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727-729 Toorak Road, Kooyong

★ = Objector Property

Date printed: 26/05/2021

Scale: 1:1672



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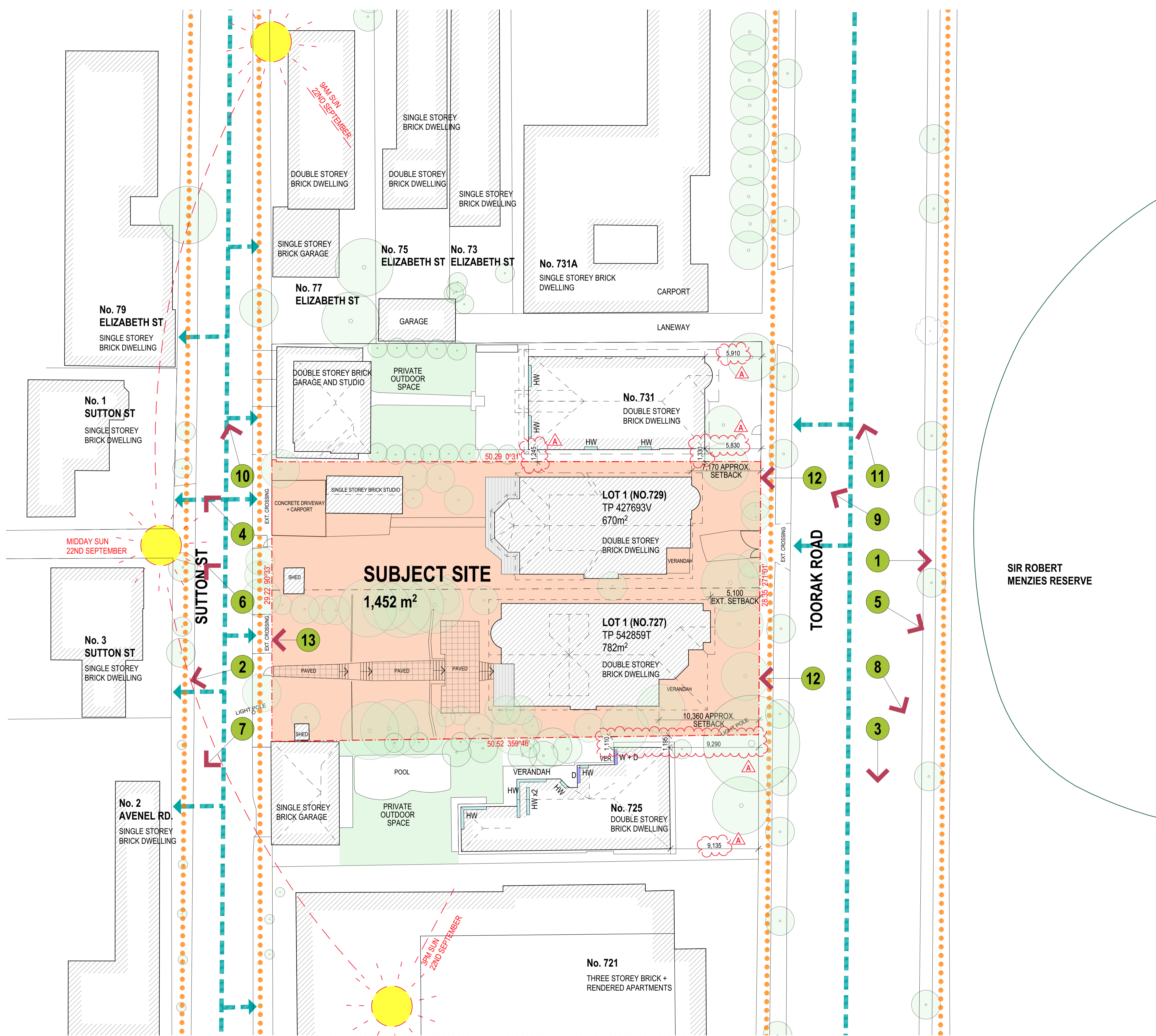
TOWN PLANNING APPLICATION

**727-729 TOORAK ROAD,
KOOYONG, VIC**

PROPOSED MULTI - RESIDENTIAL DEVELOPMENT

August 2020

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SITE DESCRIPTION

THE SUBJECT SITE IS KNOWN AS 727-729 TOORAK ROAD, KOOYONG.

THE SITE IS A COMBINATION OF TWO ROUGHLY RECTANGULAR LOTS WITH DUAL ACCESS FROM SUTTON STREET AND TOORAK ROAD.

OVERALL SITE DIMENSIONS ARE:

- NORTHERN BOUNDARY 28.35m
- SOUTHERN BOUNDARY 29.22m
- WESTERN BOUNDARY 50.52m
- EASTERN BOUNDARY 50.29m

THESE DIMENSIONS ARE OVERALL; REFER TO SITE SURVEY FOR PARTICULARS.

THE LAND IS CURRENTLY OCCUPIED BY TWO DOUBLE STOREY BRICK DWELLINGS. THE SITE AREA IS 1,452m².

THE SITE IS LOCATED IN THE KOOYONG GENERAL RESIDENTIAL ZONE AND HERITAGE OVERLAY, WITH HIGH LEVELS OF AMENITY AND STREET ACTIVITY IN THE IMMEDIATE URBAN CONTEXT.

LEGEND

- EXISTING BUILDING /STRUCTURE
 - HABITABLE WINDOW
 - WINDOW /DOOR
 - EXISTING TREE
 - PEDESTRIAN ACCESS
 - VEHICULAR ACCESS
- 1 SIR ROBERT MENZIES RESERVE 51m
 - 2 SIR ZELMAN COWEN PARK 700m
 - 3 TOORAK ROAD STOP No63 450m
 - 4 BIALIK COLLEGE 750m
 - 5 LAURISTON GIRLS' SCHOOL 1,8km
 - 6 AUBURN SOUTH PRIMARY SHOOOL 1,4km
 - 7 KOOYONG STATION 1km
 - 8 MARGARET'S KINDERGARTEN 450m
 - 9 MONASH FREEWAY 600m
 - 10 ALIA COLLEGE 1km
 - 11 STOCKLAND TOORONGA SHOPPING CENTRE 800m
 - 12 EXTISTING 2M HIGH BRICK FENCE ALONG TOORAK RD.
 - 13 EXTISTING 2M HIGH TIMBER FENCE

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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC

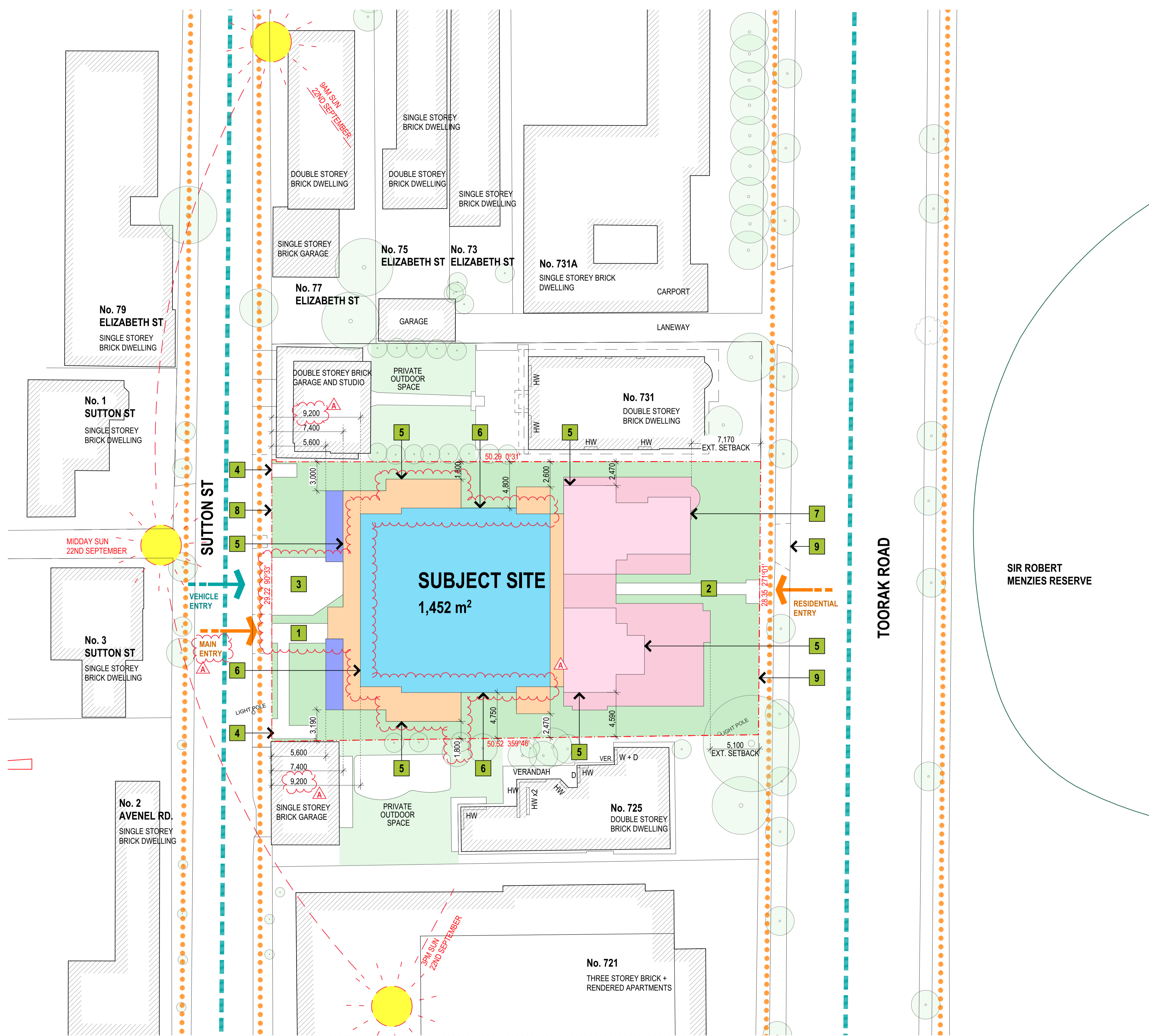
DRAWING TITLE **SITE ANALYSIS**

SCALE 1:200@A1
 1:400@A3

DATE **AUG. 2020**
 JOB NO. **19017**

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LEGEND

- HABITABLE WINDOW
- WINDOW
- EXISTING TREE
- PEDESTRIAN ACCESS
- VEHICULAR ACCESS
- 1** MAIN ENTRY OFF SUTTON STREET
- 2** SECONDARY ENTRY OFF TOORAK ROAD
- 3** VEHICULAR ACCESS VIA. SUTTON STREET
- 4** PRIVATE ENTRY TO GROUND FLOOR UNITS
- 5** UPPER LEVEL SETBACK TO REDUCE READING OF BUILT FORM AND LIMIT OVERSHADOWING
- 6** TOP LEVEL SETBACK AT SUTTON STREET TO REDUCE READING OF BUILT FORM AND LIMIT OVERSHADOWING
- 7** EXISTING UPPER LEVEL SETBACK TO RETAIN EXISTING FABRIC
- 8** EXISTING CROSSOVER TO BE REMOVED AND REINSTATED
- 9** EXISTING CROSSOVER TO BE REMOVED ON TOORAK RD.
- 10** EXISTING 2M HIGH BRICK FENCE TO BE RETAINED ALONG TOORAK RD.

- VEHICULAR / PEDESTRIAN ACCESS
- GROUND FLOOR AT SUTTON STREET
- FIRST FLOOR AT SUTTON STREET
- SECOND FLOOR AT SUTTON STREET
- GROUND FLOOR AT TOORAK ROAD (PARTIAL OF EXISTING HOUSE)
- FIRST FLOOR AT TOORAK ROAD (PARTIAL OF EXISTING HOUSE)

NOTE:
EXTERIOR BUILDING OUTLINE ONLY. BALCONY EXCLUDED.

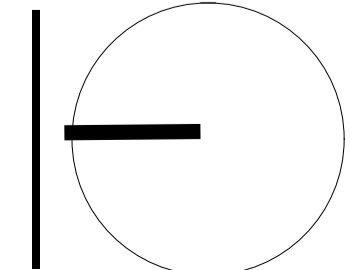


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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **DESIGN RESPONSE PLAN**



SCALE	1:200@A1 1:400@A3	DATE	AUG. 2020
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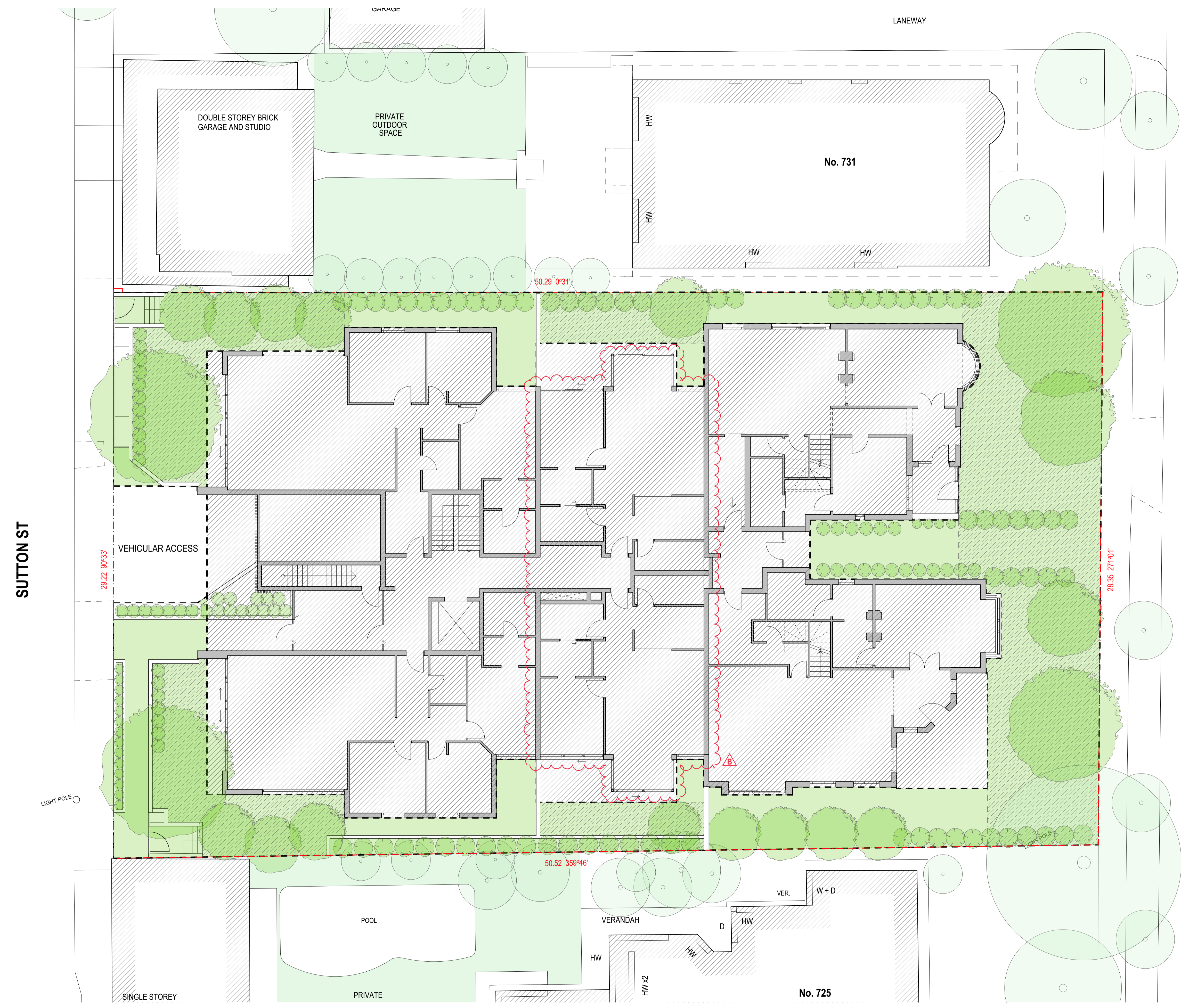
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SITE INFORMATION	
SITE AREA:	1,452m ²
SITE COVERAGE:	880.8m ² (60.7%)
PERMEABLE AREA:	439.8m ² (30.3%)
GARDEN AREA:	521.7m ² (35.9%)

LEGEND

- PROPOSED GARDEN AREA
- PROPOSED COVER AREA
- DEEP SOIL AREA (DEEP SOIL AREA = 329.7m² (22.7% > 7.5% OF SITE))
- EXISTING TREE
- PROPOSED NEW TREE
- PROPOSED NEW SHRUB

NOTE:
REFER TO LANDSCAPE PLAN FOR DETAILS.



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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC

DRAWING TITLE **PROPOSED GARDEN AREA DIAGRAM**

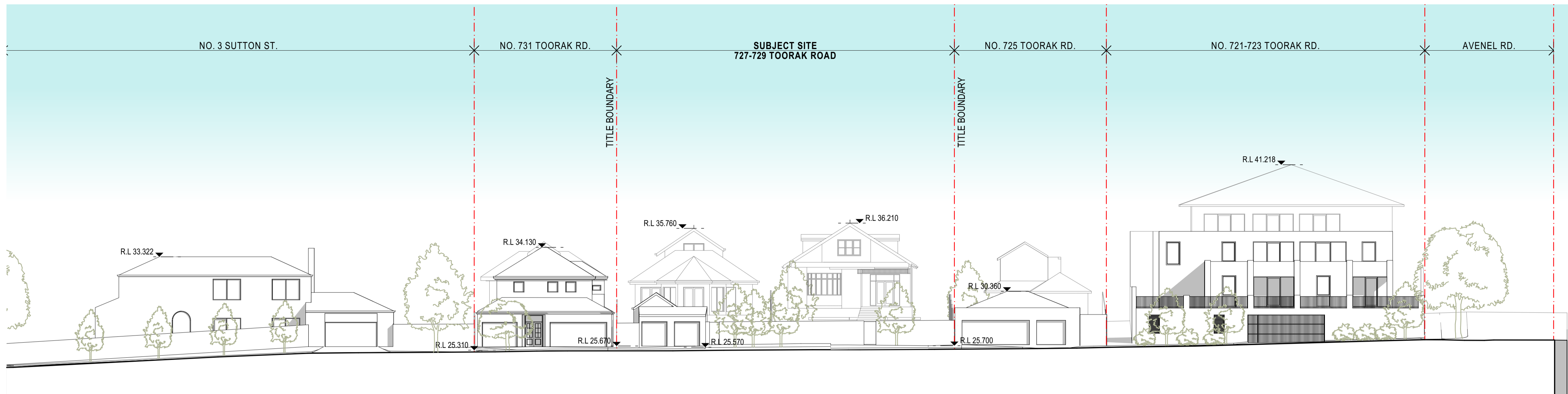
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DATE **OCT. 2020**
JOB NO. **19017**

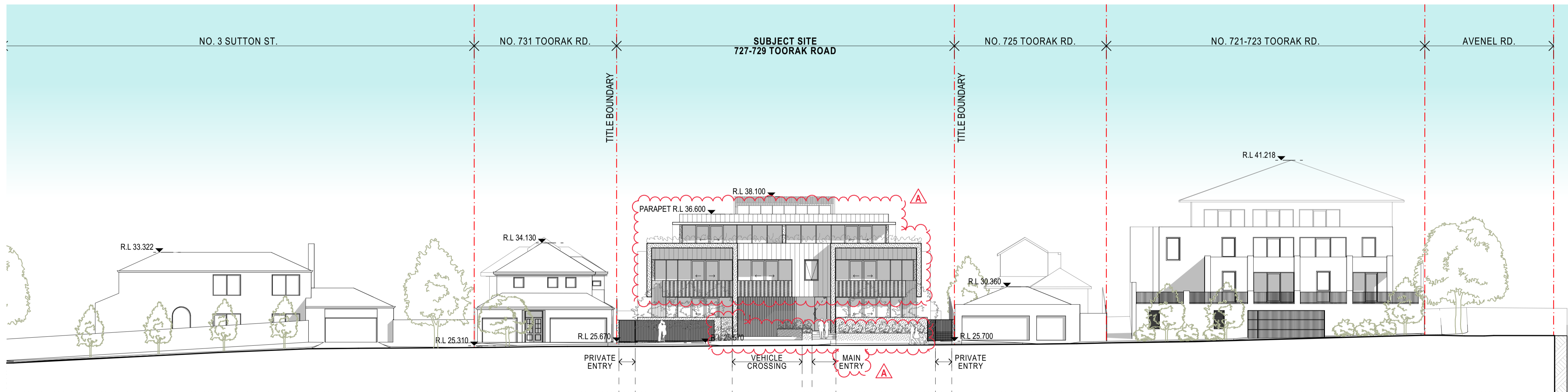
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EXISTING STREETScape ELEVATION - SUTTON STREET



PROPOSED STREETScape ELEVATION - SUTTON STREET



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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC

DRAWING TITLE **STREETScape ELEVATIONS**

SCALE	1:200@A1 1:400@A3	DATE	AUG. 2020
DRAWN	NZ	DWG NO.	TP3.04
CHECKED	RF	REV.	A (12/08/2020)
		JOB NO.	19017

CONCEPT + FORM

The architecture is an aggregated intersection of verticality, floating planes, punctuated projections and negative spaces. These elements are dispersed through functions of privacy, identity and amenity whilst held together by a minimalistic formalism. Lush landscaping elements bind the architecture in a tapestry of growth and life.

These new insertions sit sedately behind the existing structures along Toorak Road - subservient but lending a glimpse of modernity.



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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE
 DESIGN: CONCEPT + FORM

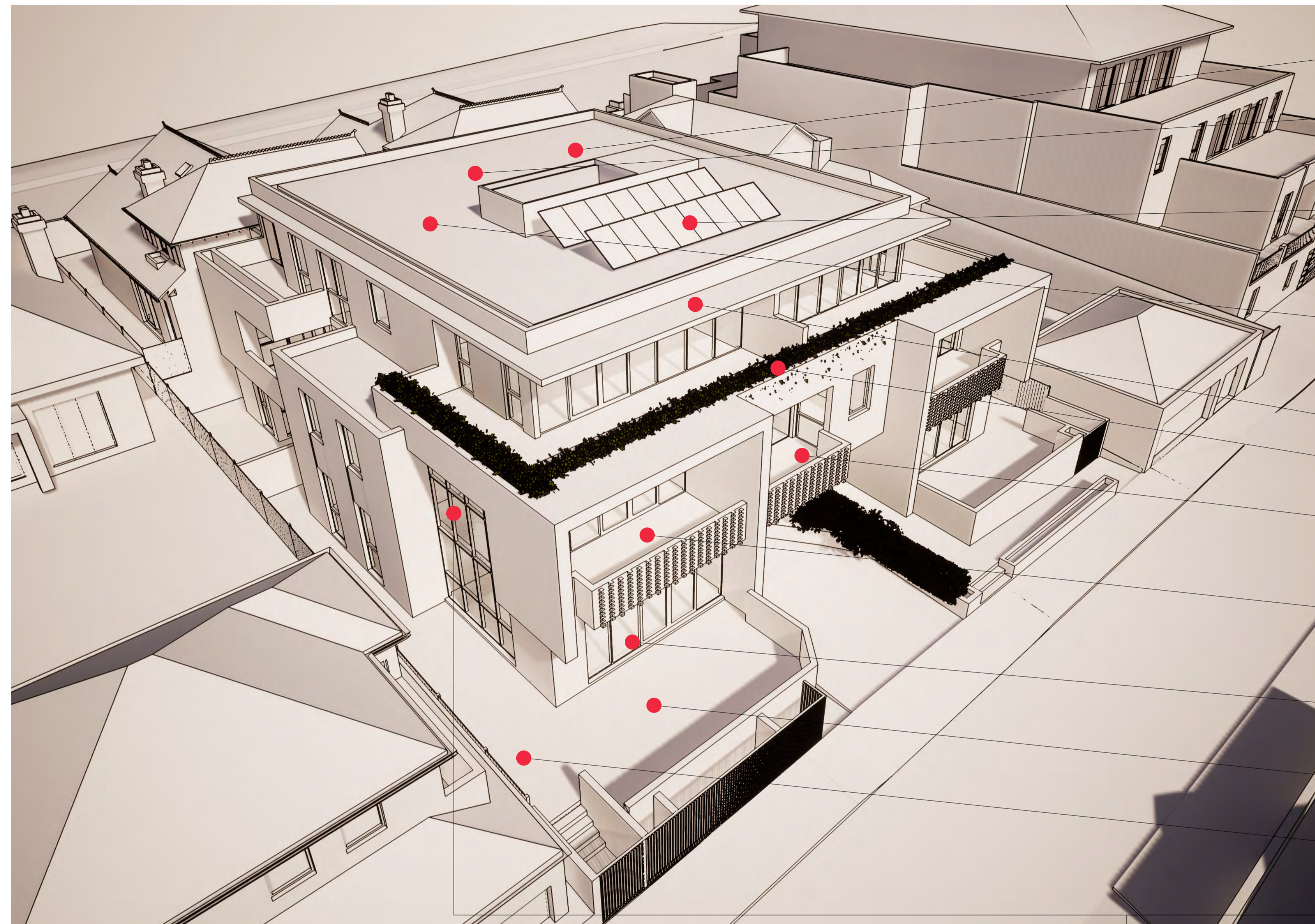
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SUSTAINABILITY + MATERIALITY

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KEY MATERIALS

-  FACEBRICK TYPE 1
-  FACEBRICK TYPE 2 "TESSELLATED"
-  RENDER FINISH
-  ZINC CLADDING



ESD: ACTIVE + PASSIVE

- RAINWATER HARVESTING
- CENTRAL HEAT ELECTRIC PUMP HOT WATER SERVICE
- 4KW SOLAR PHOTOVOLTAIC PANELS TO PROVIDE POWER FOR COMMON-AREA USE
- SELECTED AIR-CONDITIONING CONDENSORS TO BE LOCATED ON ROOF TO INCREASE ACOUSTIC COMFORT LEVELS AND OCCUPANT AMENITY
- LIGHT-COLOURED ROOF TO REDUCE HEAT GAIN
- "GREEN" EDGES
- BUILDING INDENTATIONS AND OPEN CORNERS TO FACILITATE INCREASED SOLAR ACCESS AND CROSS-VENTILATION
- NORTH-FACING AND/OR WRAP AROUND LIVING AREAS AND BALCONIES AS MUCH AS PRACTICABLE
- AVERAGE 6.7-STAR ENERGY RATINGS TO APARTMENTS
- ONE BICYCLE SPACE PER APARTMENT
- PERMEABLE GROUND SURFACES
- MOTORISED EXTERNAL ROLLER BLINDS WITH SELECTED COLOUR TO EAST AND WEST ELEVATIONS TO REDUCE HEAT GAIN



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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE
 DESIGN: SUSTAINABILITY + MATERIALITY

SCALE	DATE	DATE
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **VISUAL AIDS**

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A	12/08/2020	TOWN PLANNING RFI

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE
 VISUAL AIDS

SCALE		DATE
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 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE
VISUAL AIDS

SCALE		DATE
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TOORAK RD. AERIAL VIEW



SUTTON ST. AERIAL VIEW



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 727-729 TOORAK ROAD, KOOYONG, VIC
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 VISUAL AIDS

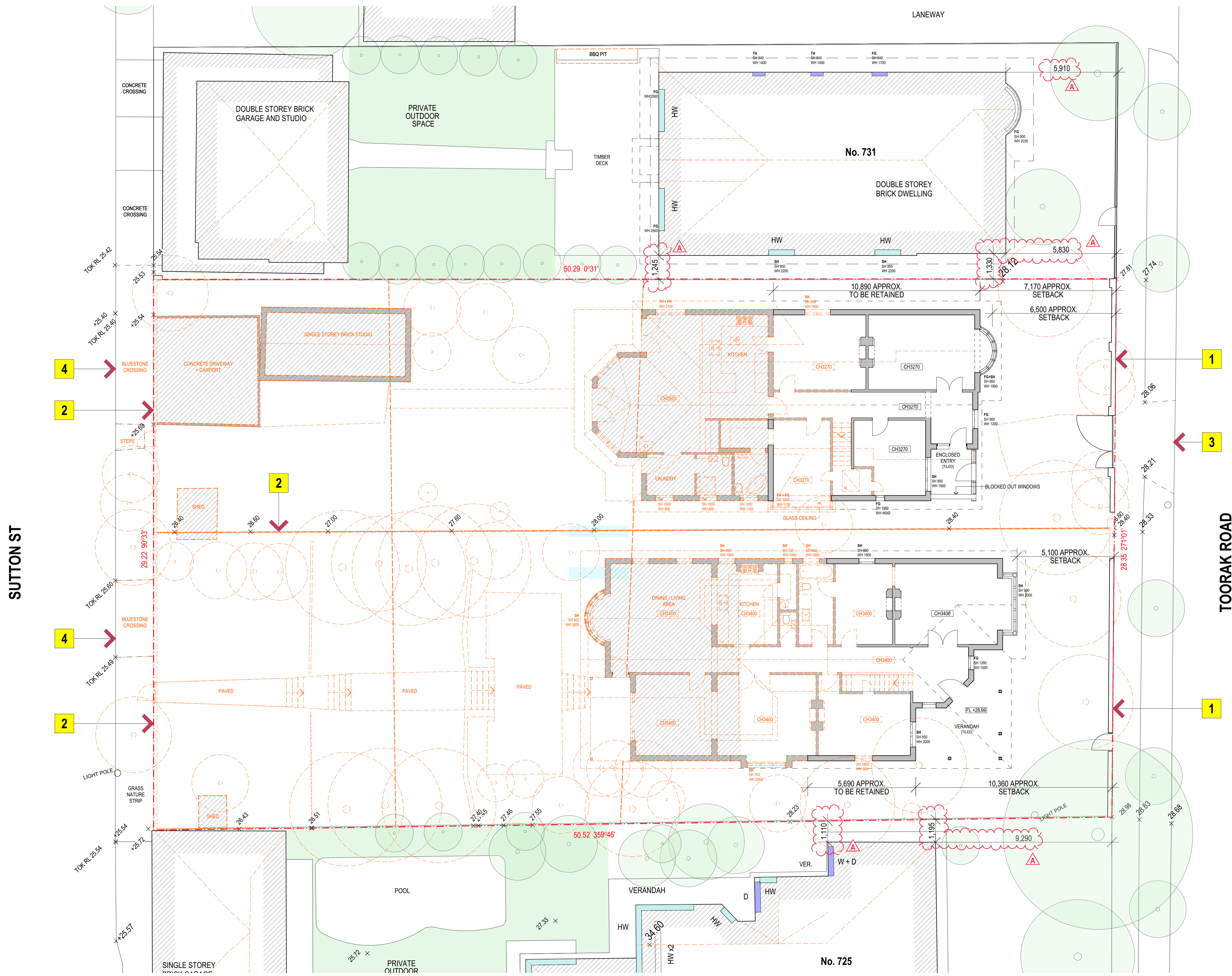
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- SL SKYLIGHT
- CHXXXX CEILING HEIGHT (MM)
- FP FIREPLACE
- FG FIXED GLASS WINDOW
- SH SINGLE HUNG WINDOW
- TH TOP HUNG WINDOW
- HW NEIGHBORING HABITABLE WINDOW
- D NEIGHBORING DOOR
- EXISTING TREES
- WALL HEIGHT MEASUREMENT
- MEASURED TO INTERNAL SPRINGING POINT
- SILL HEIGHT MEASUREMENT
- MEASURED FROM INTERNAL FFL
- WINDOW HEIGHT MEASUREMENT
- MEASURED OPENING

DEMOLITION LEGEND

- EXISTING BUILDING /STRUCTURE TO BE RETAINED
- EXISTING BUILDING /STRUCTURE TO BE DEMOLISHED. (EXT. BRICKS AND ROOF TILES TO BE RE-USED)
- EXISTING TREE
- EXISTING TREE TO BE REMOVED
- EXISTING 2M BOUNDARY BRICK FENCE TO BE RETAINED (ALONG TOORAK RD.)
- EXISTING BOUNDARY TIMBER FENCE TO BE DEMOLISHED (ALONG SUTTON ST.)
- EXISTING CROSSING TO BE REMOVED AND AND REINSTATED (ALONG TOORAK RD.)
- EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG SUTTON ST.)



SUTTON ST

TOORAK ROAD

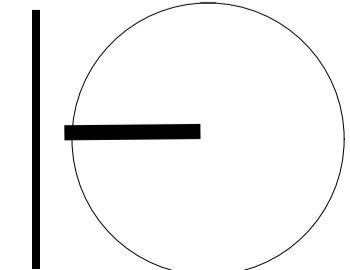


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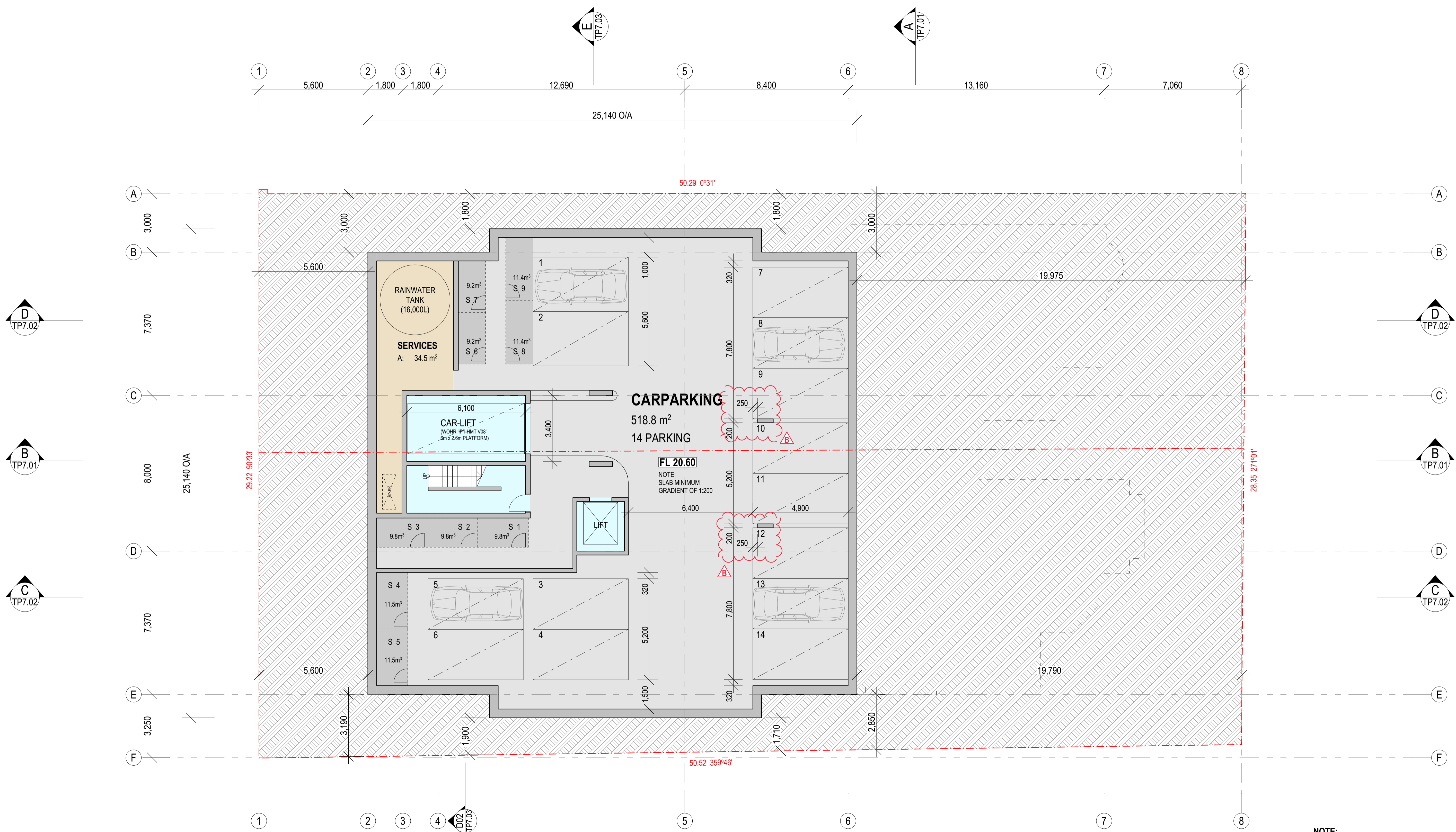
Rev. ID	Issue Date	Issue Name
-	21/04/2020	TOWN PLANNING
A	12/08/2020	TOWN PLANNING (RF)

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **EXISTING /DEMOLITION PLAN - GROUND FLOOR**



SCALE	1:100@A1 1:200@A3	DATE	AUG. 2020
DRAWN	NZ	DWG NO.	TP4.01
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NOTE:

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- COLLECTED WATER FROM R.W.T TO BE USED FOR ALL TOILETS.



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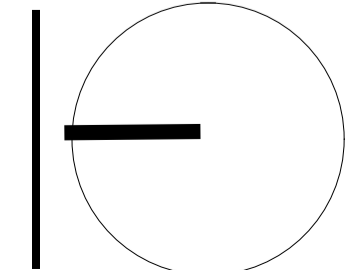
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC

DRAWING TITLE **BASEMENT 2 FLOOR PLAN**



SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	JOB NO.	19017
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LEGEND

11 PROPOSED RETAINING WALL

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No. 79 ELIZABETH ST

No. 1 SUTTON ST

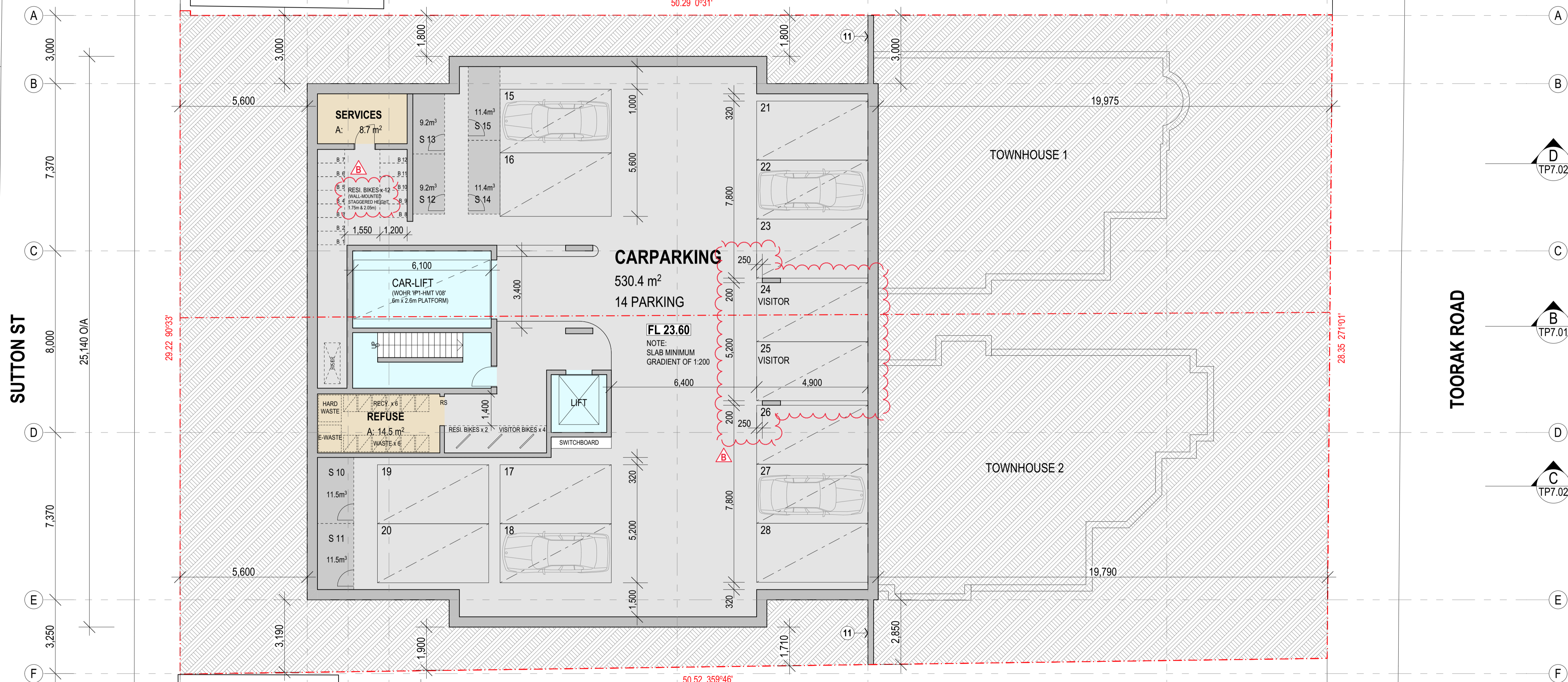
No. 3 SUTTON ST

GARAGE

LANEWAY

No. 731

No. 725



NOTE:

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- COLLECTED WATER FROM R.W.T TO BE USED FOR ALL TOILETS.

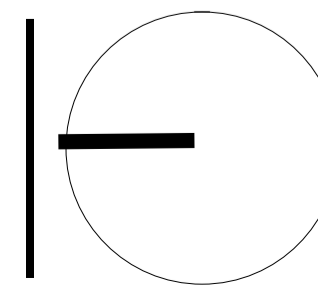


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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **BASEMENT 1 FLOOR PLAN**



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1:200@A3	JOB NO. 19017
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No. 79
ELIZABETH ST

SINGLE STOREY
BRICK DWELLING

No. 1
SUTTON ST

SINGLE STOREY
BRICK DWELLING

No. 3
SUTTON ST

SINGLE STOREY
BRICK DWELLING

No. 2
AVENEL RD.



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B	7/10/2020	TOWN PLANNING RFI 2nd

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **GROUND FLOOR PLAN (SUTTON ST.)**

LEGEND

- 1 NEW VEHICLE CROSSOVER TO AUTHORITIES REQUIREMENTS
- 2 EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG TOORAK RD.)
- 3 EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- 4 EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG SUTTON ST.)
- 5 ALUMINIUM GATE WITH VERTICAL BATTENS
- 6 VENTILATED CAR-LIFT ACCESS GATE
- 7 FIXED ALUMINIUM PRIVACY SCREEN DEVICE MAX. 25% OPENINGS - "BRONZE"
- 8 AIR-CONDITIONING CONDENSORS
- 9 PROPOSED VERTICAL GARDEN /LANDSCAPE
- 10 PROPOSED NEW 1.6M HIGH FENCE
- 11 PROPOSED RETAINING WALL
- 14 PROPOSED NEW 1.5M HIGH FENCE
- 15 OBSTRUCTIONS NO MORE THAN 900MM HEIGHT

NOTE:
- ALL THE WINDOWS TO BE DOUBLE GLAZED.
- ALL INTERNAL DOORS OF HABITABLE ROOMS TO BE PROVIDED WITH DOOR CATCHES.



SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP5.03
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No. 79 ELIZABETH ST

No. 1 SUTTON ST

No. 3 SUTTON ST

SUTTON ST

TOORAK ROAD

LEGEND

- 1 NEW VEHICLE CROSSOVER TO AUTHORITIES REQUIREMENTS
- 2 EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG TOORAK RD.)
- 3 EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- 4 EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG SUTTON ST.)
- 5 ALUMINIUM GATE WITH VERTICAL BATTENS
- 6 VENTILATED CAR-LIFT ACCESS GATE
- 7 FIXED ALUMINIUM PRIVACY SCREEN DEVICE MAX. 25% OPENINGS - "BRONZE"
- 8 AIR-CONDITIONING CONDENSORS
- 9 PROPOSED VERTICAL GARDEN /LANDSCAPE
- 10 PROPOSED NEW 1.6M HIGH FENCE
- 11 PROPOSED RETAINING WALL
- 16 MOTORISED EXTERNAL ROLLER BLIND RECESSED WITH PELMET IN SOFFIT EAVE OR BULKHEAD WITH SELECTED FABRIC COLOUR

NOTE:

- ALL THE WINDOWS TO BE DOUBLE GLAZED.
- ALL INTERNAL DOORS OF HABITABLE ROOMS TO BE PROVIDED WITH DOOR CATCHES.



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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **FIRST FLOOR PLAN (SUTTON ST.) & GROUND FLOOR PLAN (TOORAK RD.)**

SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP5.04
CHECKED	RF	REV.	B (7/10/2020)
		JOB NO.	19017

LEGEND

- ① NEW VEHICLE CROSSOVER TO AUTHORITIES REQUIREMENTS
- ② EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG TOORAK RD.)
- ③ EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- ④ EXISTING CROSSING TO BE REMOVED AND REINSTATED (ALONG SUTTON ST.)
- ⑤ ALUMINIUM GATE WITH VERTICAL BATTENS
- ⑥ VENTILATED CAR-LIFT ACCESS GATE
- ⑦ FIXED ALUMINIUM PRIVACY SCREEN DEVICE MAX. 25% OPENINGS - "BRONZE"
- ⑧ AIR-CONDITIONING CONDENSORS
- ⑨ PROPOSED VERTICAL GARDEN /LANDSCAPE
- ⑩ PROPOSED NEW 1.6M HIGH FENCE
- ⑪ PROPOSED RETAINING WALL
- ⑫ PROPOSED POWDERCOATED ALUMINIUM PLANT SCREEN - "BRONZE"
- ⑬ MOTORISED EXTERNAL ROLLER BLIND RECESSED WITH PELMET IN SOFFIT LEAVE OR BULKHEAD WITH SELECTED FABRIC COLOUR

NOTE:

- ALL THE WINDOWS TO BE DOUBLE GLAZED.
- ALL INTERNAL DOORS OF HABITABLE ROOMS TO BE PROVIDED WITH DOOR CATCHES.

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No. 79 ELIZABETH ST

No. 1 SUTTON ST

No. 3 SUTTON ST



SUTTON ST

TOORAK ROAD

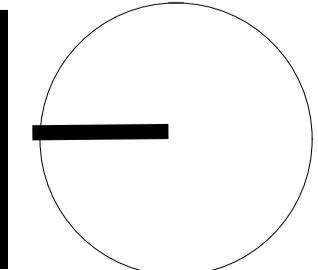


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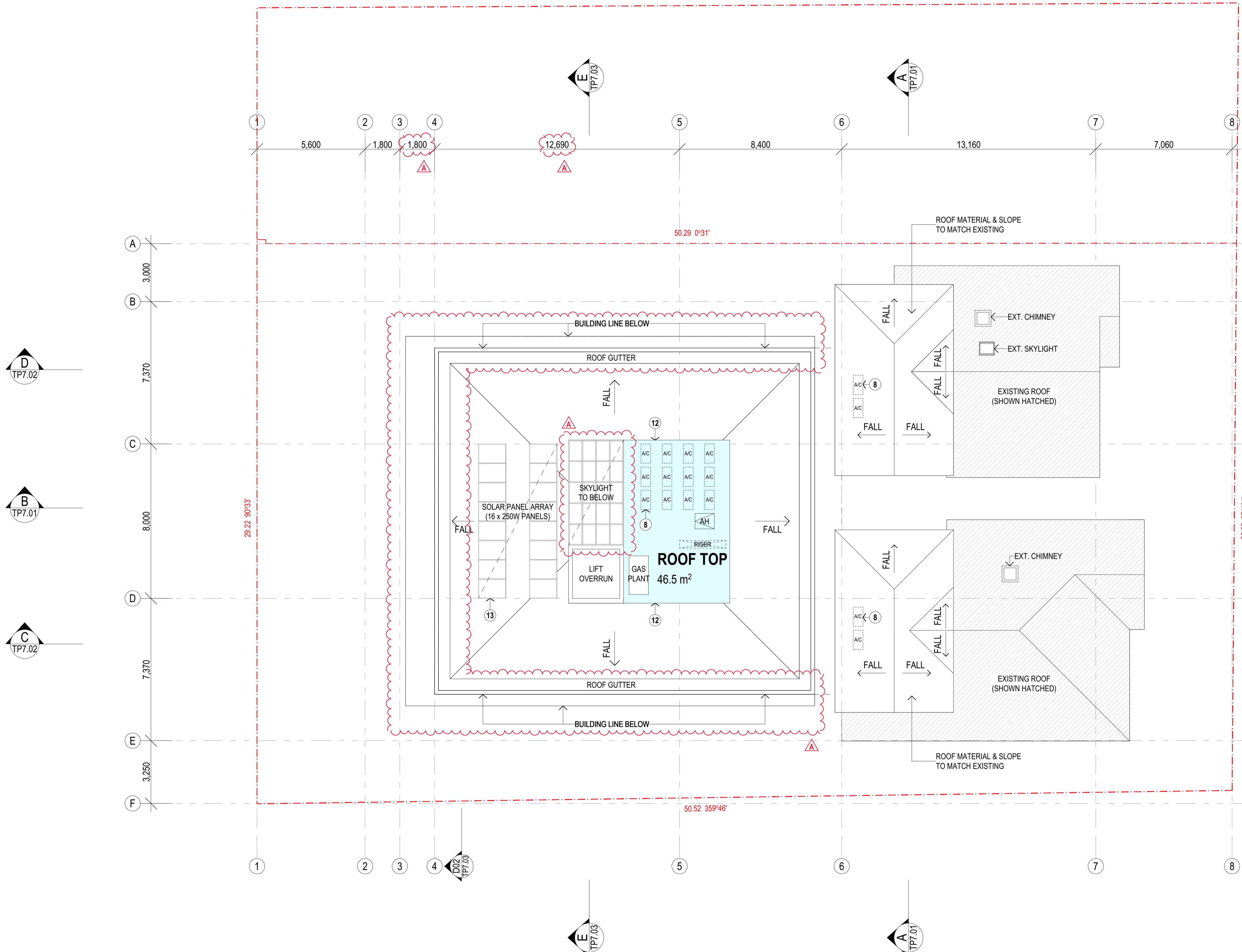
PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **SECOND FLOOR PLAN (SUTTON ST.) & FIRST FLOOR PLAN (TOORAK RD.)**



SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	JOB NO.	19017
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		REV.	B (7/10/2020)

LEGEND

- ⑧ AIR-CONDITIONING CONDENSORS
- ⑫ PROPOSED POWDERCOATED ALUMINIUM PLANT SCRREN - 'BRONZE'
- ⑬ SOLAR PANEL ARRAY



NOTE:
TOTAL 732m² ROOF AREA TO BE CONNECTED TO PROPOSED R.W.T.

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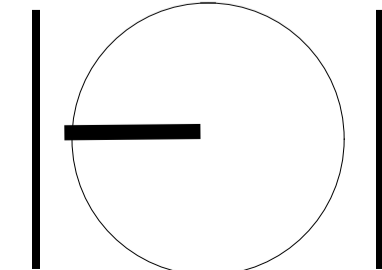


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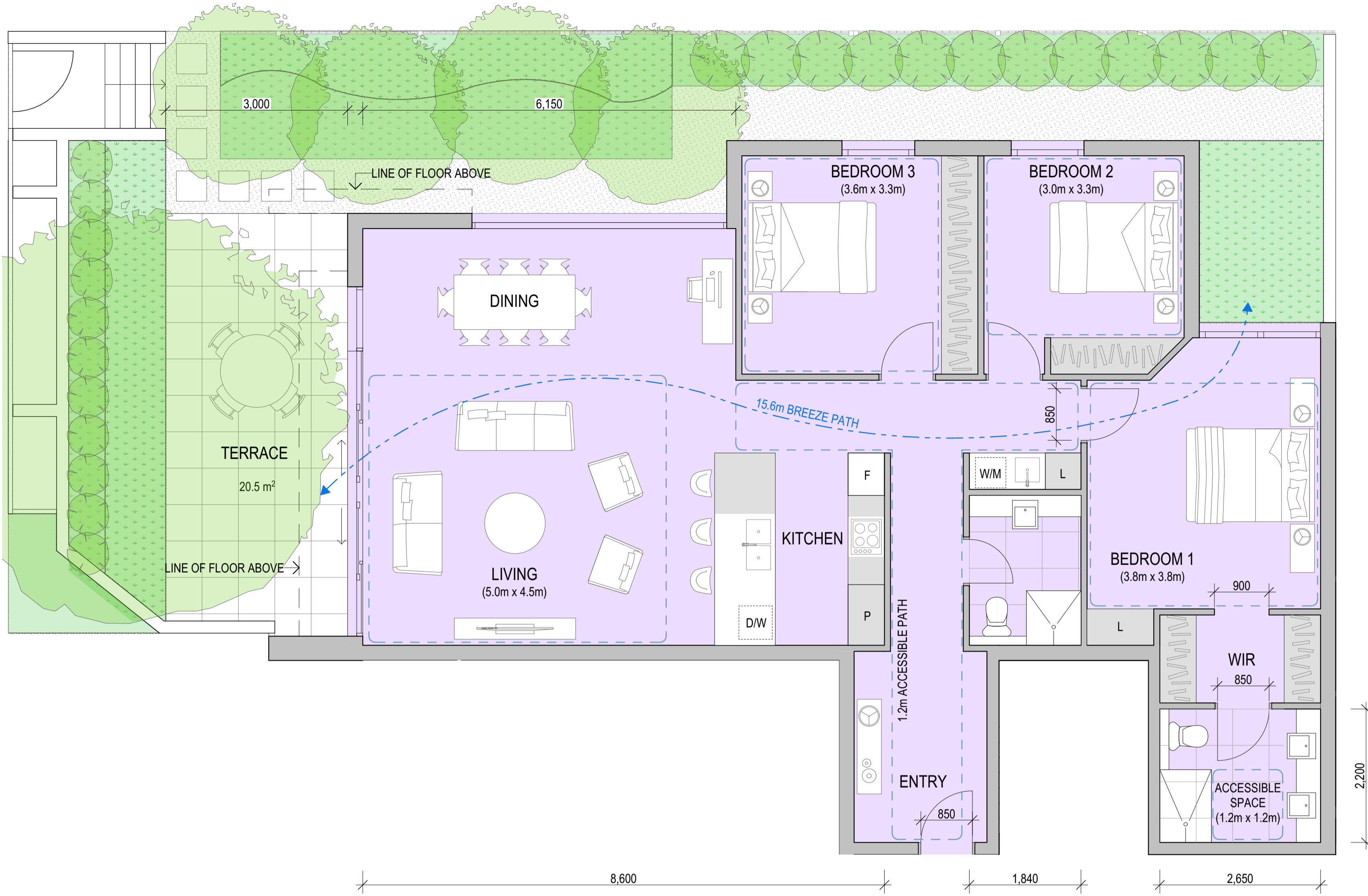
Rev. ID	Issue Date	Issue Name
-	21/04/2020	TOWN PLANNING
A	12/08/2020	TOWN PLANNING RFI

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **ROOF PLAN**



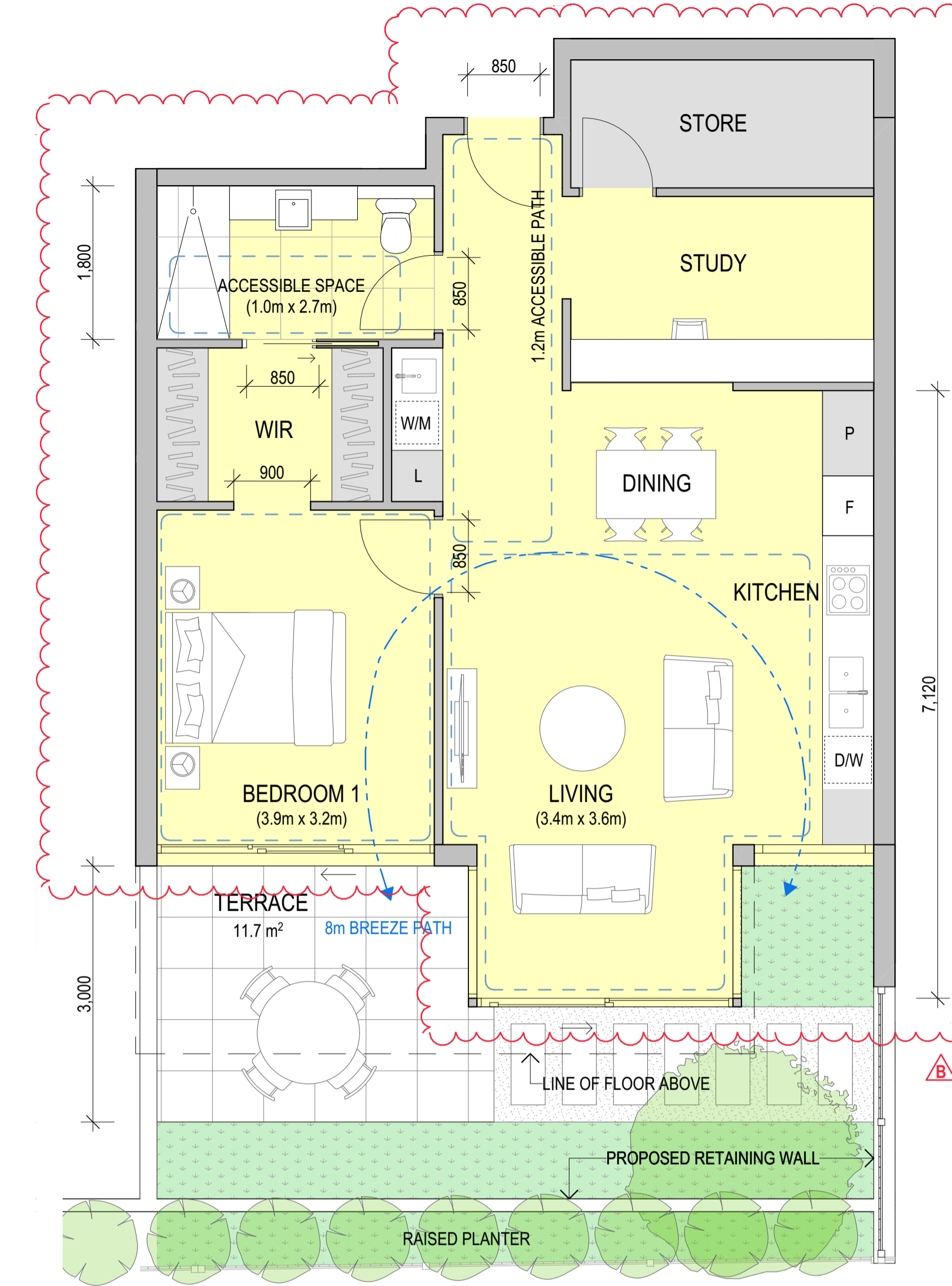
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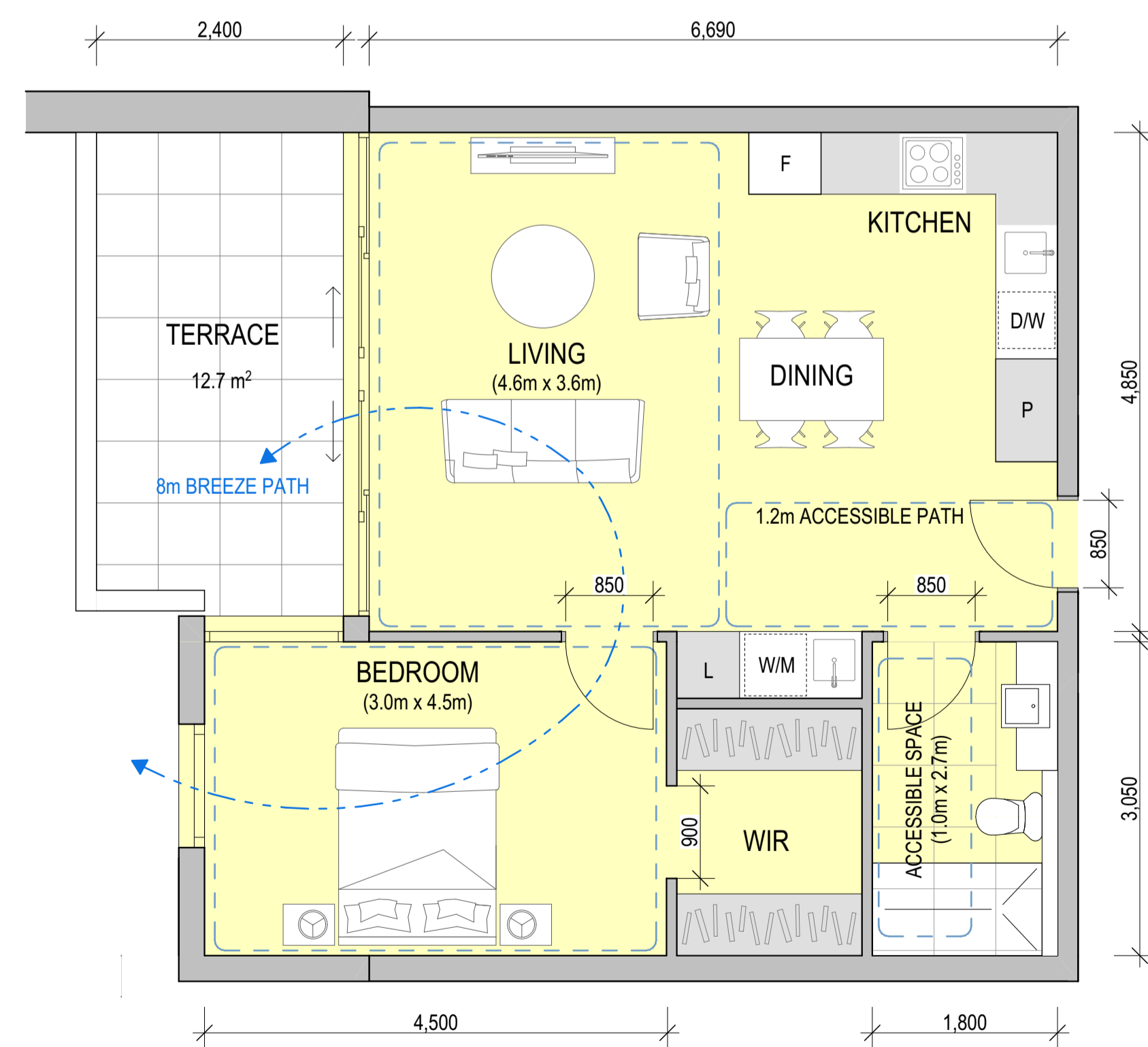
UNIT TYPE 1 - ACCESSIBLE DWELLING.
 No. BEDS : 3
 No. BATHS : 2
 FLOOR AREA : 142.7m²
 TERRACE : 20.5m²
 INTERNAL STORAGE : 17.9m³ (SHOWN AS GREY)

APPLICABLE TO:
 G01, G04 & 101, 104 (SIMILAR)



UNIT TYPE 3 - (ACCESSIBLE DWELLING).
 No. BEDS : 1
 No. BATHS : 1
 FLOOR AREA : 82.4m²
 TERRACE : 11.7m²
 INTERNAL STORAGE : 23.4m³ (SHOWN AS GREY)

APPLICABLE TO:
 G02, G03



UNIT TYPE 3A - (ACCESSIBLE DWELLING).
 No. BEDS : 1
 No. BATHS : 1
 FLOOR AREA : 64m²
 TERRACE : 12.7m²
 INTERNAL STORAGE : 8.7m³ (SHOWN AS GREY)

APPLICABLE TO:
 105



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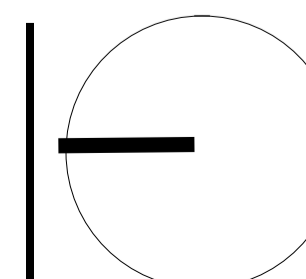
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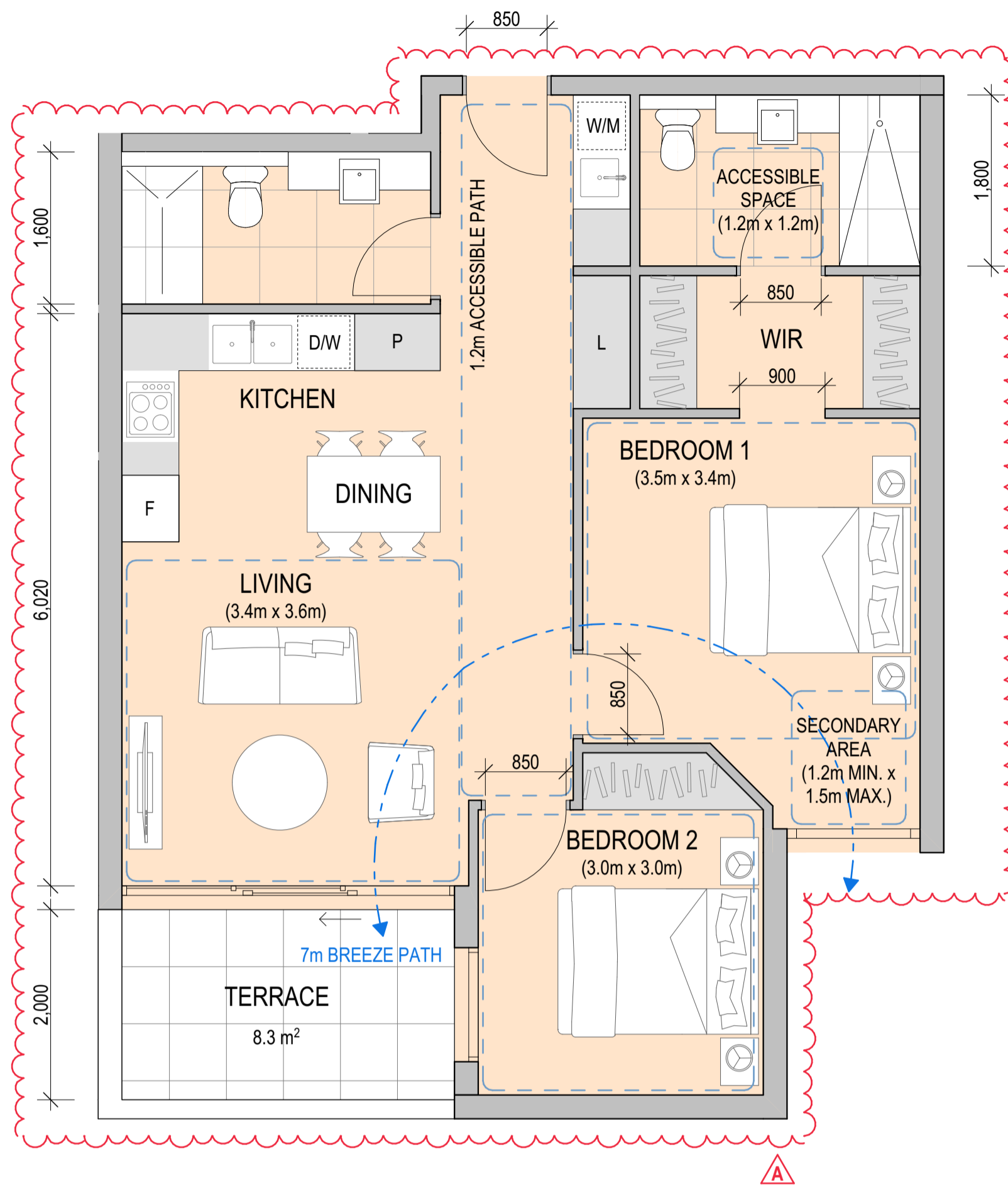
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOORYONG, VIC
 DRAWING TITLE **TYPICAL UNIT LAYOUT**



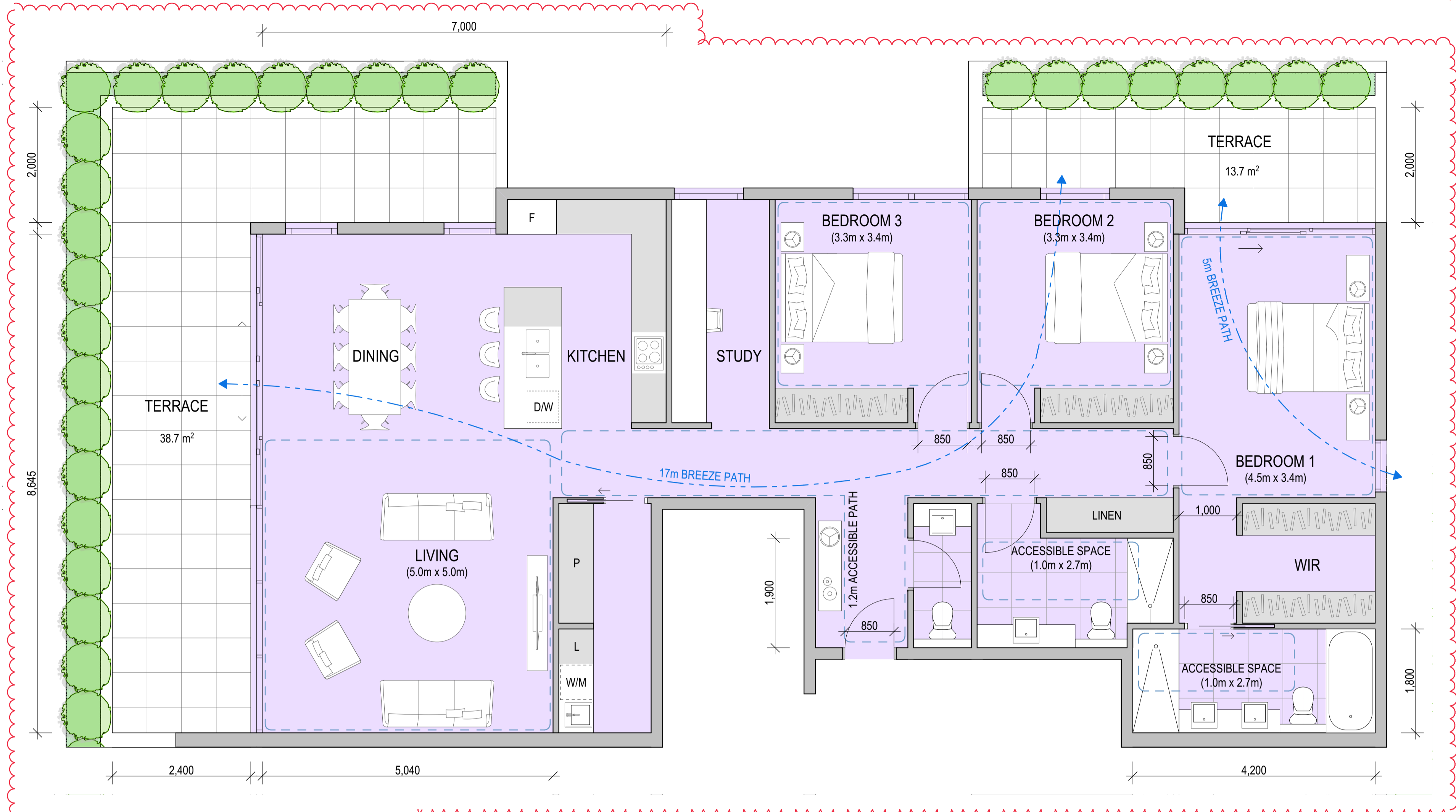
SCALE	DATE
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1:100@A3	JOB NO. 19017
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UNIT TYPE 2B - (ACCESSIBLE DWELLING).

No. BEDS : 2
 No. BATHS : 2
 FLOOR AREA : 80.7m²
 TERRACE : 8.3m²
 INTERNAL STORAGE : 14.5m³ (SHOWN AS GREY)

APPLICABLE TO:
 102, 103



UNIT TYPE 1A - (ACCESSIBLE DWELLING).

No. BEDS : 3
 No. BATHS : 2
 FLOOR AREA : 166.3m²
 TERRACE : 52.4m²
 INTERNAL STORAGE : 30.9m³ (SHOWN AS GREY)

APPLICABLE TO:
 201, 202

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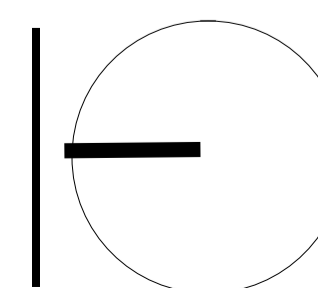


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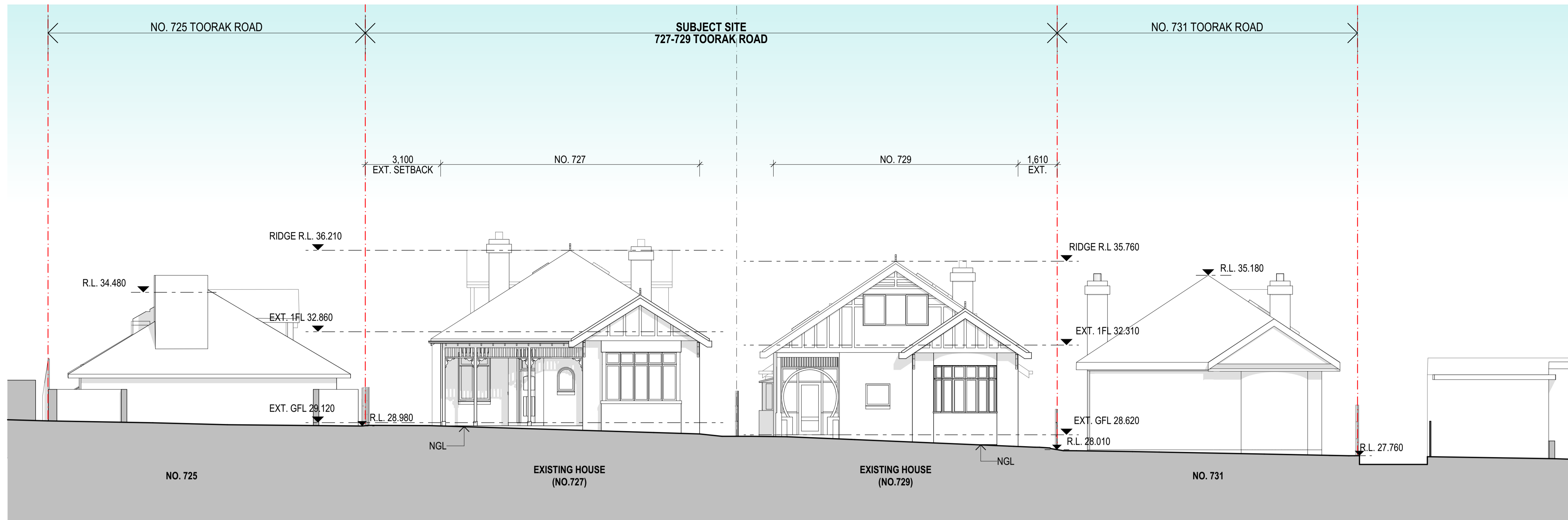
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **TYPICAL UNIT LAYOUT**

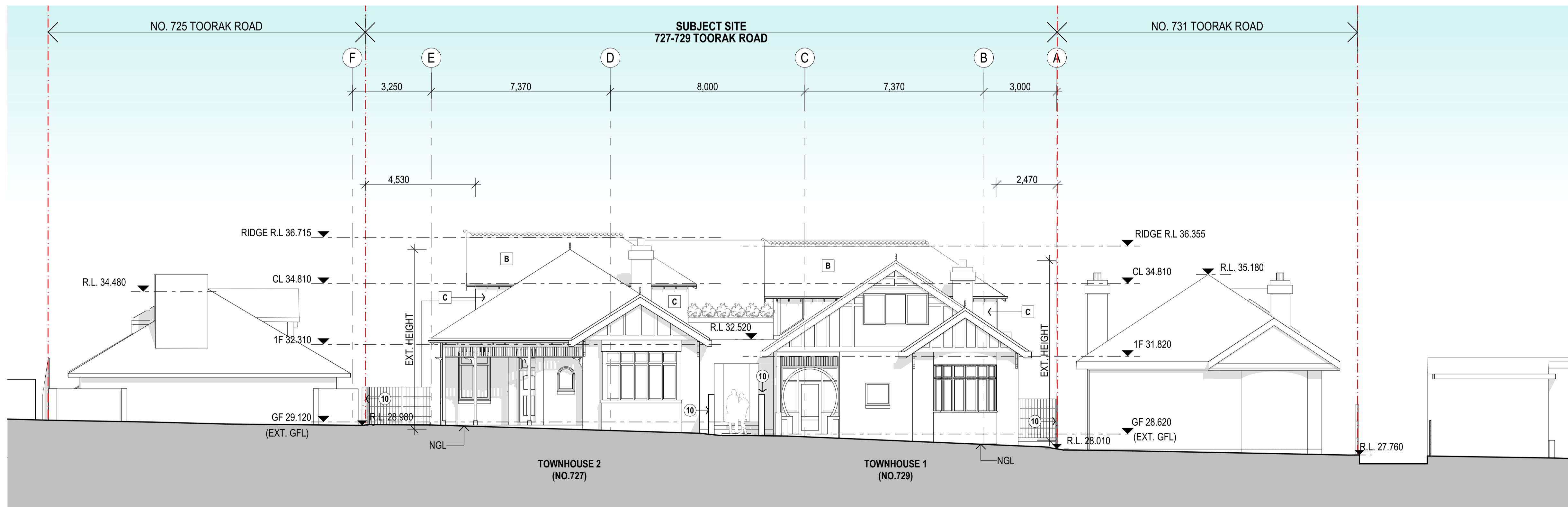


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**EXISTING ELEVATION - TOORAK ROAD
(WITHOUT FENCE)**



**PROPOSED SOUTH ELEVATION - TOORAK ROAD
(WITHOUT FENCE)**

EXTERNAL FINISHES LEGEND

- A BRICKFACE TO MATCH EXISTING PROFILE & COLOUR
- B CONCRETE TILE ROOFING TO MATCH EXISTING PROFILE & COLOUR
- C TEXTURE RENDER FINISH TO MATCH EXISTING
- D FACE BRICKWORK TYPE A - LIGHT GREY "METALLIX TITANIUM" STACK BOND
- E FACE BRICKWORK TYPE B - MAGNESIUM "METALLIX BRONZE" STACK BOND
- F RENDER FINISH "ANTIQUE WHITE"
- G RENDER FINISH "CHARCOAL GREY"
- H ZINC CLADDING STANDING - SEAM "LIGHT GREY"
- I POWDERCOATED ALUMINIUM BATTENS "BRONZE"
- GL1 OBSCURE GLASS
- 10 PROPOSED NEW 1.6M HIGH FENCE



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12/08/2020

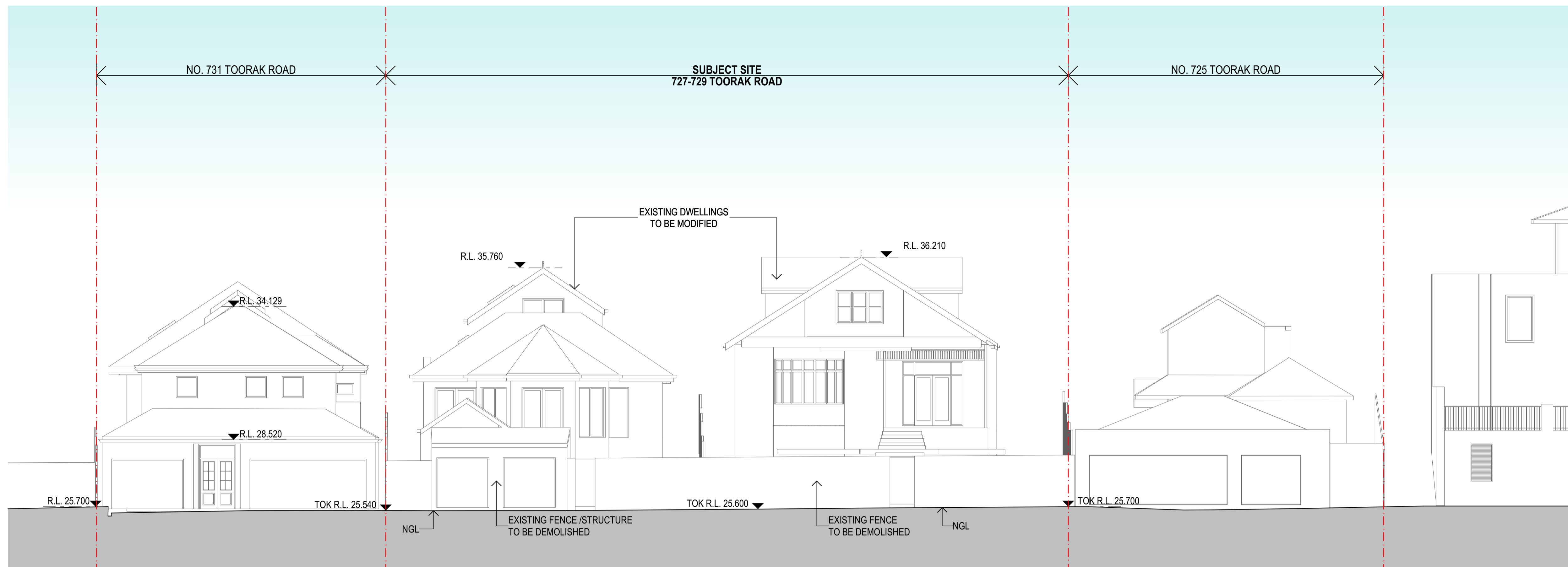
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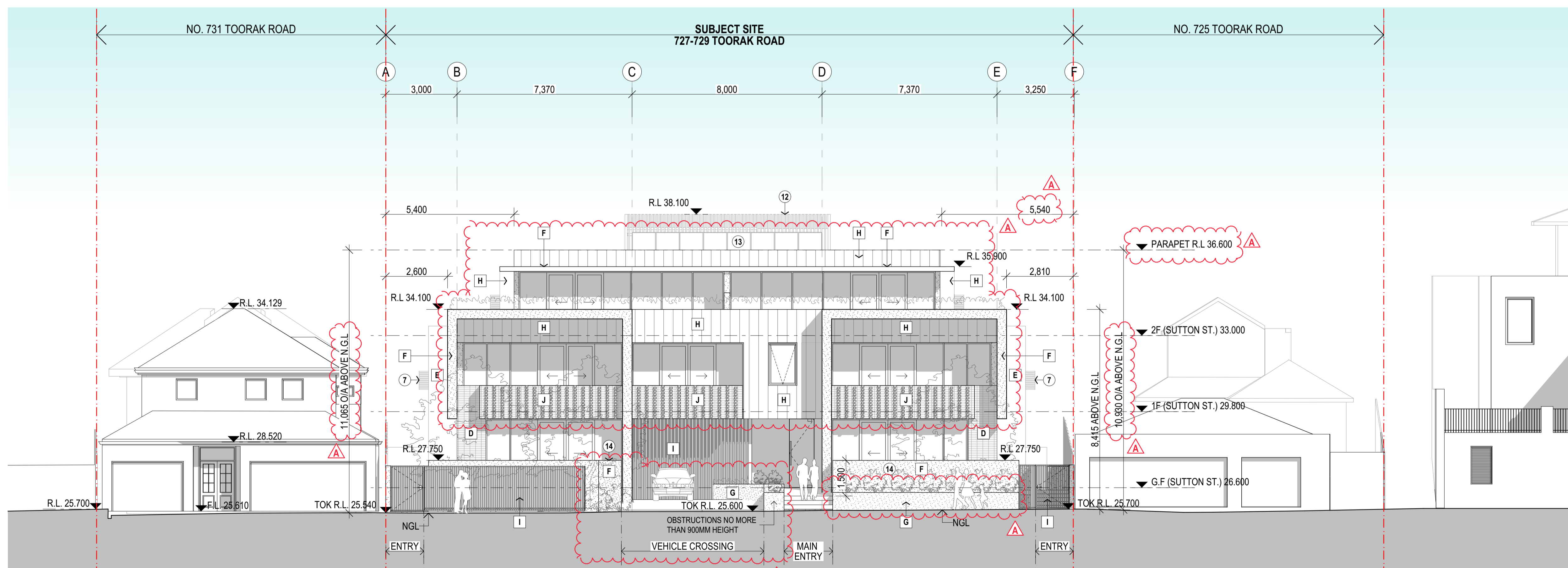
PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **ELEVATIONS**

SCALE	1:100@A1 1:200@A3	DATE	AUG. 2020
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EXISTING NORTH ELEVATION - SUTTON STREET



PROPOSED NORTH ELEVATION - SUTTON STREET

EXTERNAL FINISHES LEGEND

- A BRICKFACE TO MATCH EXISTING PROFILE & COLOUR
- B CONCRETE TILE ROOFING TO MATCH EXISTING PROFILE & COLOUR
- C TEXTURE RENDER FINISH TO MATCH EXISTING
- D FACE BRICKWORK TYPE A - LIGHT GREY "METALLIX TITANIUM" STACK BOND
- E FACE BRICKWORK TYPE B - MAGNESIUM "METALLIX BRONZE" STACK BOND
- F RENDER FINISH "ANTIQUE WHITE"
- G RENDER FINISH "CHARCOAL GREY"
- H ZINC CLADDING STANDING - SEAM "LIGHT GREY"
- I POWDERCOATED ALUMINIUM BATTENS "BRONZE"
- J FACE BRICKWORK TYPE C - LIGHT GREY "METALLIX TITANIUM" STACK BOND WITH TESSELLATED BRICK FINISH
- GL1 OBSCURE GLASS
- 7 FIXED ALUMINIUM PRIVACY SCREEN DEVICE MAX. 25% OPENINGS - "BRONZE"
- 12 PROPOSED POWDERCOATED ALUMINIUM PLANT SCREEN - "BRONZE"
- 13 SOLAR PANEL ARRAY
- 14 PROPOSED NEW 1.5M HIGH FENCE



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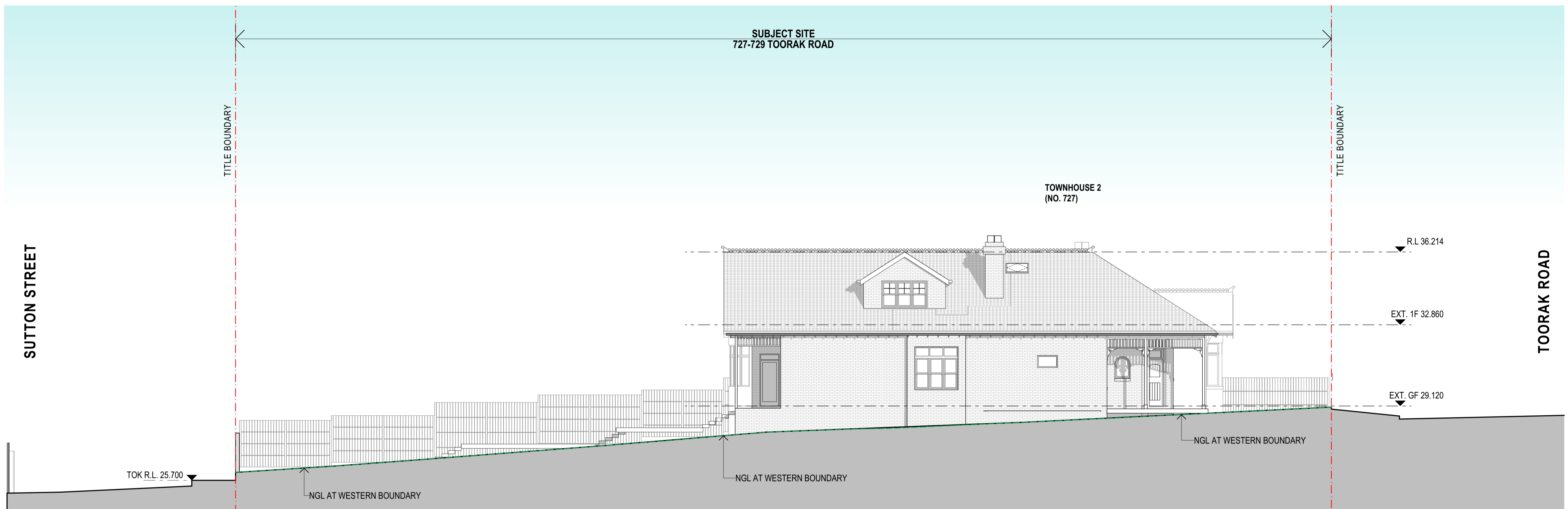
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-	21/04/2020	TOWN PLANNING
A	12/08/2020	TOWN PLANNING RFI

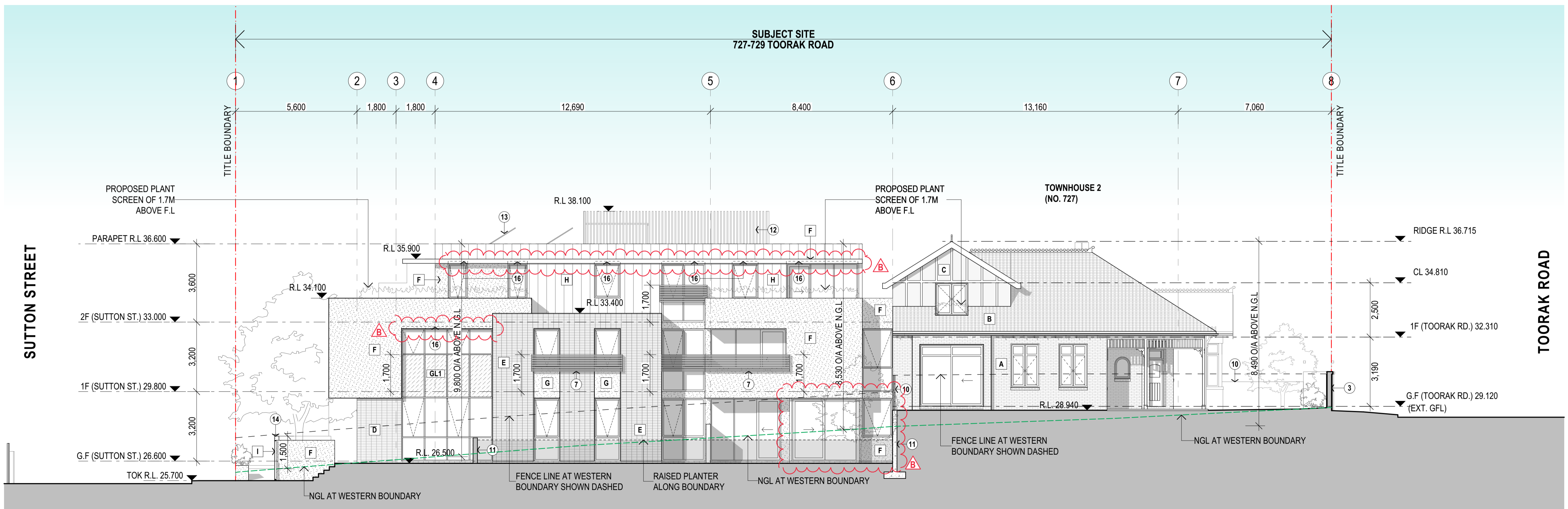
PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **ELEVATIONS**

SCALE	DATE
1:100@A1	AUG. 2020
1:200@A3	JOB NO. 19017
DRAWN NZ	DWG NO. TP6.02
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EXISTING WEST ELEVATION



PROPOSED WEST ELEVATION

EXTERNAL FINISHES LEGEND

- A BRICKFACE TO MATCH EXISTING PROFILE & COLOUR
- B CONCRETE TILE ROOFING TO MATCH EXISTING PROFILE & COLOUR
- C TEXTURE RENDER FINISH TO MATCH EXISTING
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- GL1 OBSCURE GLASS
- 3 EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- 7 FIXED ALUMINIUM PRIVACY SCREEN DEVICE MAX. 25% OPENINGS - "BRONZE"
- 10 PROPOSED NEW 1.6M HIGH FENCE
- 11 PROPOSED RETAINING WALL
- 12 PROPOSED POWDERCOATED ALUMINIUM PLANT SCREEN - "BRONZE"
- 13 SOLAR PANEL ARRAY
- 14 PROPOSED NEW 1.5M HIGH FENCE
- 16 MOTORISED EXTERNAL ROLLER BLIND RECESSED WITH PELMET IN SOFFIT EAVE OR BULKHEAD WITH SELECTED FABRIC COLOUR



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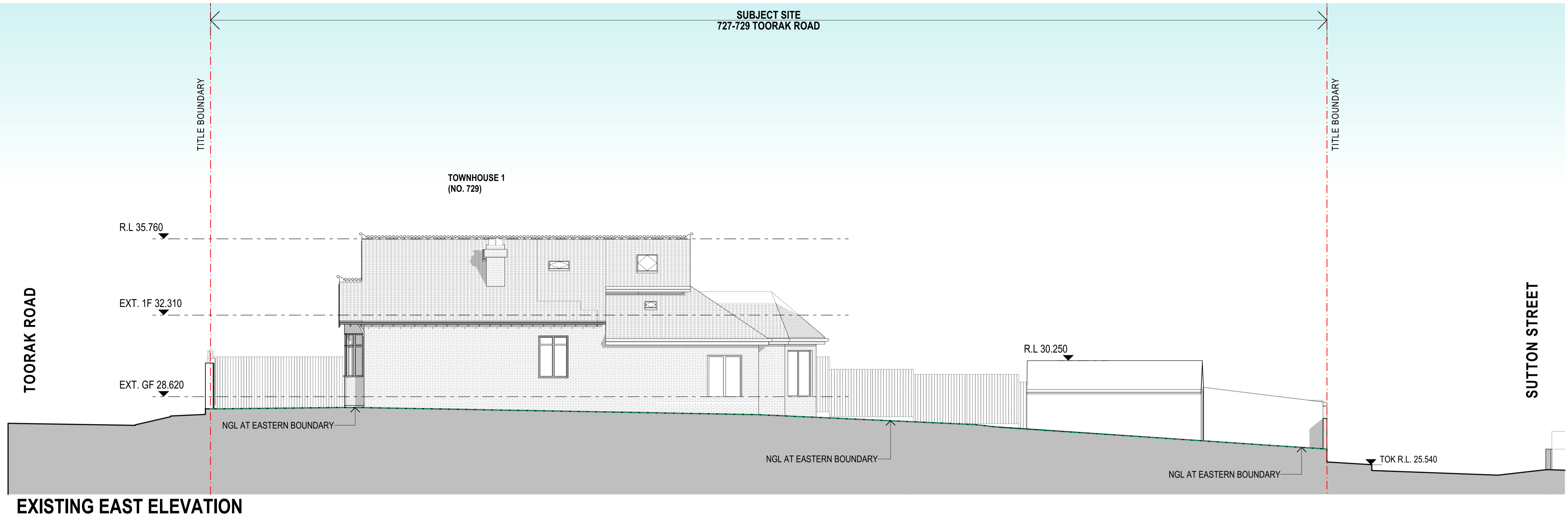
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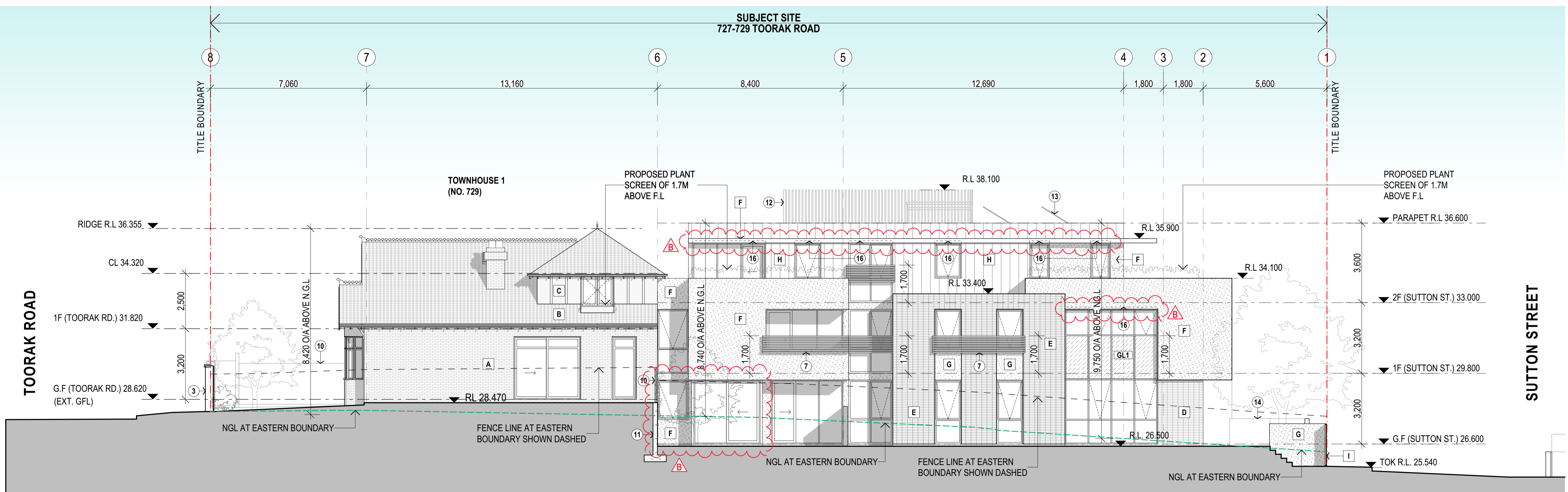
PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **ELEVATIONS**

SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP6.03
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EXISTING EAST ELEVATION



PROPOSED EAST ELEVATION

EXTERNAL FINISHES LEGEND

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- B CONCRETE TILE ROOFING TO MATCH EXISTING PROFILE & COLOUR
- C TEXTURE RENDER FINISH TO MATCH EXISTING
- D FACE BRICKWORK TYPE A - LIGHT GREY "METALLIX TITANIUM" STACK BOND
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- 14 PROPOSED NEW 1.5M HIGH FENCE
- 16 MOTORISED EXTERNAL ROLLER BLIND RECESSED WITH PELMET IN SOFFIT EAVE OR BULKHEAD WITH SELECTED FABRIC COLOUR



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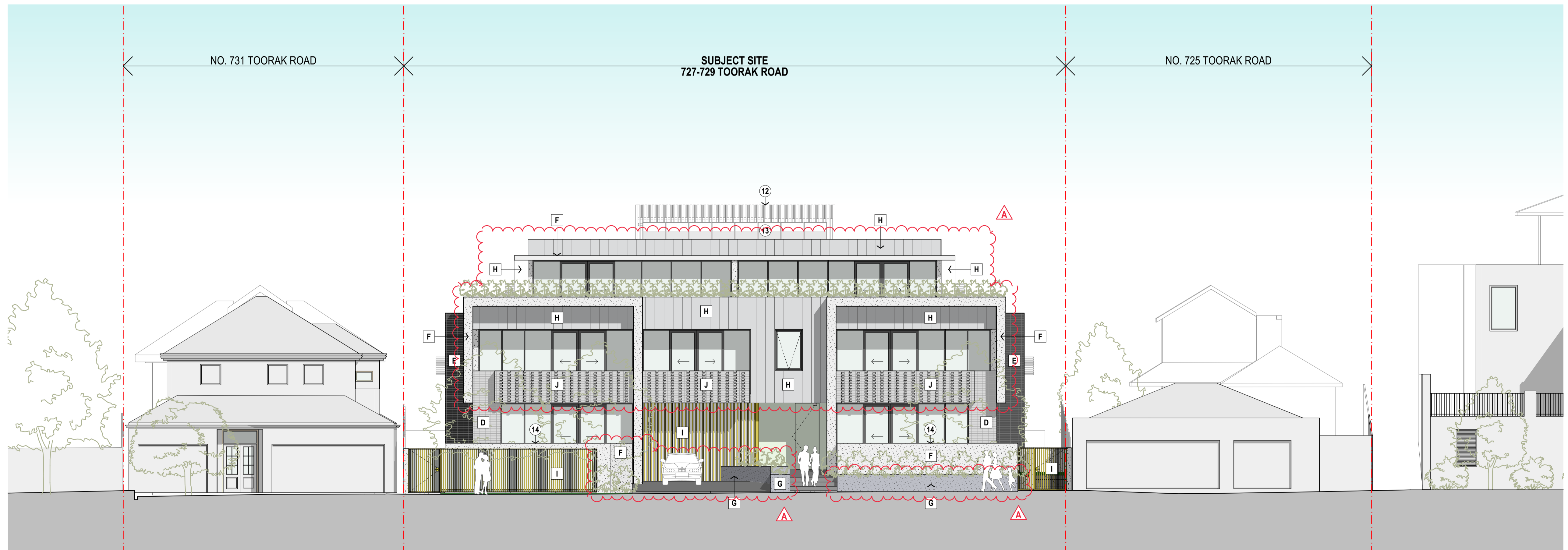
Rev. ID	Issue Date	Issue Name
-	21/04/2020	TOWN PLANNING
A	24/08/2020	TOWN PLANNING RFI
B	7/10/2020	TOWN PLANNING RFI 2nd

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **ELEVATIONS**

SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP6.04
CHECKED	RF	REV.	B (7/10/2020)
		JOB NO.	19017



**PROPOSED SOUTH ELEVATION - COLOURED
(WITHOUT FENCE)**



PROPOSED NORTH ELEVATION - COLOURED

EXTERNAL FINISHES LEGEND

- A BRICKFACE TO MATCH EXISTING PROFILE & COLOUR
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Rev. ID	Issue Date	Issue Name
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A	12/08/2020	TOWN PLANNING RFI

SCALE	DATE
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1:200@A3	JOB NO. 19017
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PROPOSED WEST ELEVATION - COLOURED



PROPOSED EAST ELEVATION - COLOURED

EXTERNAL FINISHES LEGEND

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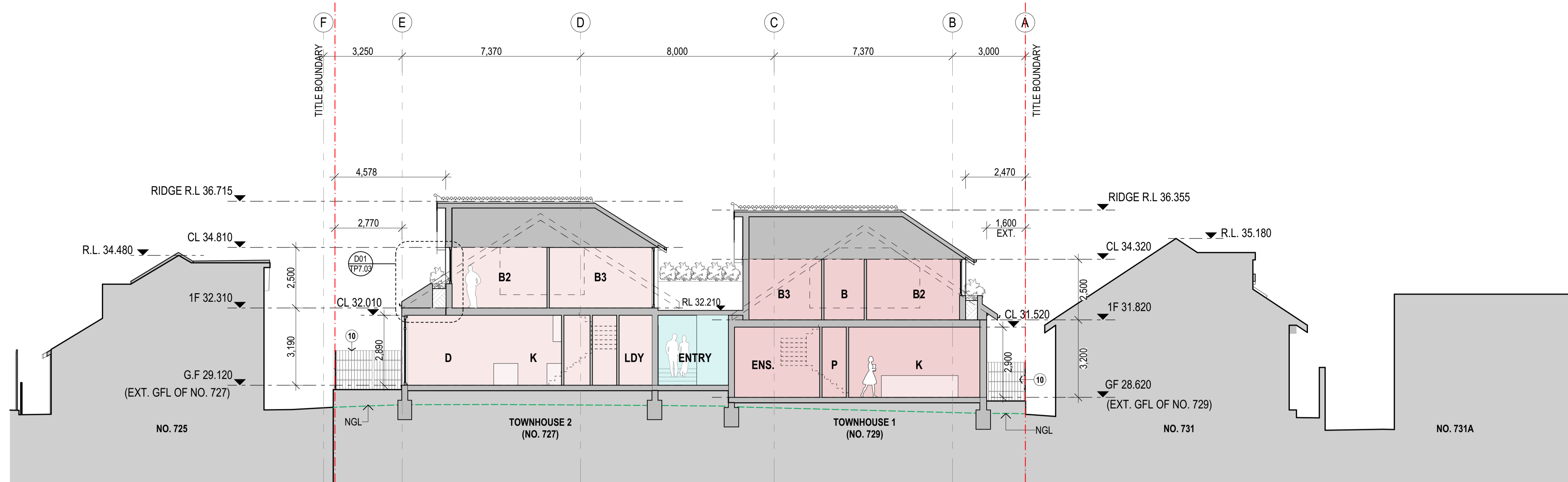
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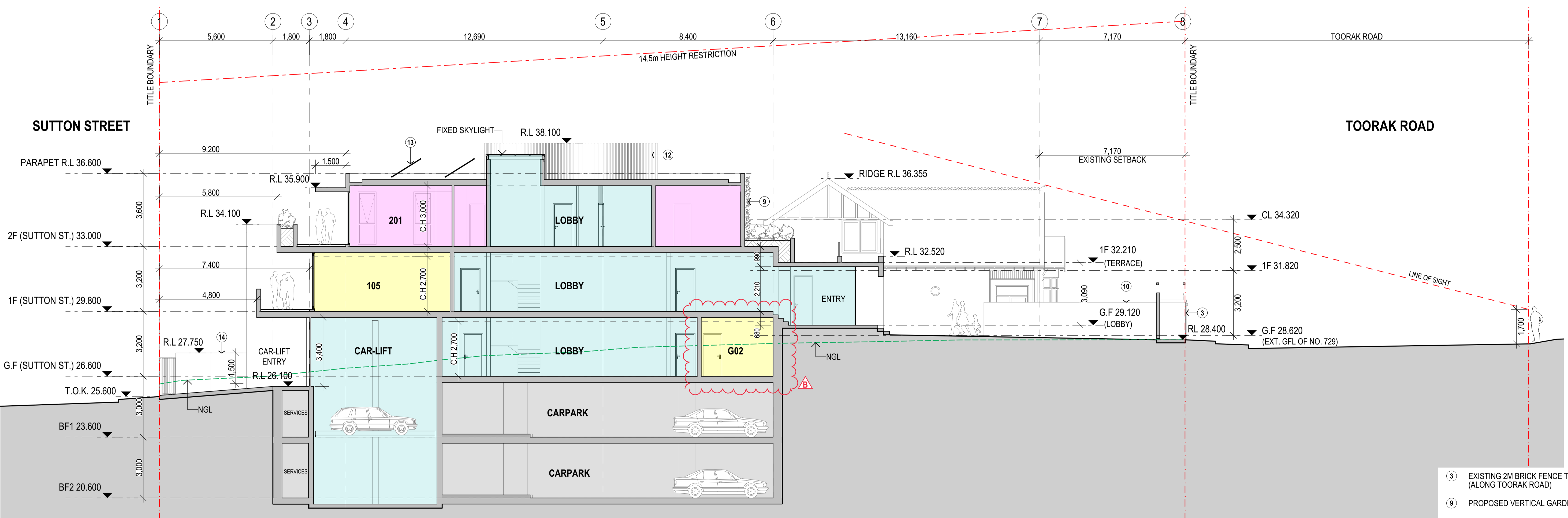
Rev. ID	Issue Date	Issue Name
-	21/04/2020	TOWN PLANNING
A	24/09/2020	TOWN PLANNING RFI
B	7/10/2020	TOWN PLANNING RFI 2nd

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **PROPOSED ELEVATIONS - COLOURED**

SCALE	DATE
1:100@A1	OCT. 2020
1:200@A3	JOB NO. 19017
DRAWN NZ	DWG NO. TP6.06
CHECKED RF	REV. B (7/10/2020)



PROPOSED SECTION A



PROPOSED SECTION B

- ③ EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- ⑨ PROPOSED VERTICAL GARDEN /LANDSCAPE
- ⑩ PROPOSED NEW 1.6M HIGH FENCE
- ⑫ PROPOSED POWDERCOATED ALUMINIUM PLANT SCREEN - 'BRONZE'
- ⑬ SOLAR PANEL ARRAY
- ⑭ PROPOSED NEW 1.5M HIGH FENCE



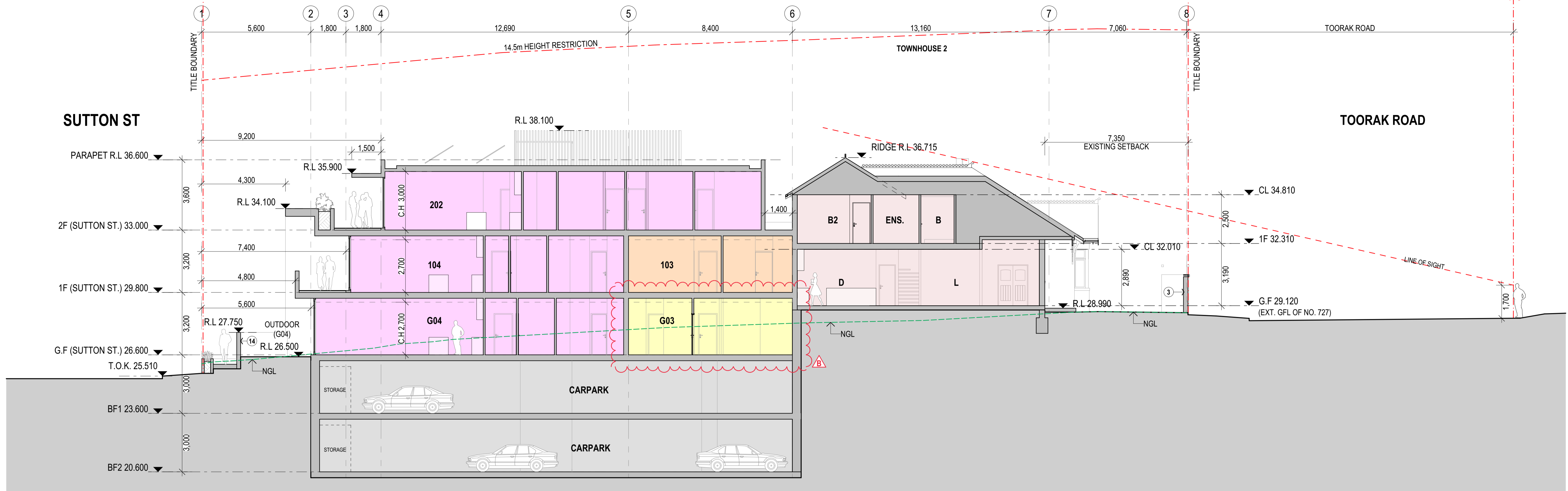
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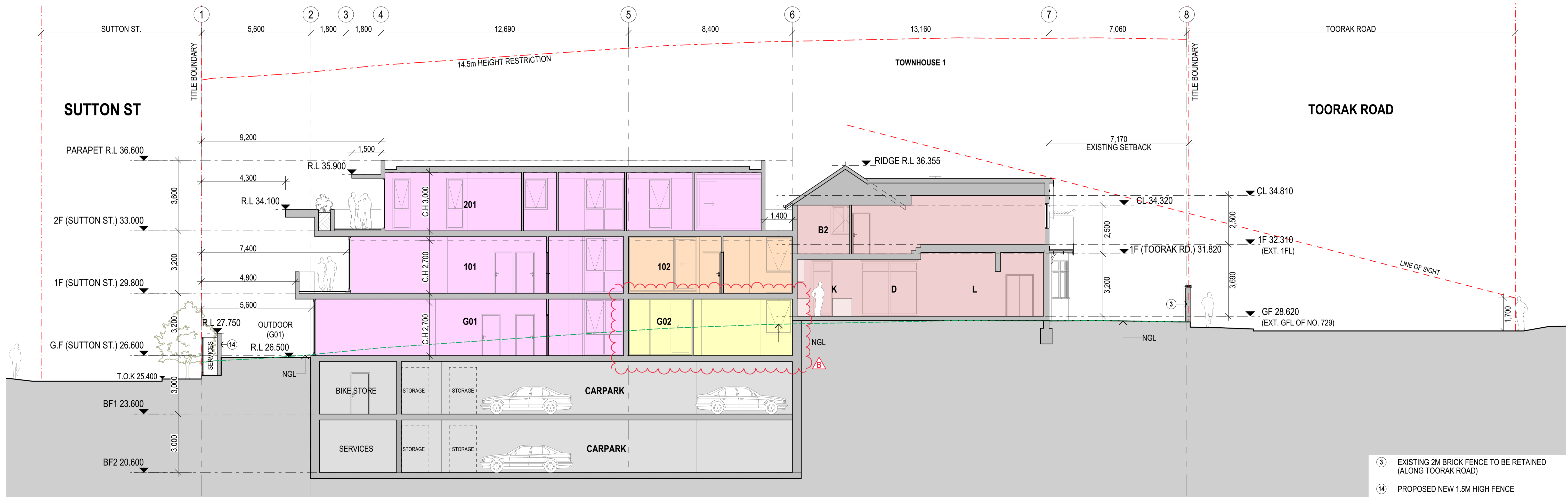
Rev. ID	Issue Date	Issue Name
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A	24/08/2020	TOWN PLANNING RFI
B	7/10/2020	TOWN PLANNING RFI 2nd

PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **SECTIONS**

SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP7.01
CHECKED	RF	REV.	B (7/10/2020)



PROPOSED SECTION C



PROPOSED SECTION D

- ③ EXISTING 2M BRICK FENCE TO BE RETAINED (ALONG TOORAK ROAD)
- ⑭ PROPOSED NEW 1.5M HIGH FENCE

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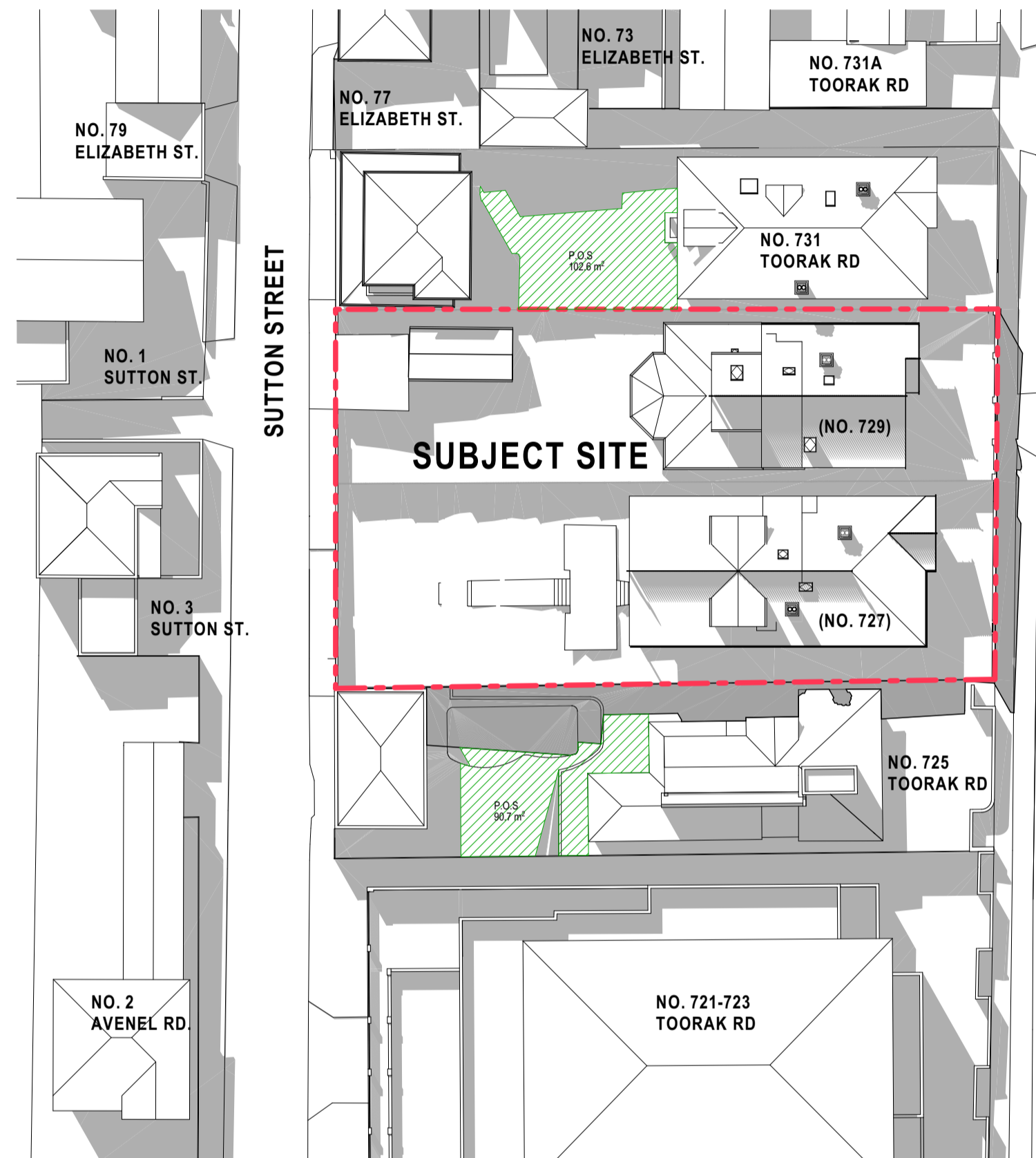
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
 727-729 TOORAK ROAD, KOOYONG, VIC
 DRAWING TITLE **SECTIONS**

SCALE	1:100@A1 1:200@A3	DATE	OCT. 2020
DRAWN	NZ	DWG NO.	TP7.02
CHECKED	RF	REV.	B (7/10/2020)
		JOB NO.	19017

SHADOW DIAGRAMS - EXISTING

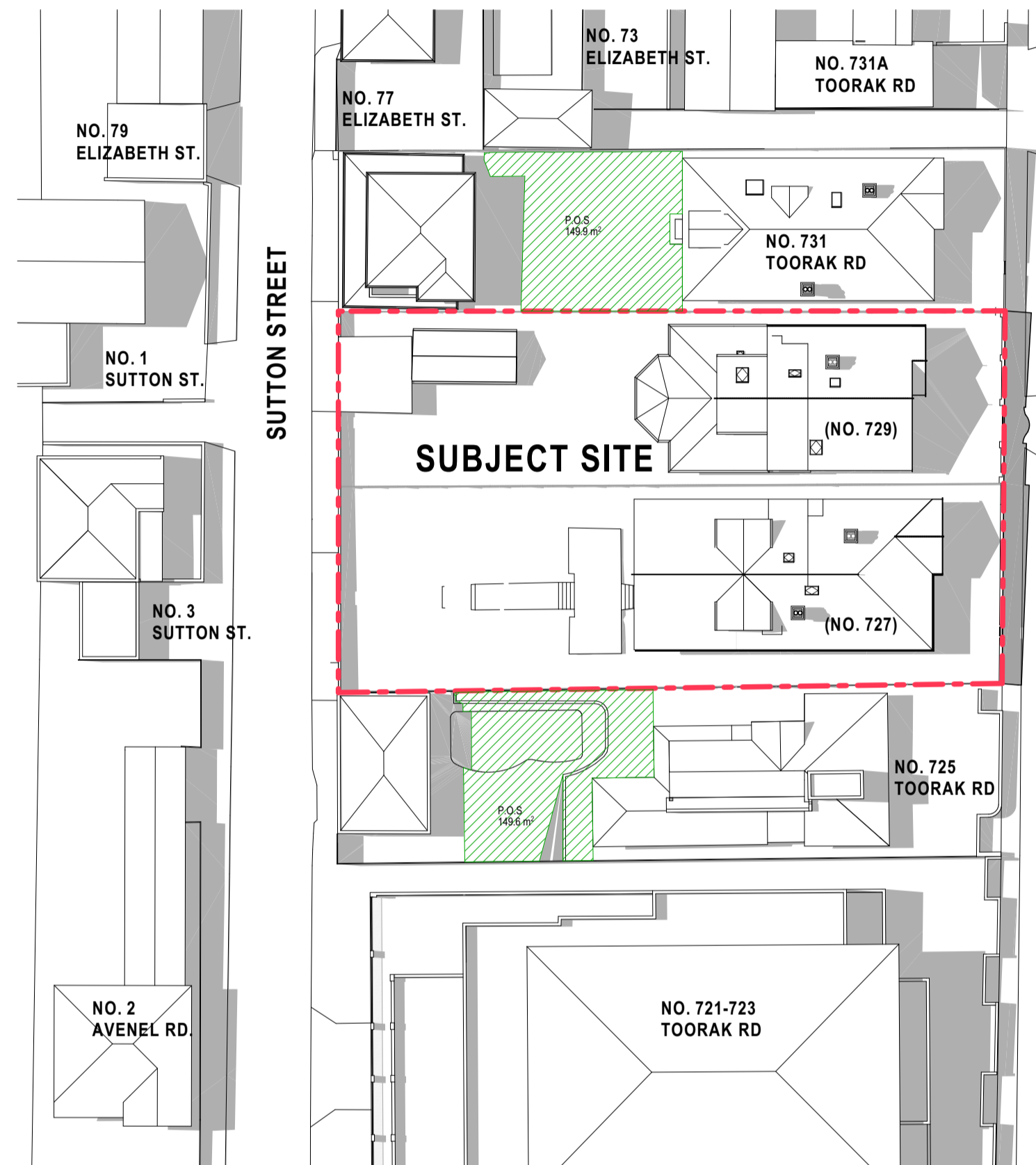


SHADOW DIAGRAM - EXISTING
9AM (22nd SEPTEMBER)

OVERSHADOWING BY EXISTING BUILDING: 171m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 91m²
- NO. 731 TOORAK RD. : 103m²

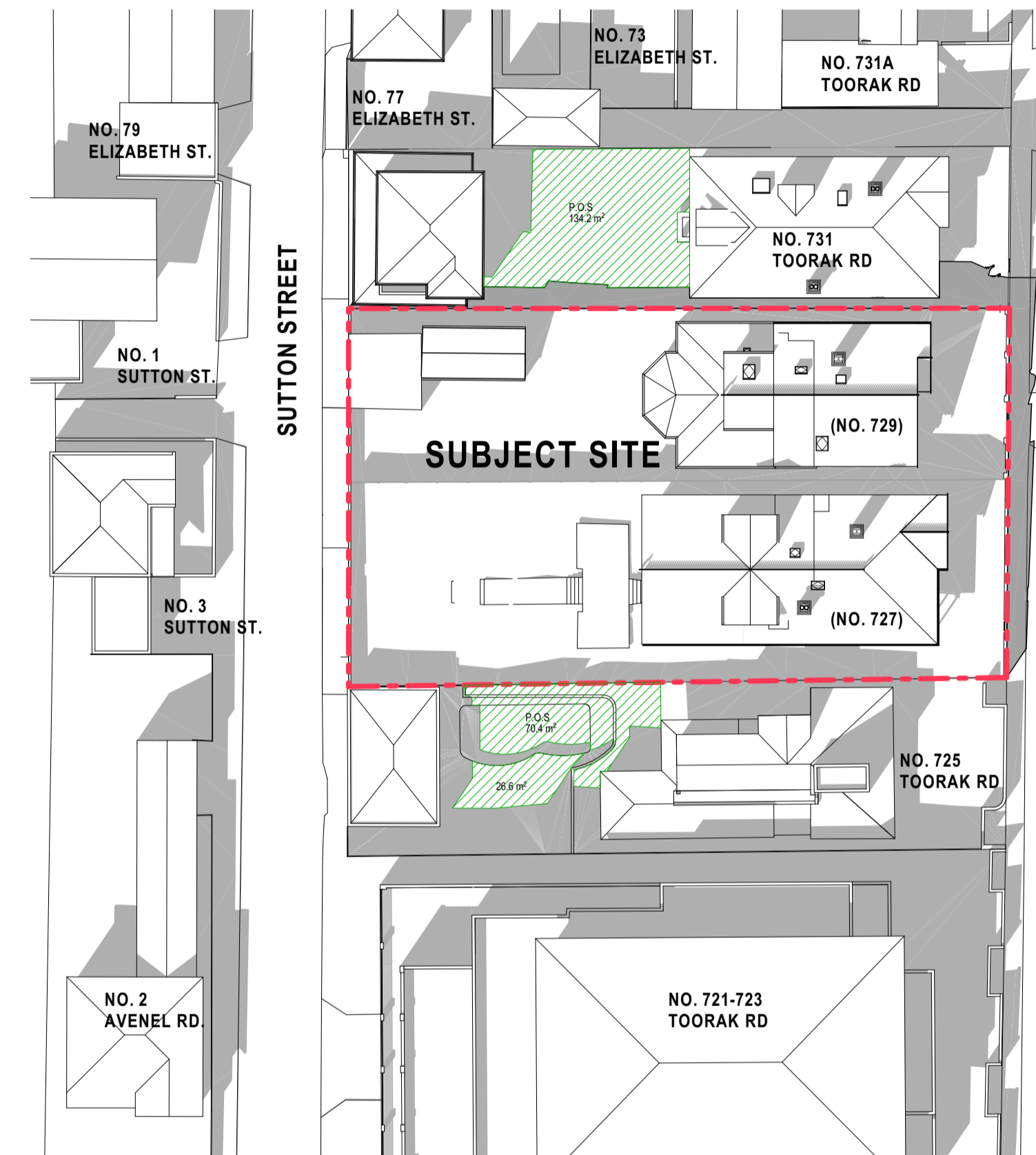


SHADOW DIAGRAM - EXISTING
12PM (22nd SEPTEMBER)

OVERSHADOWING BY EXISTING BUILDING: 49m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 149m²
- NO. 731 TOORAK RD. : 150m²



SHADOW DIAGRAM - EXISTING
3PM (22nd SEPTEMBER)

OVERSHADOWING BY EXISTING BUILDING: 119m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 97m²
- NO. 731 TOORAK RD. : 134m²

LEGEND

- OVERSHADOWING OF EXISTING BUILDING
- AREA OF REMAIN FREE SHADOW OF SECLUDED PRIVATE OPEN SPACE TO ADJOINING SITES

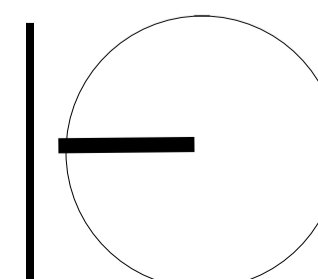


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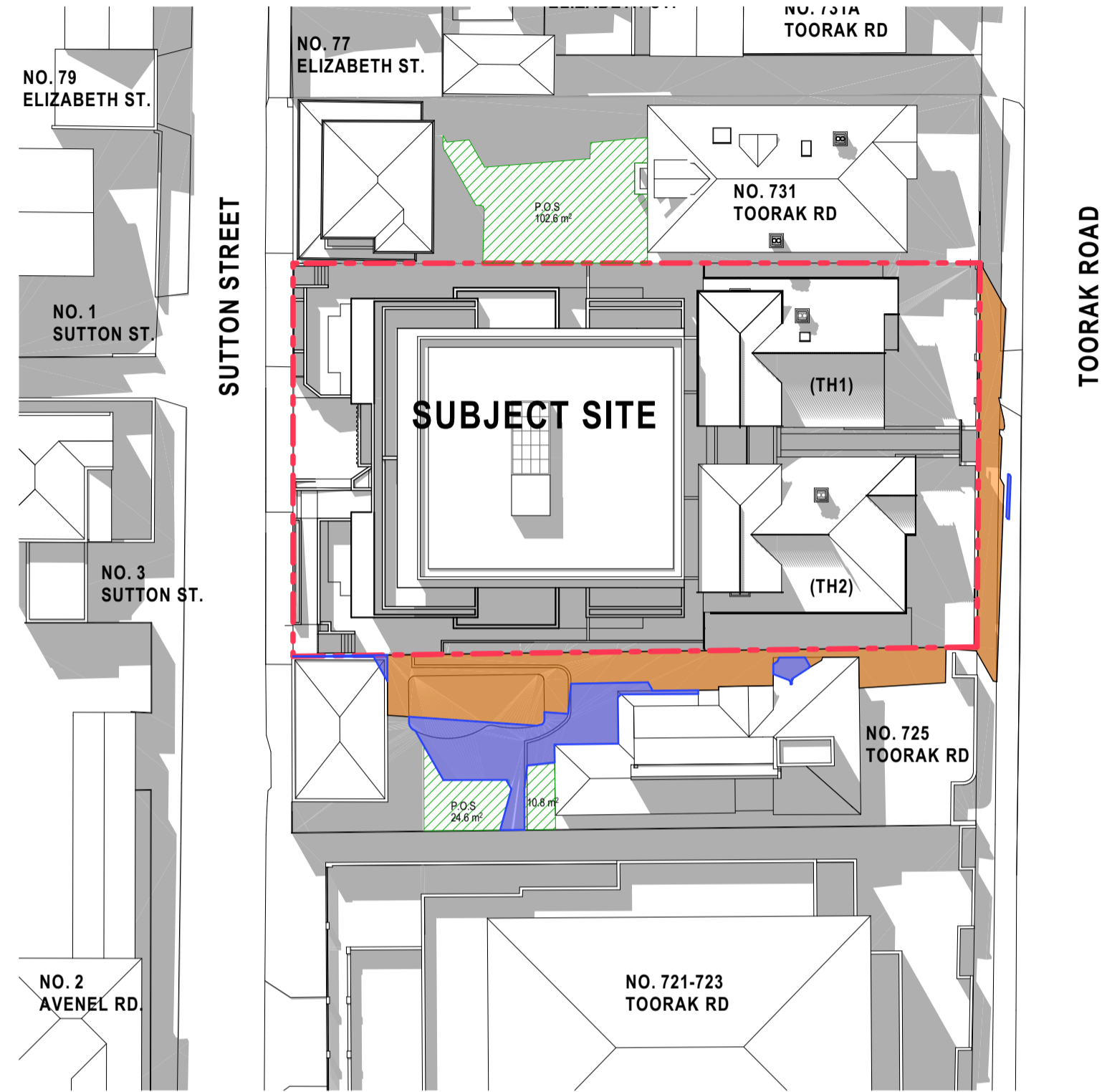
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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **SHADOW DIAGRAMS - EXISTING**



SCALE	1:400@A1 1:800@A3	DATE	AUG. 2020
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SHADOW DIAGRAMS - PROPOSED



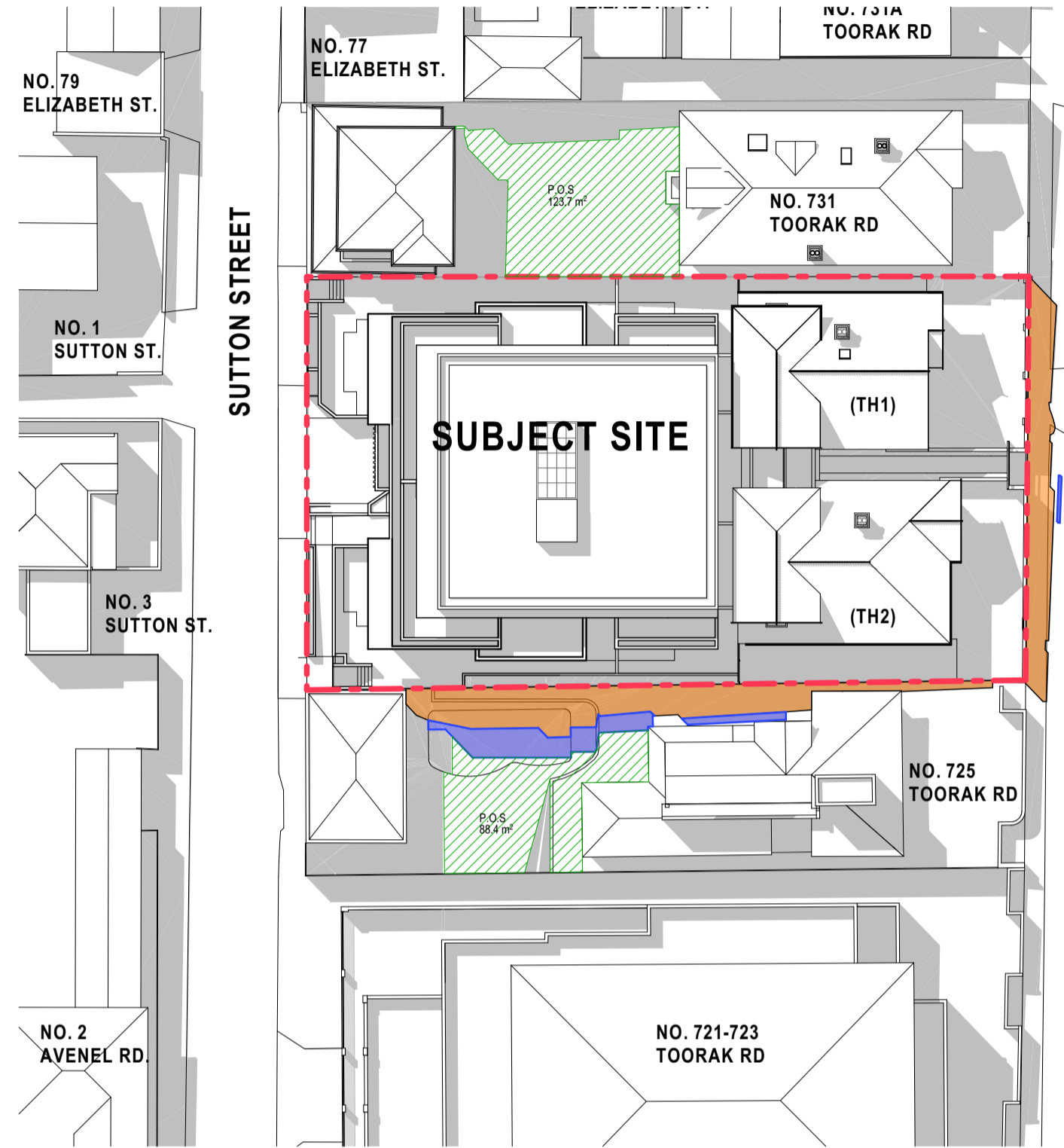
SHADOW DIAGRAM - PROPOSED
9AM (22nd SEPTEMBER)

EXTENT OVERSHADOWING BY PROPOSAL:

83m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 36m²
- NO. 731 TOORAK RD. : 103m²



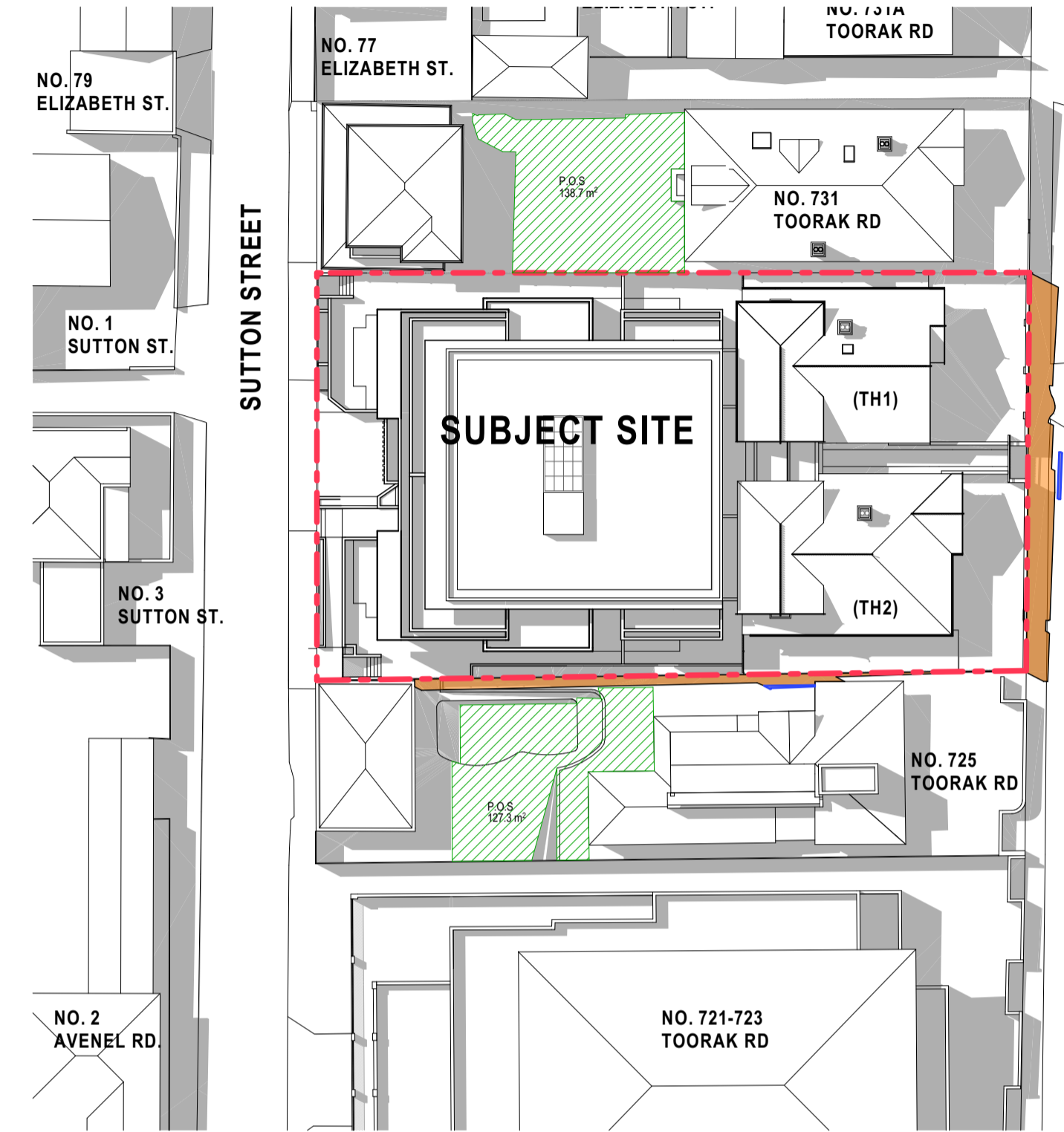
SHADOW DIAGRAM - PROPOSED
10AM (22nd SEPTEMBER)

EXTENT OVERSHADOWING BY PROPOSAL:

28m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 88m²
- NO. 731 TOORAK RD. : 124m²



SHADOW DIAGRAM - PROPOSED
11AM (22nd SEPTEMBER)

EXTENT OVERSHADOWING BY PROPOSAL:

2m²

FREE AREA OF PRIVATE OPEN SPACE:

- NO. 725 TOORAK RD. : 127m²
- NO. 731 TOORAK RD. : 139m²

LEGEND

- OVERSHADOWING OF EXISTING BUILDING
- OVERSHADOWING OF EXISTING BUILDING / FENCE
- EXTENT OVERSHADOWING BY PROPOSAL
- AREA OF REMAIN FREE SHADOW OF SECLUDED PRIVATE OPEN SPACE TO ADJOINING SITES

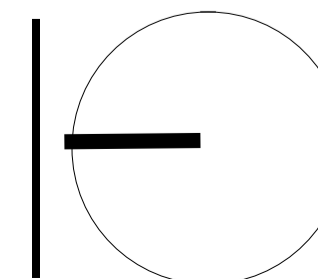


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PROJECT **MULTI - RESIDENTIAL DEVELOPMENT**
727-729 TOORAK ROAD, KOOYONG, VIC
DRAWING TITLE **SHADOW DIAGRAMS - PROPOSED**



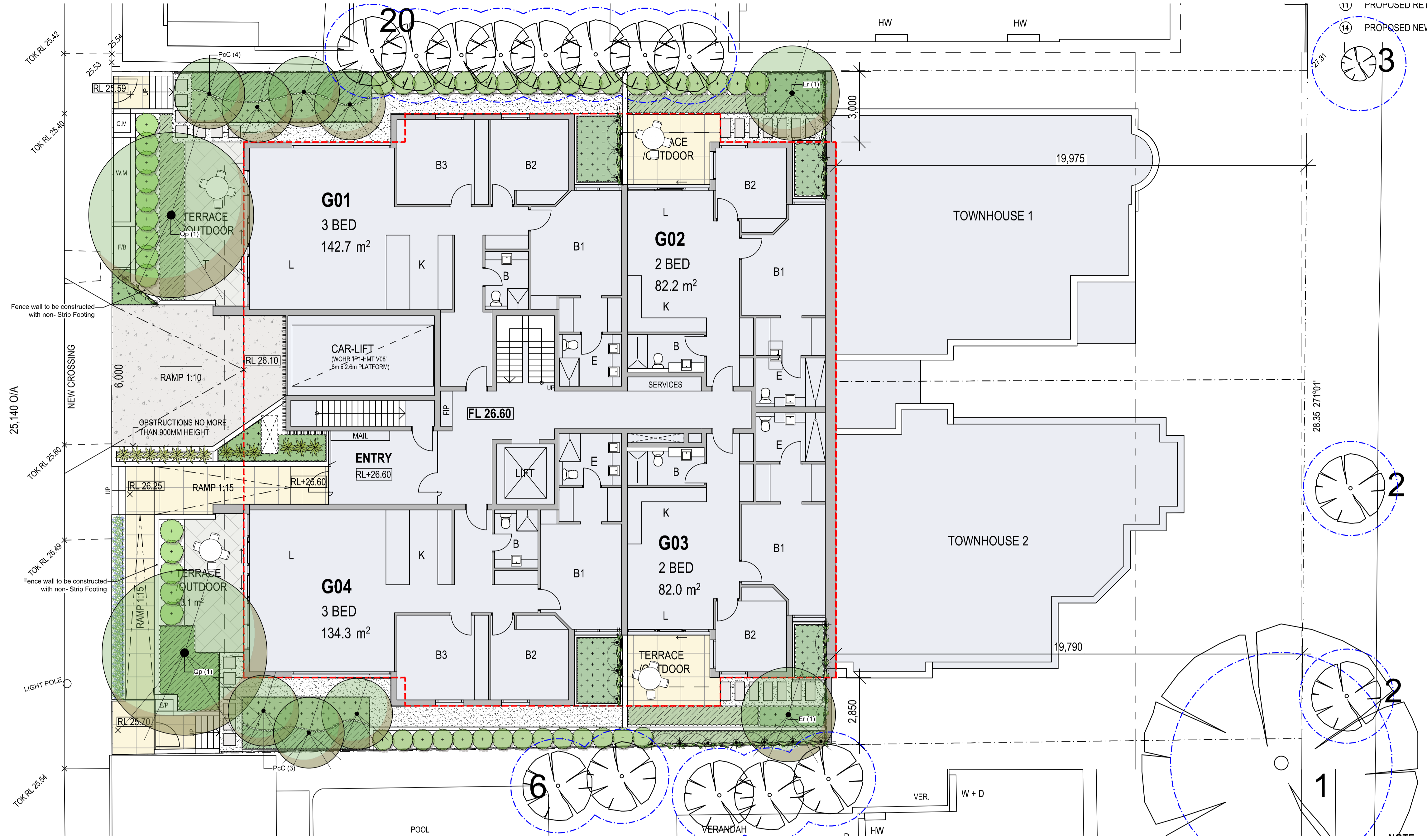
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LEGEND

- Existing Tree to be Retained. Refer to Arborist Report
- Proposed Trees Refer to Plant Schedule
- Proposed Shrubs Refer to Plant Schedule
- Proposed Groundcovers & Grasses Refer to Plant Schedule
- Proposed Climbers Refer to Plant Schedule
- Proposed Lawn Area Refer to Specification
- Proposed Paving To Later Detail
- Proposed Permeable Paving To Later Detail
- Proposed Gravel Surface Refer to Specification
- Proposed Coloured Concrete To Later Detail
- Reinstated/Repaired Naturestrip Refer to Specification



PLANT SCHEDULE- GROUND FLOOR

SYM	BOTANICAL NAME	COMMON NAME	D/E/EX	HEIGHT X WIDTH AT MATURITY	SUPPLY SIZE	QTY
TREES						
Er	<i>Elaeocarpus reticulatus</i>	Blueberry Ash	E/N	8 x 4m	2m	2
PtC	<i>Pyrus calleryana</i> 'Capital'	Capital Pear	D/Ex	11 x 3m	2m	7
Qp	<i>Quercus palustris</i>	Pin Oak	D/Ex	14 x 7-8m	2m	2
TOTAL						11
SHRUBS						
Cl	<i>Choisya ternata</i>	Mexican Orange Blossom	E/Ex	2 x 1m	200mm Pots	
Mp	<i>Murraya paniculata</i>	Orange Jessamine	E/Ex	3 x 1m	200mm Pots	
SaP	<i>Syzygium australe</i> 'Pinnacle'	Pinnacle Lilly-pilly	EN	4 x 1m (Clipped)	200mm Pots	
TOTAL						
GROUNDCOVERS						
Ac	<i>Anthropodium cirratum</i>	Renga Lily	E/Ex	0.7 x 0.7m	140mm Pots	
DIT	<i>Dianella tasmanica</i> 'Tasred'	Tasred Flax Lily	EN	0.4 x 0.4m	140mm Pots	
LmS	<i>Liriope muscari</i> 'Samantha'	Samantha Pink Turf-Lily	E/Ex	0.4 x 0.4m	140mm Pots	
Rh	<i>Ruscus hypoglossum</i>	Butcher's Broom	E/Ex	0.5 x 1m	140mm Pots	
Ta	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	E/Ex	0.2 x Spreading	140mm Pots	
TOTAL						
CLIMBERS						
Fp	<i>Ficus pumila</i>	Climbing Fig	E/Ex	Climber	140mm Pots	
Ph	<i>Parthenocissus henryana</i>	Silver Vein Creeper	D/Ex	Climber	140mm Pots	
TOTAL						
			D/E = Deciduous/Evergreen N/Ex = Native/Exotic			

To Later Detail

SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All trees to be removed shall be stump ground and all rubble/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchip must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Aggregate Gravel Surface
Aggregate gravel is to be installed where shown comprising of a 50mm layer of gravel (7-14mm granite screenings or similar, no fines) over a base course of 75mm deep gently compacted Fine Crushed Rock. The subgrade is to be appropriately compacted.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joints in the plants.

Irrigation
An approved drip irrigation system is to be supplied to all landscape areas. An approved pop-up spray system is to be supplied to all lawn areas. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be installed at regular intervals to ensure the tubing cannot be dislodged.

Lawn - Turf
'Sapphire' Soft Leaf Buffalo turf (or similar) is to be supplied to lawn areas as shown. Turf is to be supplied by a specialist grower and is not to be allowed to dry out between cutting and laying. Turf should be laid in a stretcher pattern so that joints are staggered and is to be lightly tamped following laying. All lawn areas are to be thoroughly watered following planting and fertilised with an appropriate lawn starter at the quantities recommended by the manufacturer.

Raised Planter Boxes
Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base, filter fabric, planting medium, mulch and irrigation. Planter boxes must be effectively tanked and lined with coreflute to prevent leaking.

Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it. Provide a root anchor if trees are to be planted in a windy location.

Supply and spread evenly a special lightweight planter mix. (to be advised) Compact evenly in 100mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

Any areas of lawn which have failed to germinate (achieve an evenly green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

Plant Establishment Period
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

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REVISION	DATE	BY
A	24/07/20	ML
B	20/08/20	ML


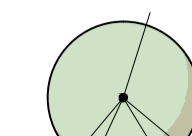

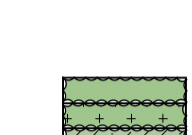

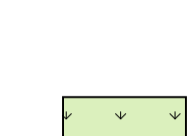
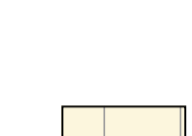




CLIENT
Eddie Liu (on behalf of Alpine Group)
PROJECT
Proposed Residential Development 727-729 Toorak Road Kooyong

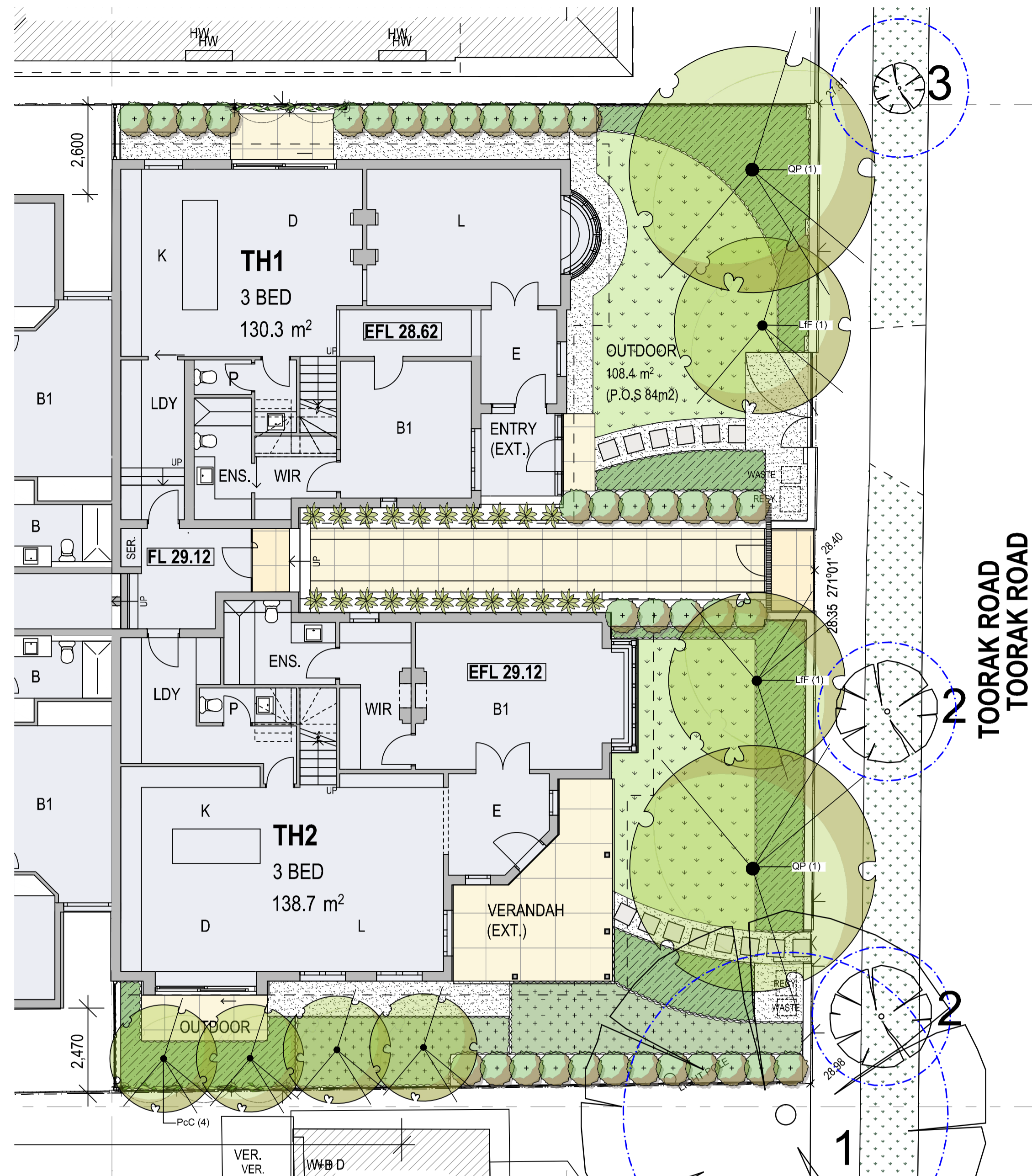
DRAWING
Landscape Plan - Ground Floor for Town Planning



SCALE	DATE	DRAWN	CHECKED	JOB NO	DWG NO	CAD FILE
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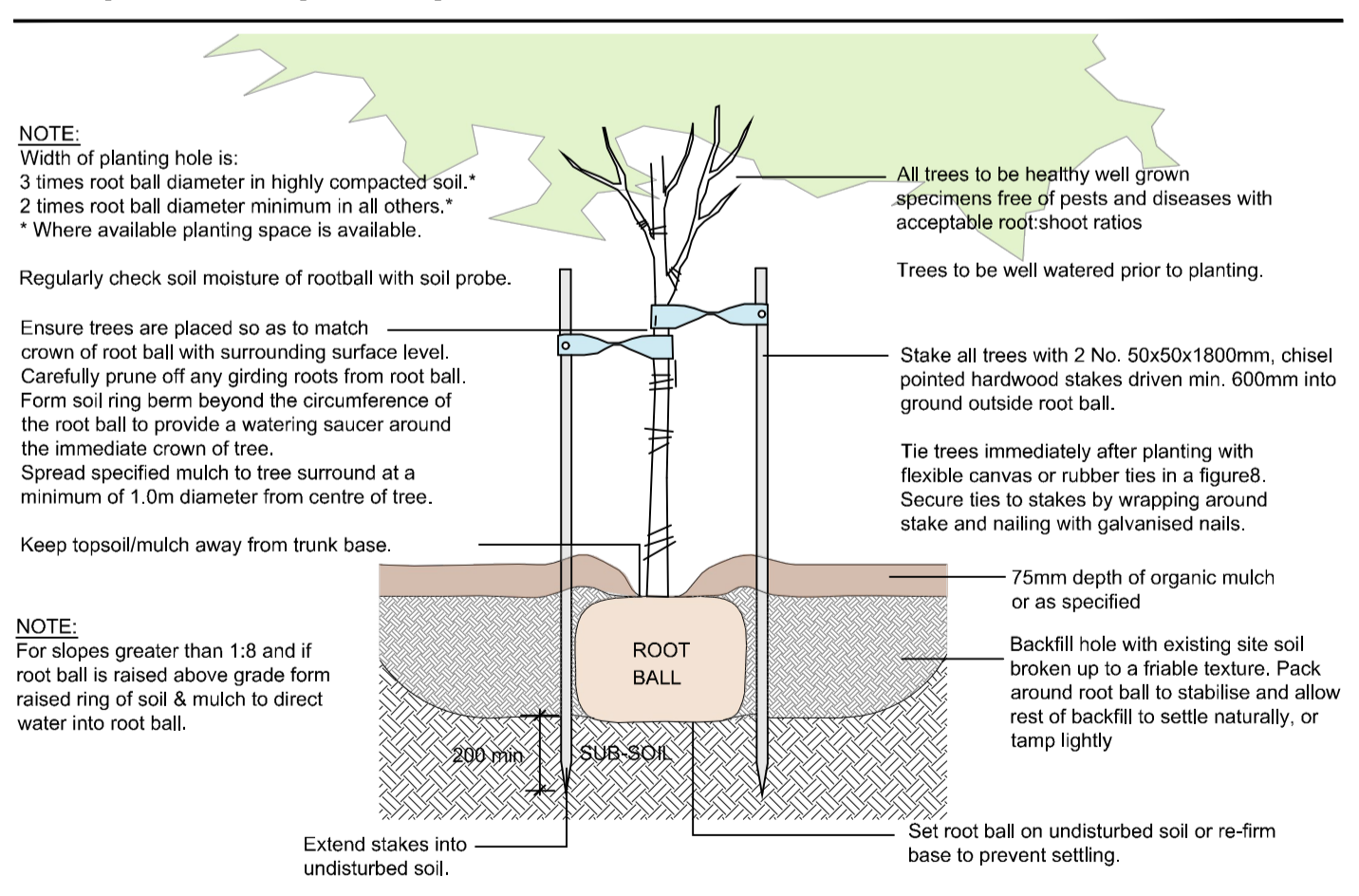
LEGEND

-  Existing Tree to be Retained, Refer to Arbonist Report
-  Proposed Trees Refer to Plant Schedule
-  Proposed Shrubs Refer to Plant Schedule
-  Proposed Groundcovers & Grasses Refer to Plant Schedule
-  Proposed Climbers Refer to Plant Schedule
-  Proposed Lawn Area Refer to Specification
-  Proposed Paving To Later Detail
-  Proposed Permeable Paving To Later Detail
-  Proposed Gravel Surface Refer to Specification
-  Proposed Coloured Concrete To Later Detail
-  Reinstated Naturestrip Refer to Specification

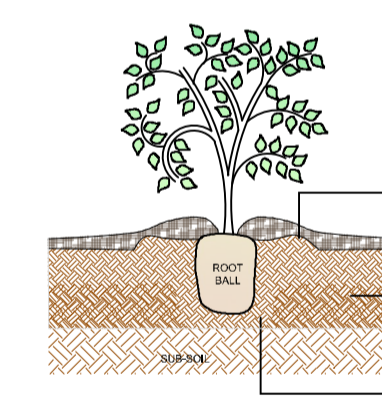


First Floor Landscape Plan
1:100 @A1

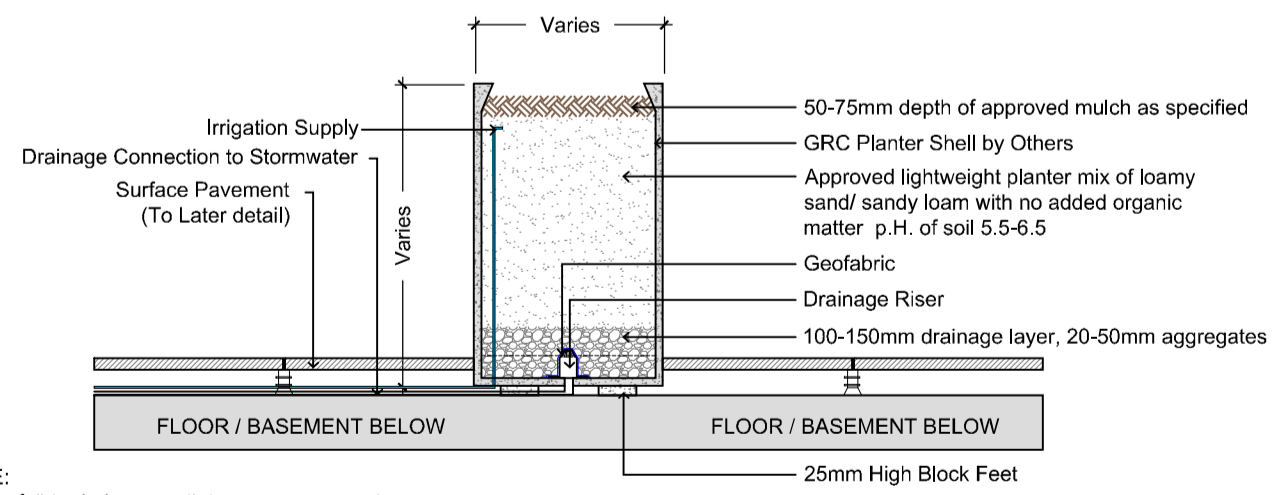
TYPICAL PLANTING DETAILS



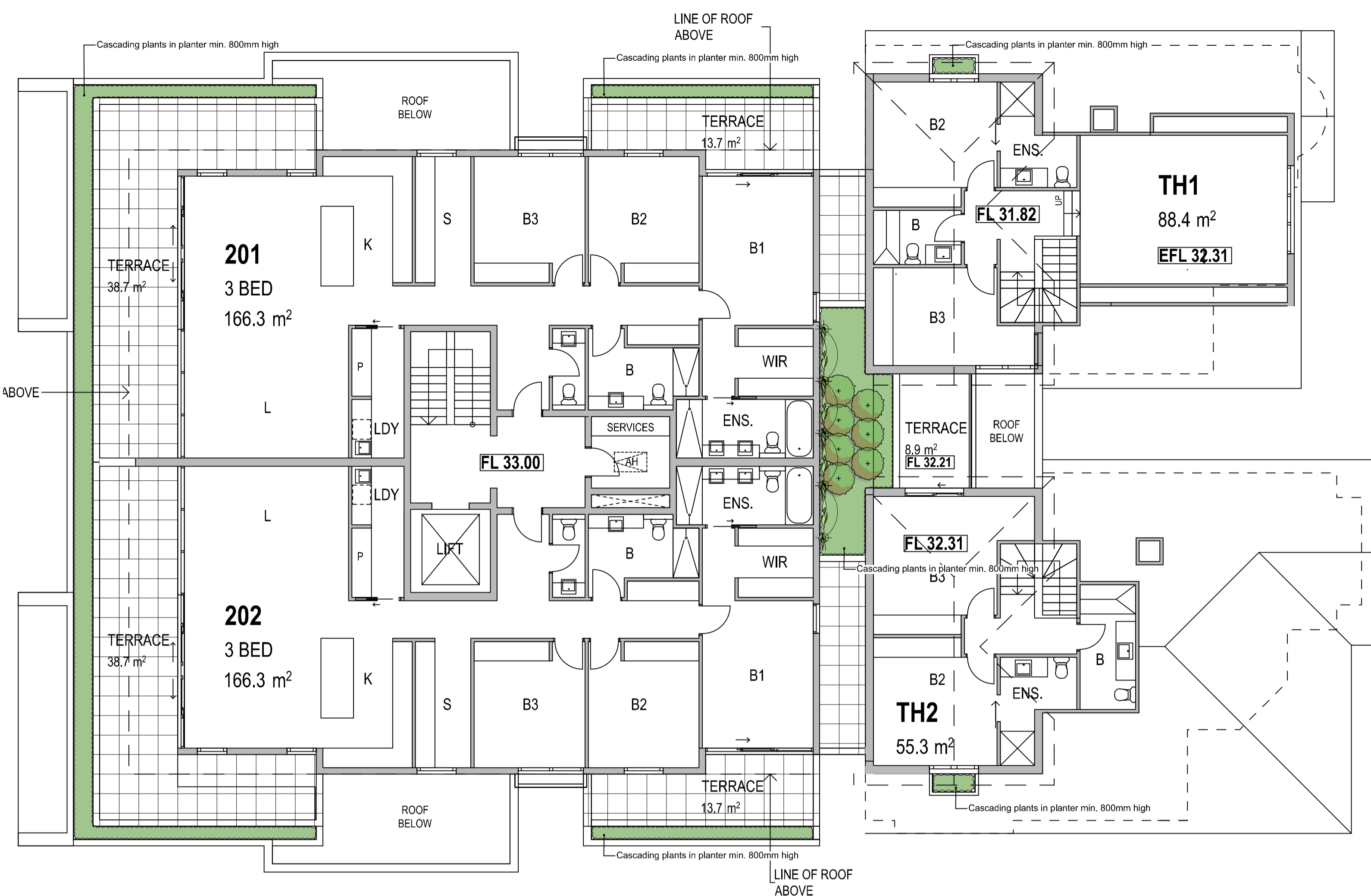
D1 TYPICAL TREE PLANTING DETAIL
Scale N.T.S.



D2 TYPICAL SHRUB PLANTING DETAIL
Scale N.T.S.



D1 TYPICAL GRC PLANTER DETAIL
Scale 1:20



Second Floor Landscape Plan
1:100 @A1

PLANT SCHEDULE- FIRST FLOOR & SECOND FLOOR PLANT SCHEDULE

SYM	BOTANICAL NAME	COMMON NAME	DIENEX	HEIGHT X WIDTH AT MATURITY	SUPPLY SIZE	QTY
TREES						
LfF	<i>Lagerstroemia fauriei</i> 'Fantasy'	Fantasy Crepe Myrtle	D/Ex	8 x 6m	3m	2
PcC	<i>Pyrus calleryana</i> 'Capital'	Capital Pear	D/Ex	11 x 3m	3m	4
Qp	<i>Quercus palustris</i>	Pin Oak	D/Ex	14 x 8m	3m	2
					TOTAL	8
SHRUBS						
Hq	<i>Hydrangea quercifolia</i>	Oak-leaf Hydrangea	D/Ex	1.5 x 1.5m	200mm Pots	
Mp	<i>Murraya paniculata</i>	Orange Jessamine	E/Ex	3 x 1m	200mm Pots	
SaBC	<i>Syzygium australe</i> 'Bush Christmas'	Bush Christmas Lilly-pilly	E/N	2-3 x 1m	200mm Pots	
Sr	<i>Sarcococca ruscifolia</i>	Fragrant Sw eet Box	E/Ex	1.5 x 1.5m	200mm Pots	
					TOTAL	
GROUNDCOVERS						
LmJR	<i>Liriope muscari</i> 'Just Right'	Just Right Evergreen Giant	E/Ex	0.5 x 0.5m	140mm Pots	
Lp	<i>Limonium perezii</i>	Sea Lavender	E/Ex	0.6 x 0.6m	140mm Pots	
LIT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat-rush	E/N	0.6 x 0.6m	140mm Pots	
MpY	<i>Myoporum parvifolium</i> 'Yareena'	Creeeping Boobialla Yareena	E/N	0.1 x 1m	140mm Pots	
Rh	<i>Ruscus hypoglоссum</i>	Butcher's Broom	E/Ex	0.5 x 1m	140mm Pots	
Ta	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	E/Ex	0.2 x Spreading	140mm Pots	
					TOTAL	
CLIMBERS						
Fp	<i>Ficus pumila</i>	Climbing Fig	E/Ex	Climber	140mm Pots	
Ph	<i>Parthenocissus henryana</i>	Silver Vein Creeper	D/Ex	Climber	140mm Pots	
					TOTAL	
PLANTER CASCADING PLANTS						
Kp	<i>Kanndia prostrata</i>	Running Postman	E/N	0.1 x 2m	140mm pot	
Rop	<i>Rosmarinus officinalis prostratus</i>	Prostrate Rosemary	E/Ex	0.5 x 1.5m	140mm pot	
					TOTAL	

DI = Deciduous/Evergreen NI = Native/Exotic

To Later Detail



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