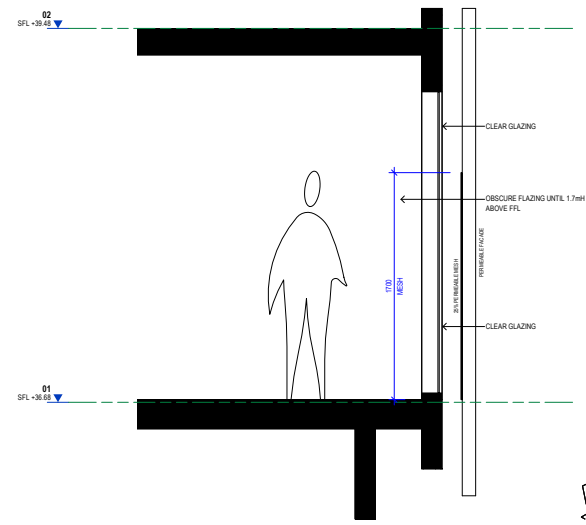
4 25% PERMEABLE MESH
1 : 200



6 50% SCREEN - PLAN DETAIL
1 : 5



5 OVERLOOKING - 1.7mH BALUSTRADE SECTION
1 : 20



8 OVERLOOKING - 1.7mH OBSCURE GLAZING SECTION
1 : 20

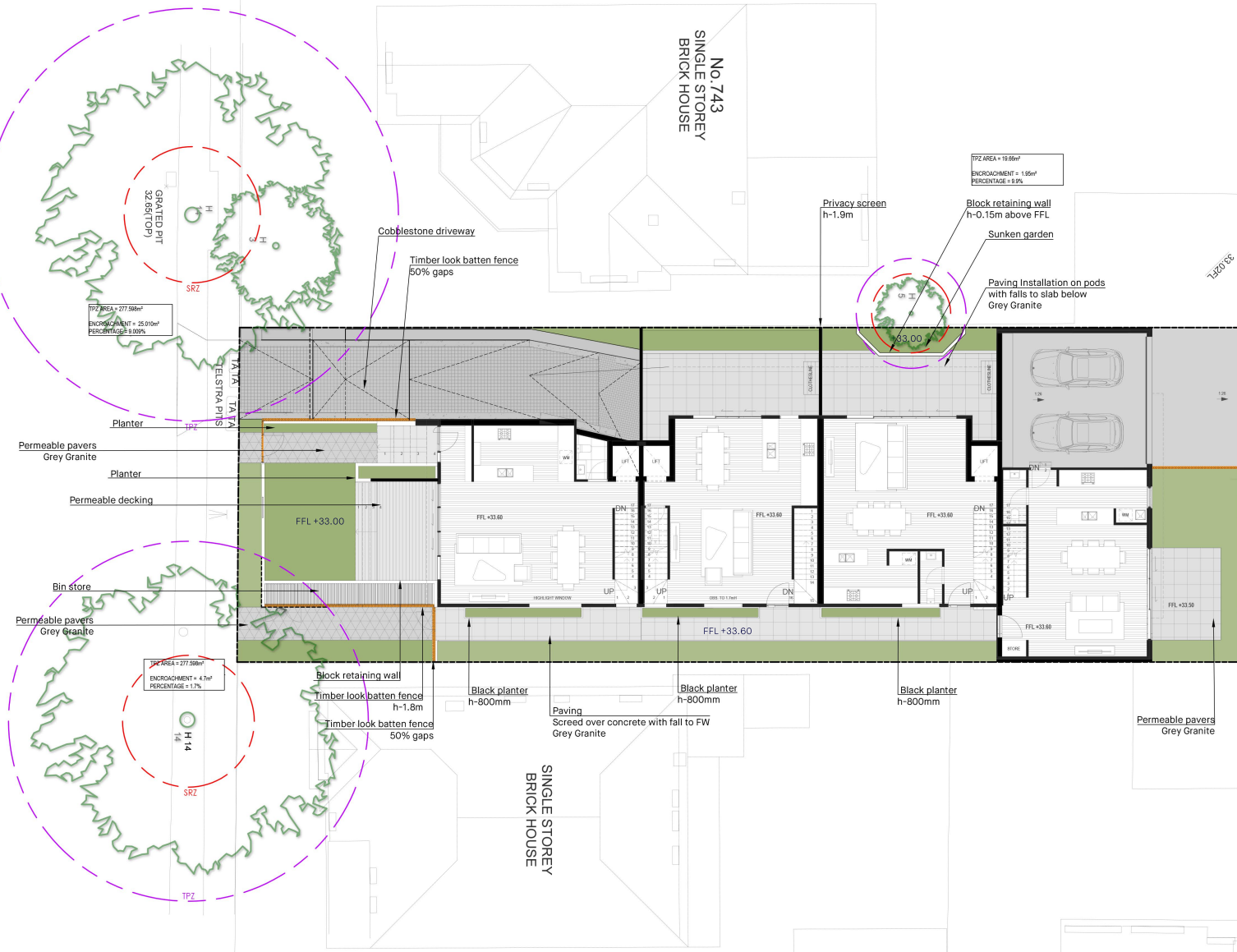
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MALVERN ROAD

NO. 743
SINGLE STOREY
BRICK HOUSE

SINGLE STOREY
BRICK HOUSE



Specification notes:

Set outs

Services shown on plan are indicative only. Do not scale from drawings. Figured dimensions shall supersede scaled drawings. Contractors shall locate all subsurface services prior to excavation and planting. If required, the contractor must contact the relevant electrical authority and apply for a permit prior to proceeding with works on site. Any discrepancies shall be immediately reported to superintendent.

Soil preparation

Any hazardous materials restrictive to plant growth to be removed from garden beds. Existing top soil in area is to be preserved where possible in order to avoid compaction from site machinery, and to be later used in nature strips, traffic island garden beds and tree planting areas. No rubble or supplies to be stored in these areas. Imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth. It is to be sandy loam with a pH of 6.0-7.0. Imported top soil is to be installed in a light and uniform manner with a minimum depth of 100mm in nature strips and 300mm in tree planting areas. All weeds are to be removed and any remaining vegetation is to be removed before planting occurs.

Planting

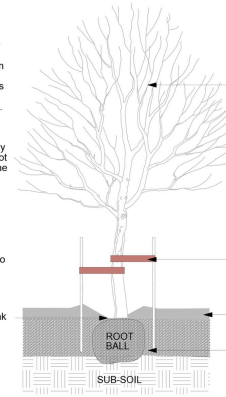
See planting design prior to installing plants. Once plants are delivered, contractors must take responsibility for watering plants to maintain their health. Planting are to be installed using accepted horticultural practices. Plants are to be thoroughly soaked with water immediately after planting. Plants sourced from nursery are to have large healthy root systems with no evidence of root curl or being pot-bound. All tree stocks to be used within this development to meet the Australian standard AS2303 2015 Tree stock for landscape use. Any weed-spraying to take place should occur at least two weeks before any planting. Plant tags, pots, or any other rubbish are to be disposed of following planting. Stakes are to be removed at planting unless stated otherwise or tree requires them.

Mulch

Mulch is to be an approved bark mulch and to have a thickness of at least 100mm thickness on garden beds, and 200mm thick around trees whilst keeping base of tree free from mulch so as to avoid collar rot. See diagram. 80% of mulch shall be between 20-35mm in size and no greater than 50mm. Mulch is to be free from weeds, soil, or any other debris.

NOTE:

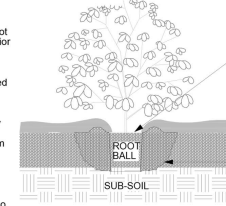
Width of planting hole is:
 3 times root ball diameter in highly compacted soil*
 2 times root ball diameter minimum in all others*
 *Where available planting space is available. Regularly check soil moisture of rootball with soil probe.
 Ensure trees are placed so as to match crown of root ball with surrounding surface level. Carefully prune off any girdling roots from root ball. Form soil ring berm beyond the circumference of the root ball to provide a watering saucer around the immediate crown of tree.
 Spreading specified mulch to tree surround at a minimum of 1.0m diameter from centre of tree.
 Immediately water planting regardless of weather conditions so as to ensure root ball is saturated.



TREE PLANTING SECTION

NOTE:

All trees to be healthy well grown specimens free of pests and diseases with acceptable root:shoot ratios. Trees to be well watered prior to planting.
 Cultivate entire garden bed soil to 200mm depth and spread approved imported topsoil if specified.
 Width of planting hole is:
 3 times root ball diameter in highly compacted soil.
 2 times root ball diameter minimum in all others.
 Do not excavate deeper than rootball.
 Immediately water planting regardless of weather conditions so as to ensure root ball is saturated.



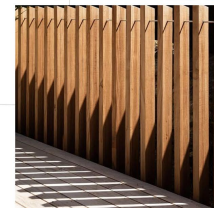
SHRUB PLANTING SECTION



BLACK PLANTER



GREY GRANITE



TIMBER LOOK BATTEN FENCE

AUSTIN
LANDSCAPE DESIGN

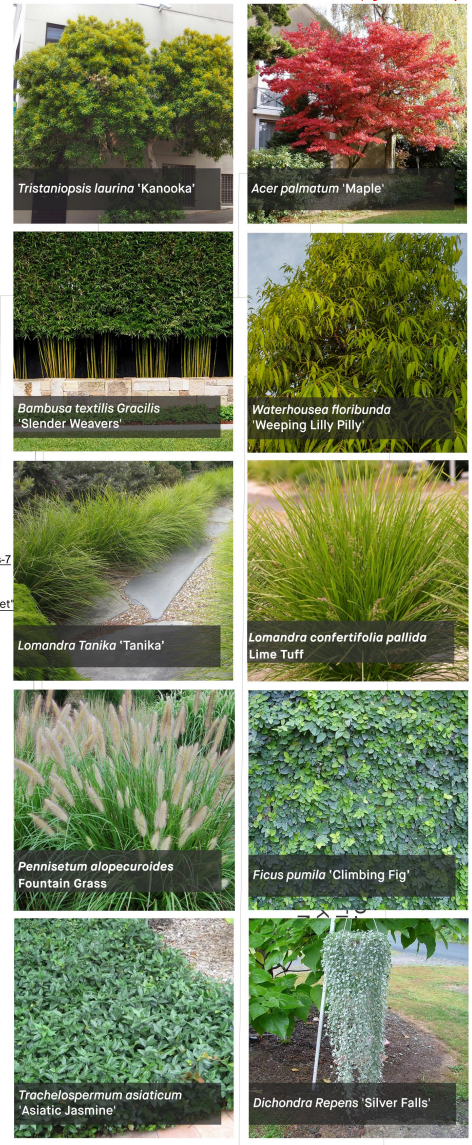
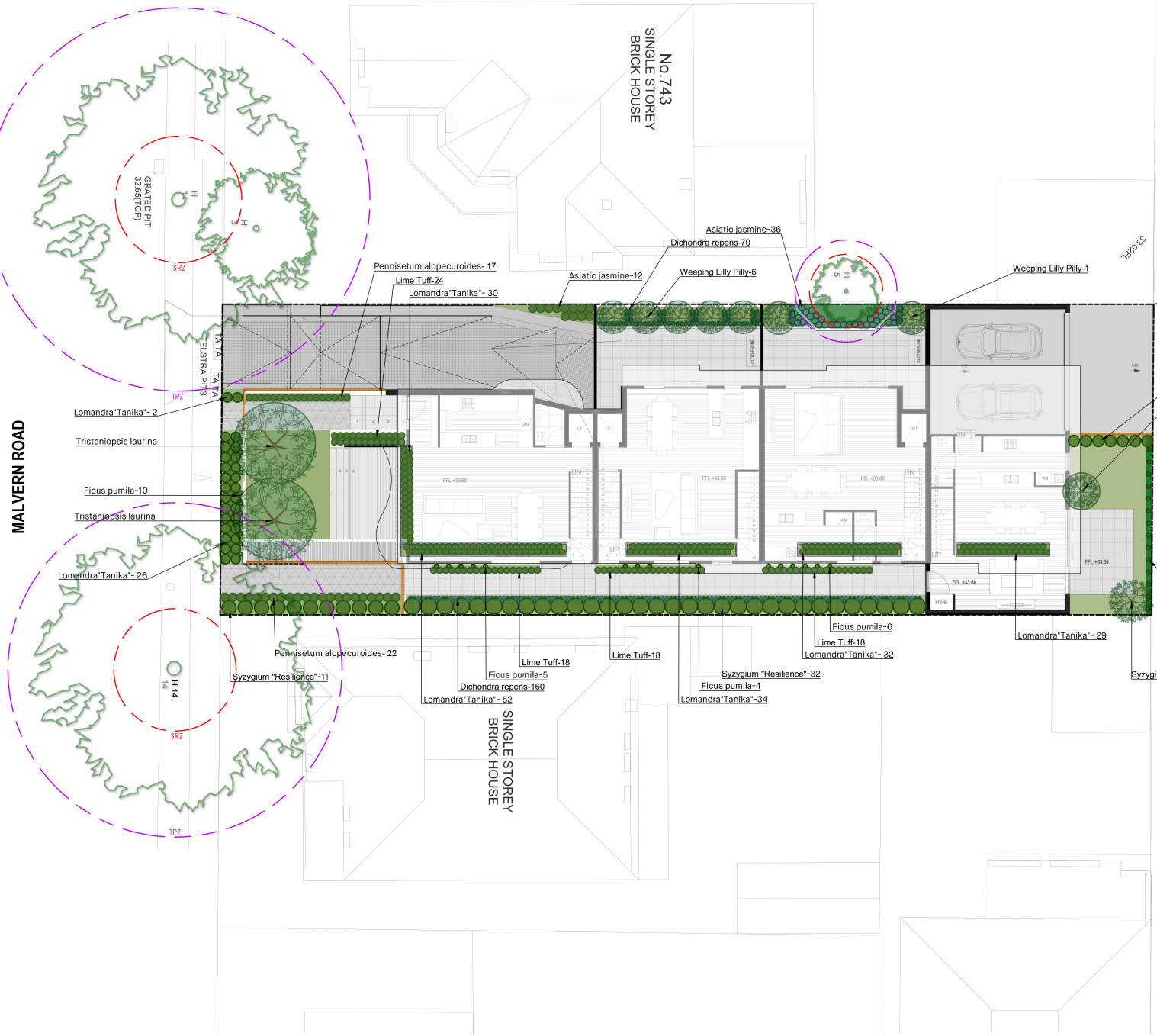
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND WORK LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. BEST BUILDING PRACTICES FOR ALL ELEMENTS ARE THE RESPONSIBILITY OF THE CONTRACTOR. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ANY ENGINEERING, COMPUTATIONS, WEIGHT RESTRICTIONS AND REQUIREMENTS SUPPLIED BY AN ENGINEER AND CHECKED PRIOR TO THE INSTALLATION OF ANY ELEMENTS AND IN CONJUNCTION WITH STRUCTURAL DRAWINGS. STORMWATER SHALL BE TAKEN TO A LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF ALL LOCAL AUTHORITIES. DO NOT SCALE FROM DRAWINGS.

DATE	REVISION	PROJECT	PROJ No.
DATE #	23.04.21	CONTR	
DATE #	1.10.21	CONTR	L1
DATE #	03.10.21	CONTR	
DATE #	03.10.21	CONTR	

745 Malvern Road, Toorak
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 Landscape Plan

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Plant List

ID	Qty	Common Name	Botanical Name	Pot Size	Mature Height	Mature Spread
TREES						
1	1	Japanese Maple "Garnet"	Acer palmatum "Garnet"	300 mm	2-2.5 m	3 m
2	1	Pinnacle Lilly Pilly	Syzygium australe "Pinnacle"	300 mm	6 m	2-3 m
3	2	Water Gum	Tristaniopsis laurina	300 mm	5-15 m	3-6 m
SHRUBS / DECORATIVE GRASSES						
4	7	Slender Weavers	Bambusa textilis Gracilis	200 mm	2-4 m	1 m
5	205	Tanika	Lomandra Tanika	140 mm	0.6m	0.5-0.7m
6	78	Lime Tuff	Lomandra confertifolia pallida	140 mm	0.4-0.6m	0.5 m
7	48	Asiatic Jasmine	Trachelospermum asiaticum	140 mm	0.2 m	0.3-0.5 m
8	43	Resilience Lilly Pilly	Syzygium australe "Resilience"	200 mm	3-4 m	1-2 m
9	7	Weeping Lilly Pilly	Waterhousea floribunda	300 mm	10 m	5-10 m
10	39	Fountain Grass	Pennisetum alopecuroides	200 mm	0.6-1.0m	0.5-0.7m
11	230	Silver Falls	Dichondra repens	140 mm	0.2 m	0.3-0.5 m
CLIMBING PLANTS						
12	139	Climbing Fig	Ficus pumila	140 mm		