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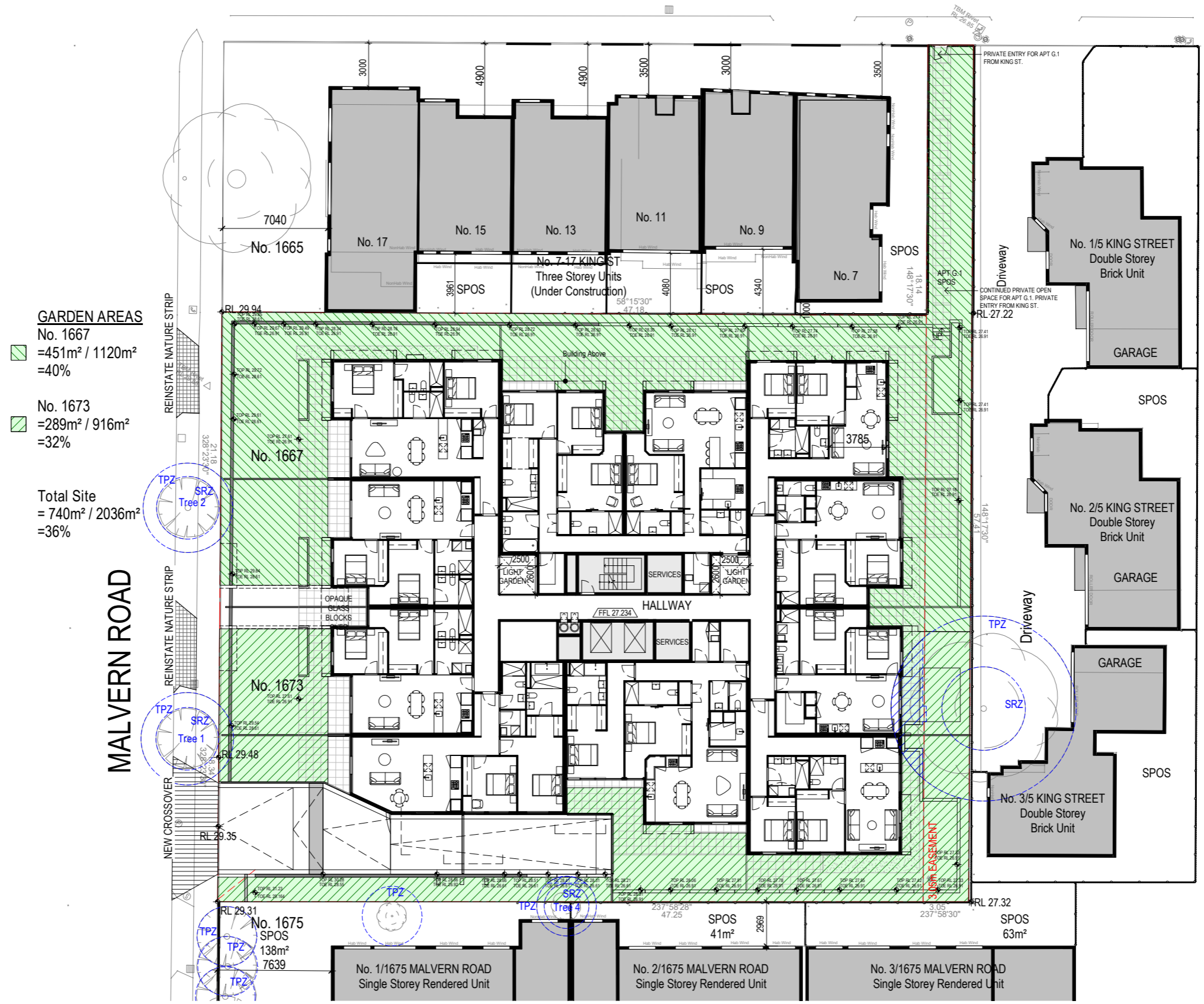
300/21 – 1667-1673 Malvern Road Glen Iris

★ = objector

Date printed: 21/09/2022

Scale: 1:1000

KING ST



GARDEN AREAS

- No. 1667
=451m² / 1120m²
=40%
- No. 1673
=289m² / 916m²
=32%

Total Site
= 740m² / 2036m²
=36%

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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

GARDEN AREA

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1 : 150 @ A1

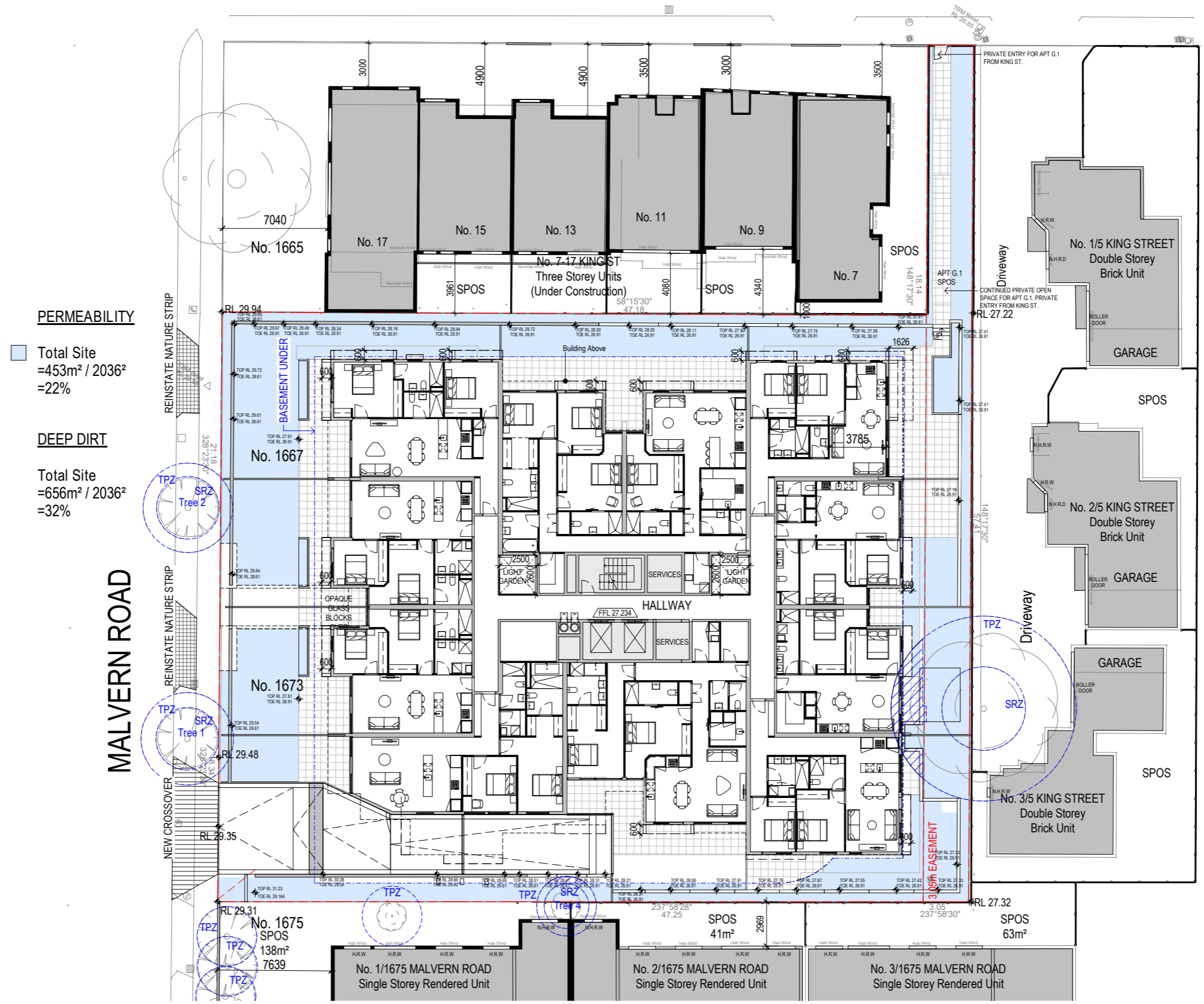
FOR DISCUSSION

DRAWING NO: TP 070



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

PERMEABILITY

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1 : 150 @ A1

FOR DISCUSSION

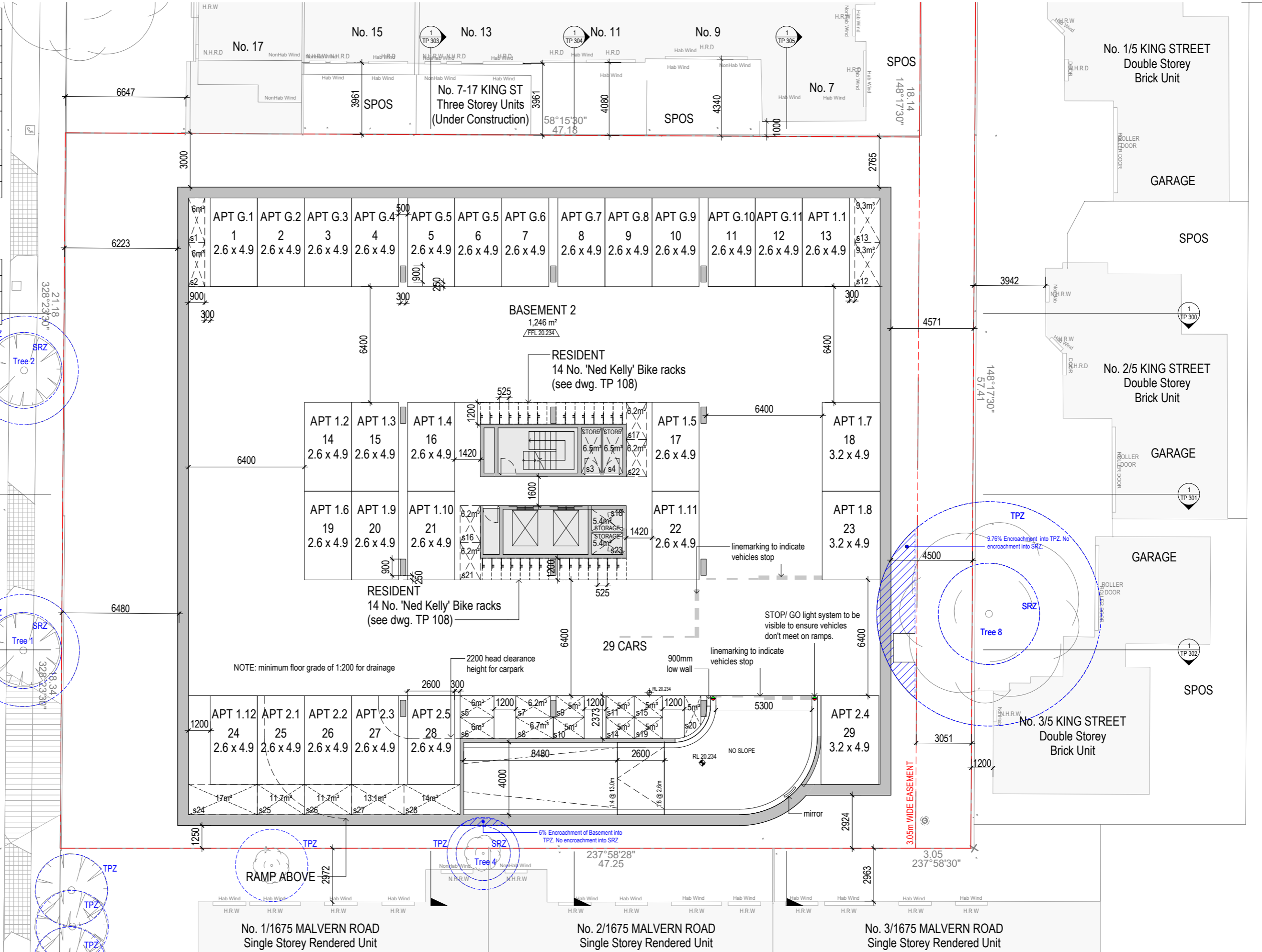
DRAWING NO: **TP 071**



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CAR PARKING SCHEDULE		
	CAR REQUIREMENT	TOTAL
9 x 1 BED UNIT	1 CARS/UNIT	9
27 x 2 BED UNIT	1 CARS/UNIT	27
5 x 3 BED UNIT	2 CARS/UNIT	10
VISITOR PARKING	0 CARS/UNIT	0
41 UNITS	REQUIRED CARPARKS	46
CAR PARKING PROVIDED		
BASEMENT 2	29 CARS	
BASEMENT 1	21 CARS	
	50 CARS	
48 RESIDENT CARPARKS, 1 EV CARPARK, & 1 CARWASH CARPARK.		
41 TOTAL STORAGE CAGES		
BIKE SPACES		
RESIDENT	41 BIKE SPACES. 40 NED KELLY, 1 HOOP	
VISITOR	9 BIKE SPACES. 9 HOOP	
	50 BIKE SPACES	

SITE AREA	= 2,036m ²
BASEMENT AREA	= 1,380m ²
BASEMENT SITE COVERAGE	= 1,380m ²
	= 68%
SITE COVERAGE	= 1183m ²
	= 58%
DEEP SOIL	= 553m ²
	= 27%



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RESIDENTIAL/ CONCEPT
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PROJECT NO: 3-19-0053
PROJECT DATE: Issue Date
REASON FOR ISSUE: TOWN PLANNING

BASEMENT 2 PLAN

REVISION: B
SHEET DATE: DEC' 2021
SCALE: 1: 100 @ A1

FOR DISCUSSION

DRAWING NO: **TP 100**



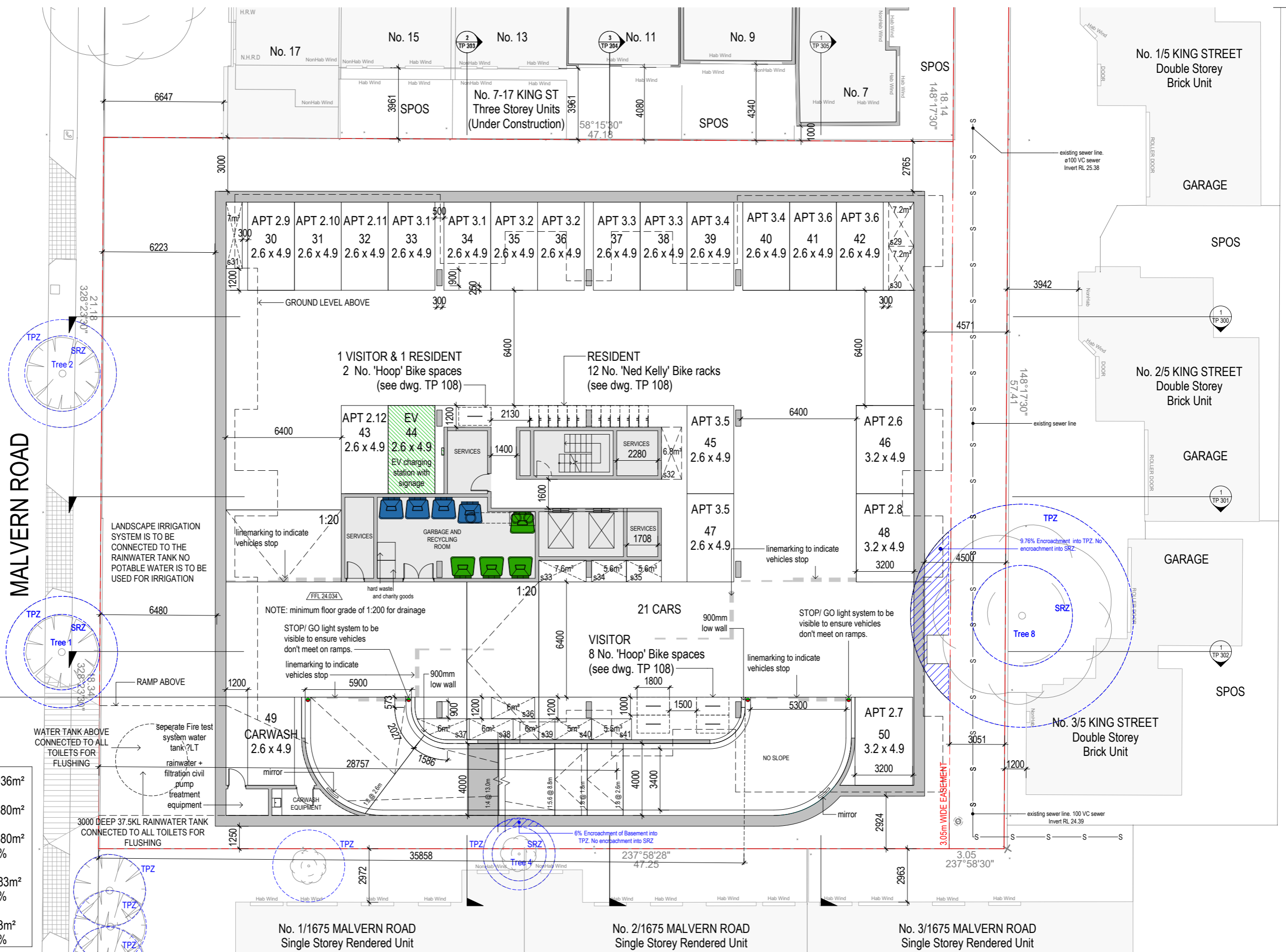
31/12/2021 5:13:25 PM

APARTMENT CARPARK & STORAGE ALLOCATION

APARTMENT	CAR No	Storage No
G.1	1	s1
G.2	2	s2
G.3	3	s3
G.4	4	s4
G.5	5 & 6	s5
G.6	7	s6
G.7	8	s7
G.8	9	s8
G.9	10	s9
G.10	11	s10
G.11	12	s12
1.1	13	s13
1.2	14	s11
1.3	15	s14
1.4	16	s16
1.5	17	s17
1.6	19	s15
1.7	18	s18
1.8	23	s19
1.9	20	s23
1.10	21	s21
1.11	22	s22
1.12	24	s24
2.1	25	s25
2.2	26	s26
2.3	27	s27
2.4	29	s20
2.5	28	s28
2.6	46	s30
2.7	50	s33
2.8	48	s34
2.9	30	s31
2.10	31	s36
2.11	32	s37
2.12	43	s35
3.1	33 & 34	s38
3.2	35 & 36	s41
3.3	37 & 38	s39
3.4	39 & 40	s40
3.5	45 & 47	s32
3.6	41 & 42	s29

1 BED 2 BED 3 BED

SITE AREA	= 2,036m ²
BASEMENT AREA	= 1,380m ²
BASEMENT SITE COVERAGE	= 1,380m ² = 68%
SITE COVERAGE	= 1183m ² = 58%
DEEP SOIL	= 553m ² = 27%



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PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

BASEMENT 1 PLAN

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1: 100 @ A1

FOR DISCUSSION

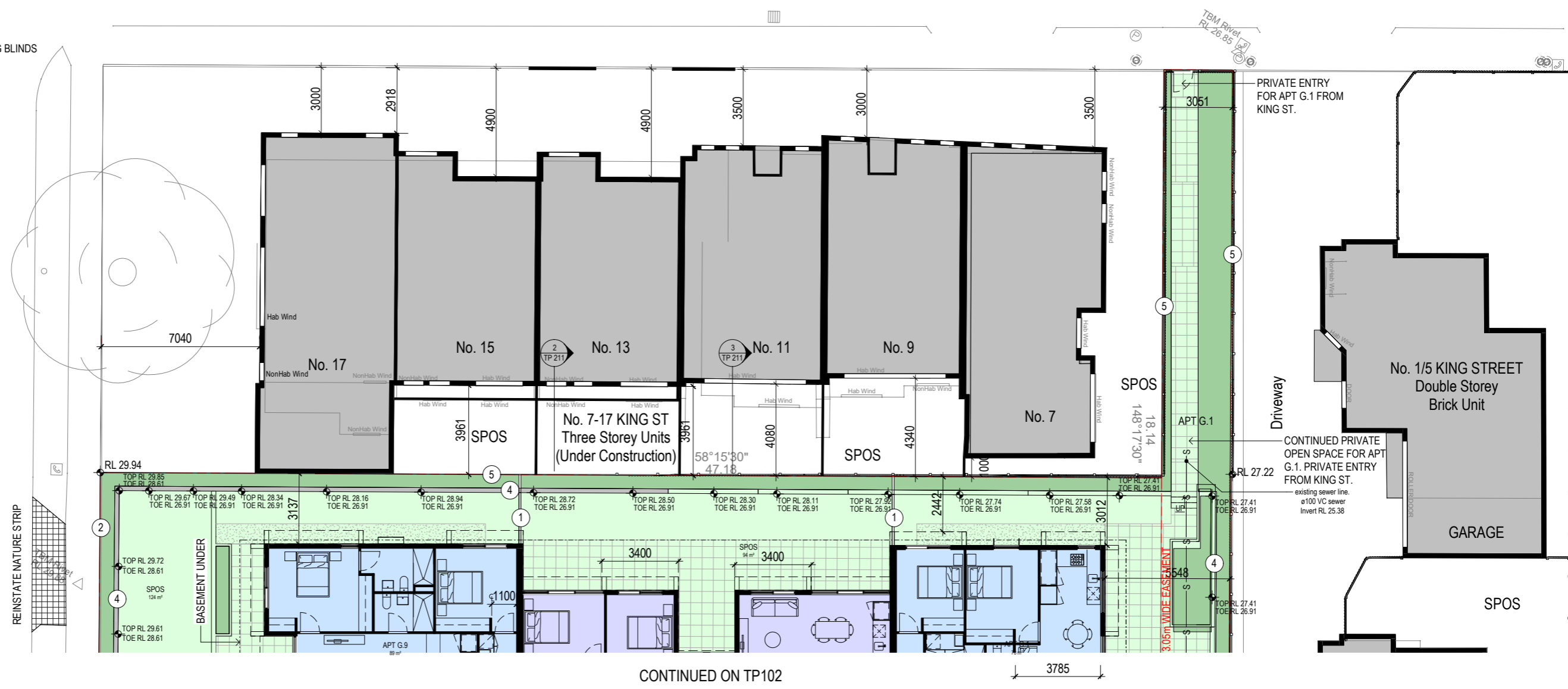
DRAWING NO: **TP 101**



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SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

GROUND FLOOR PLAN CONTINUED

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1 : 100 @ A1

FOR DISCUSSION

DRAWING NO: **TP 103**



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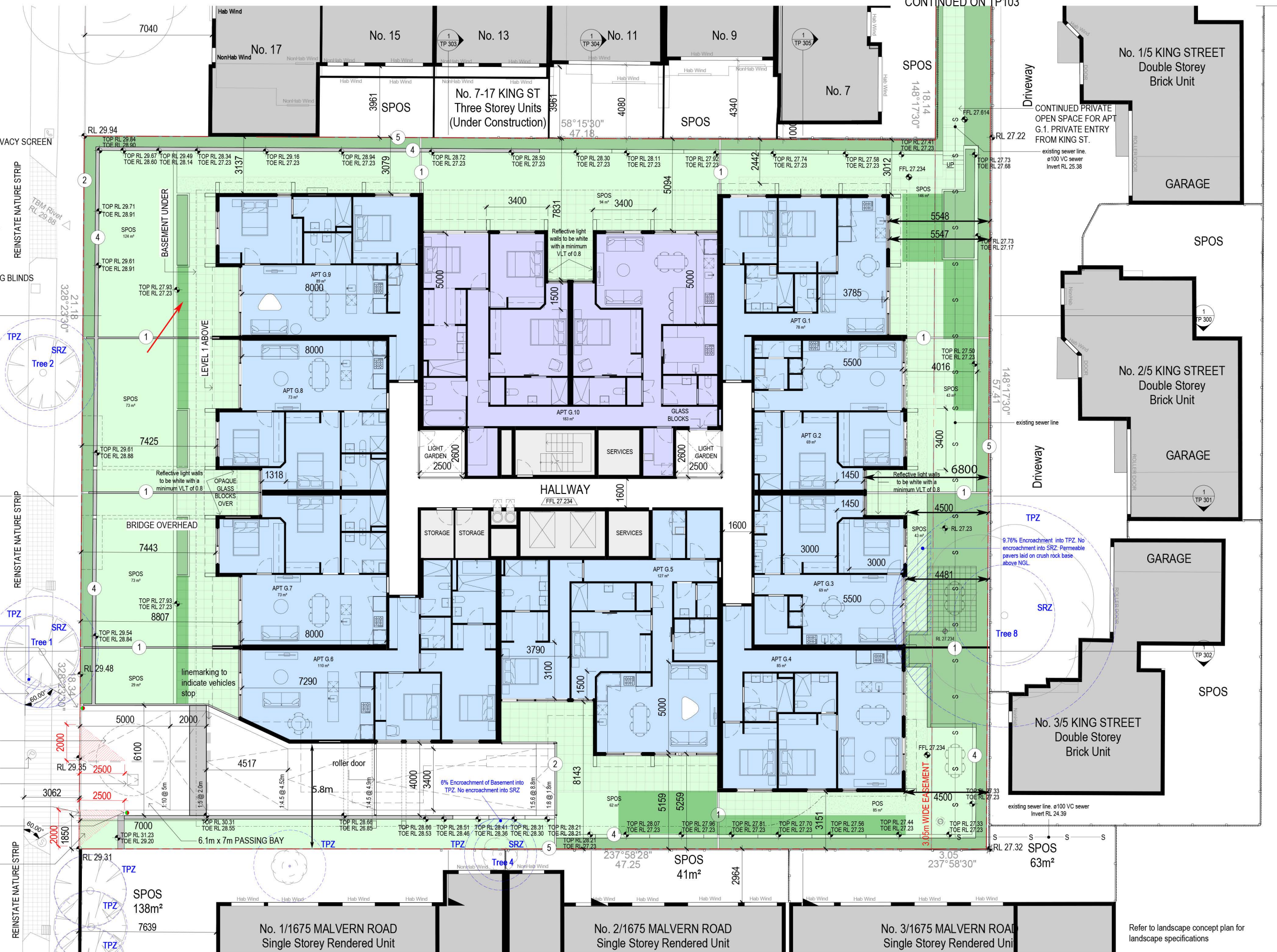
SCREEN LEGEND

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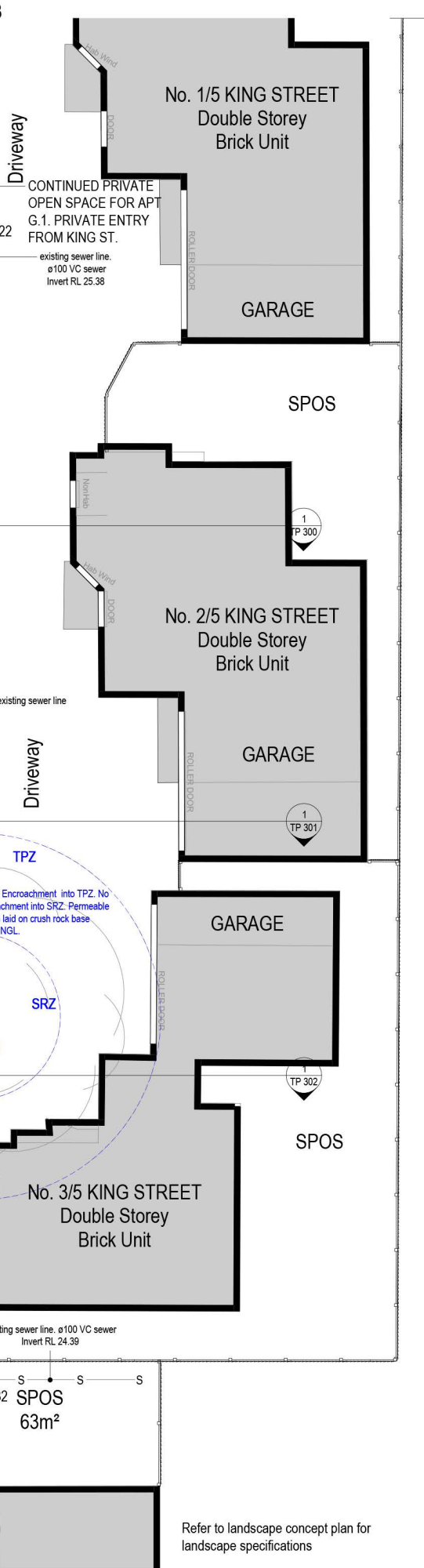
LANDSCAPE IRRIGATION SYSTEM IS TO BE CONNECTED TO THE RAINWATER TANK NO POTABLE WATER IS TO BE USED FOR IRRIGATION

MALVERN ROAD

- 8.95% Encroachment into TPZ
- 4.55% encroachment into SRZ
- STOP/GO LIGHT SYSTEM TO ENSURE VEHICLES DON'T MEET ON RAMP (PRIORITY TO VEHICLES ENTERING)
- NEW CROSSOVER
- 3000 DEEP 37.5KL RAINWATER TANK CONNECTED TO ALL TOILETS FOR FLUSHING
- POWER POLE TO BE RELOCATED
- PROPOSED MANHOLE VISUAL EXIT SPLAY <900mm HIGH
- STOP/GO LIGHT SYSTEM TO ENSURE VEHICLES DON'T MEET ON RAMP
- VEGETATION <900mm HIGH



CONTINUED ON TP103



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PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

GROUND FLOOR PLAN

REVISION: B SHEET DATE: DEC '2021 SCALE: 1 : 100 @ A1

FOR DISCUSSION

TP 102



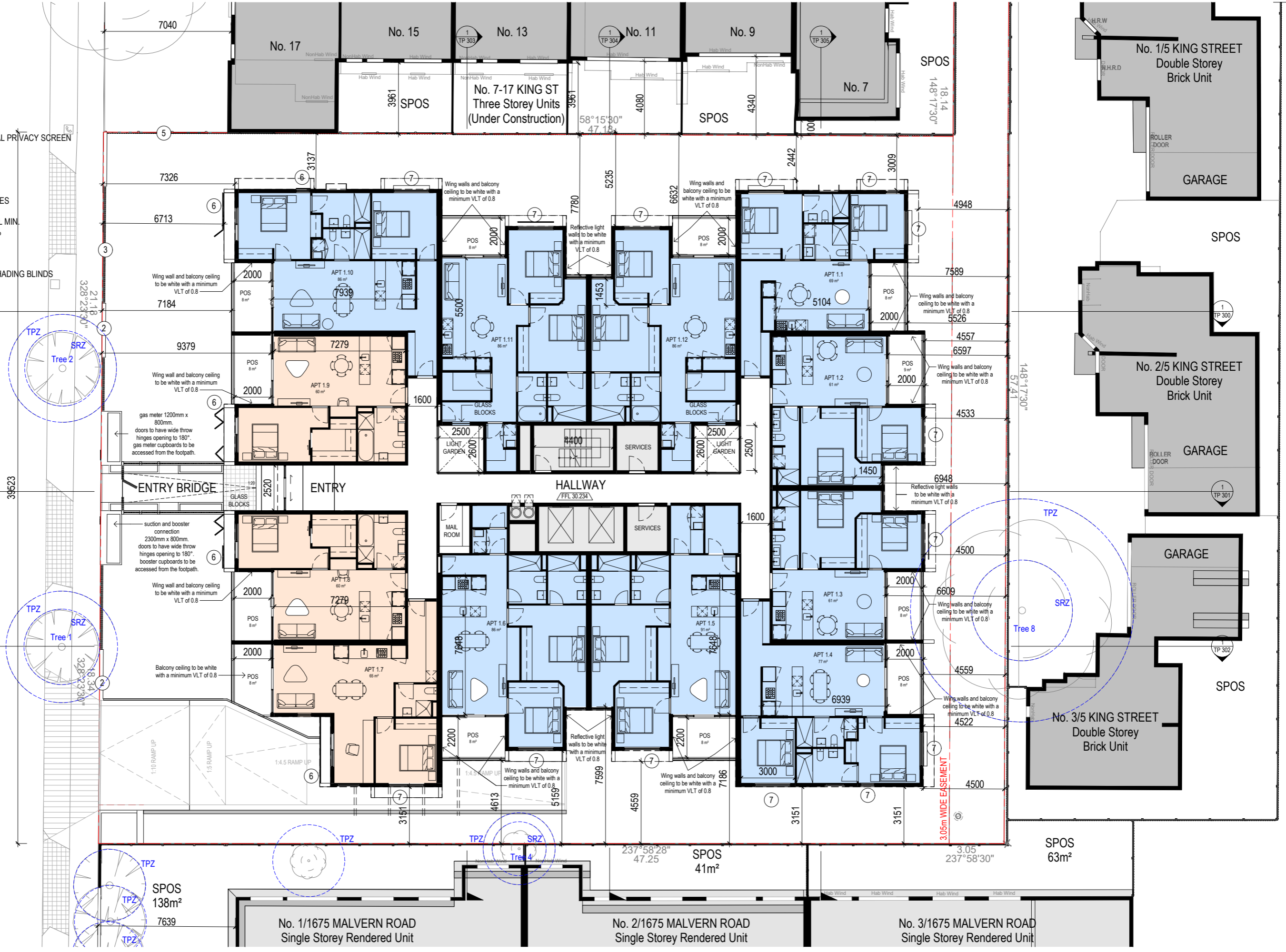
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MALVERN ROAD
39523



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RESIDENTIAL/ CONCEPT
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PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

LEVEL 1 PLAN

REVISION: B SHEET DATE: DEC '2021

FOR DISCUSSION

SCALE: 1:100 @ A1

DRAWING NO: **TP 104**



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MALVERN ROAD



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO:
3-19-0053

PROJECT DATE:
Issue Date

REASON FOR ISSUE:
TOWN PLANNING

LEVEL 2 PLAN

REVISION:
B

SHEET DATE:
DEC' 2021

SCALE:
1: 100 @ A1

FOR DISCUSSION

DRAWING NO:
TP 105

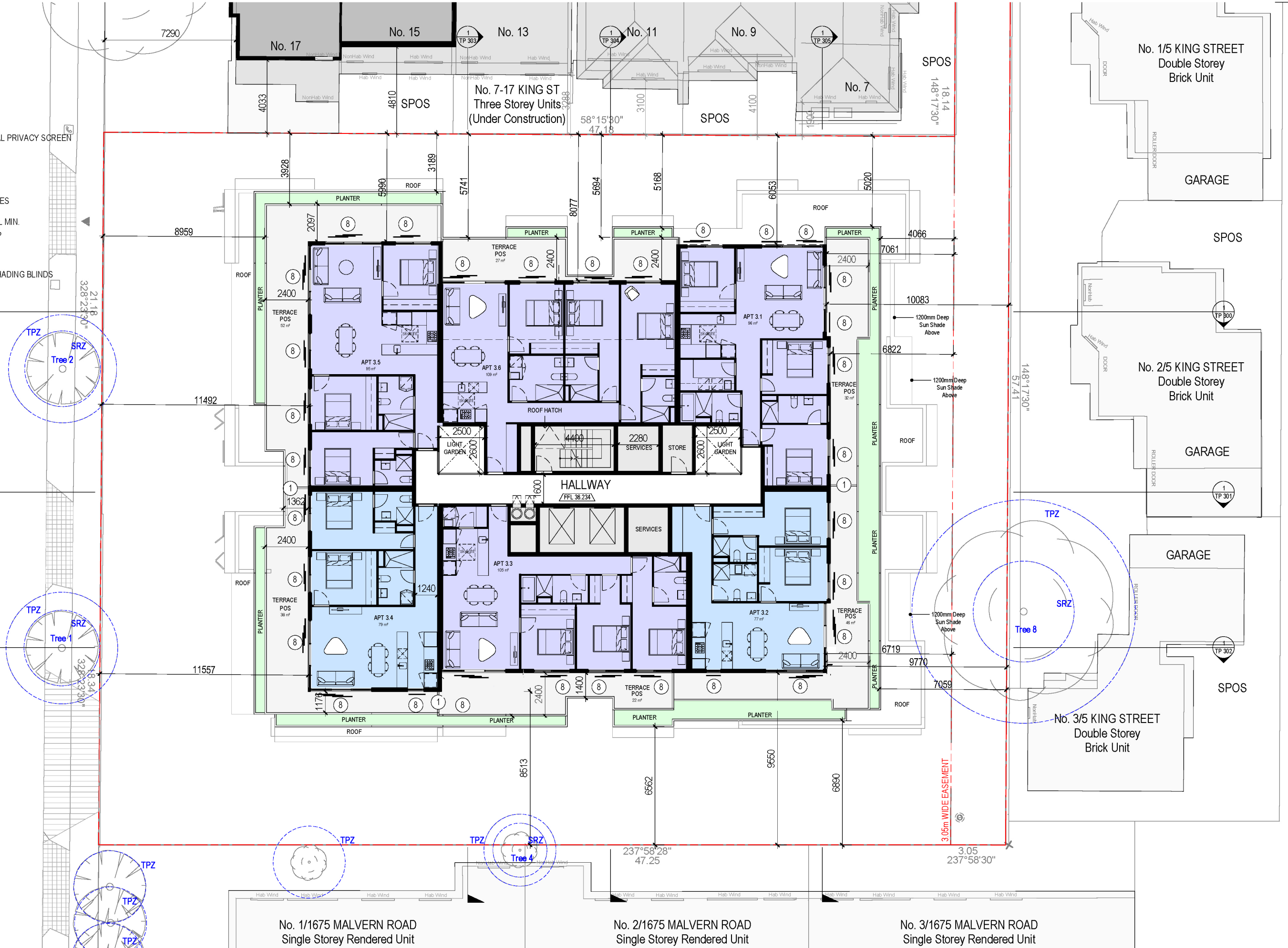


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MALVERN ROAD



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PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

LEVEL 3 PLAN

REVISION: B SHEET DATE: DEC '2021 SCALE: 1 : 100 @ A1

FOR DISCUSSION

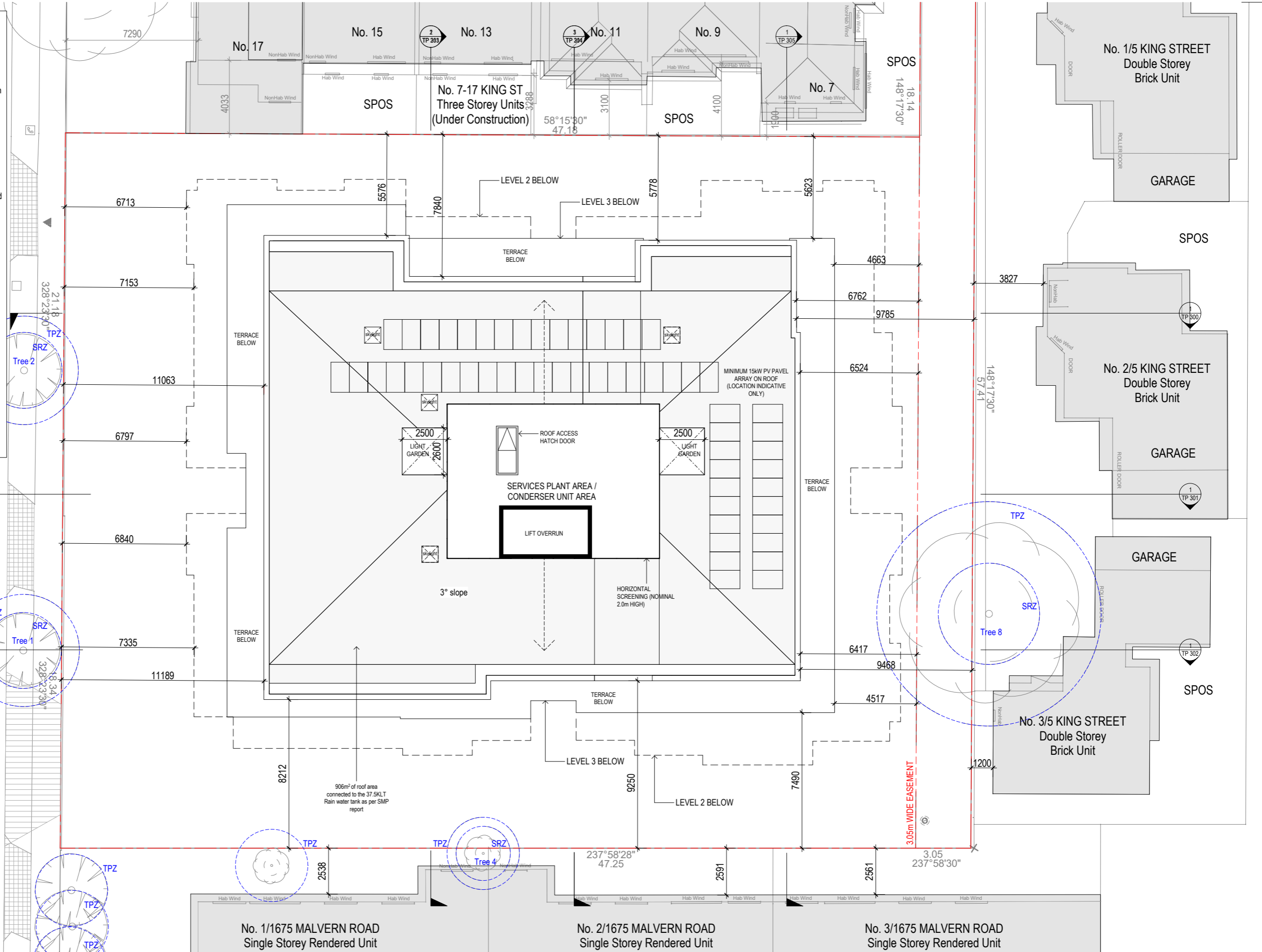
DRAWING NO: TP 106

NORTH

31/12/2021 5:13:47 PM

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- Key ESD initiatives**
- Utility meters will be provided for all individual apartments. All major common area services will be separately sub-metered.
 - All common areas and external area lighting will be controlled through motion/daylight sensor
- Water**
- 37500 L rainwater tank used for toilet flushing and irrigation
 - Water efficient fittings
 - Toilets minimum 4 stars WELS rated
 - Tap minimum 5 star WELS rated
 - Showers minimum 3 star WELS rated (maximum 7.5L/min)
 - Water efficient appliances (4 star dishwasher)
- Energy**
- 7.7 star average energy rating for apartment
 - 15 kW solar photovoltaics system
 - High efficiency air conditioning systems (heating 5 star and cooling 5 star)
 - Efficient hot water system (6 star Water heating systems)
 - Efficient lighting (LED) – 4 W/m² to all habitable areas (the maximum illumination power to be at least 90% of the NCC 2019 Building Class)
 - High performance glazing to all windows (Double glazing)
- Other ESD initiatives**
- Natural ventilation to all apartments
 - Low VOC paints, adhesives & sealants to improve indoor environmental quality for residents.
 - Sustainable timber
 - Water efficient/drought tolerant plants will be selected.
 - Fire water recycling system
 - Electric charging infrastructure within basement carpark
 - Clothesline provided to all apartments (foldable clothes on balconies)
 - Tap and floor water on all balconies and courtyard
 - Bicycle spaces (41 for residents and 9 for visitors)
 - Water efficient Landscaping
 - Carpark CO monitoring system provided
 - Vegetated areas provided as per landscape plan
 - Recycling facilities provided
 - Refer to Bess report and Daylight Analysis report for compliance



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PROJECT NO: 3-19-0053
PROJECT DATE: Issue Date
REASON FOR ISSUE: TOWN PLANNING

ROOF PLAN

REVISION: B
SHEET DATE: DEC' 2021

FOR DISCUSSION

SCALE: 1:100 @ A1

DRAWING NO: TP 107



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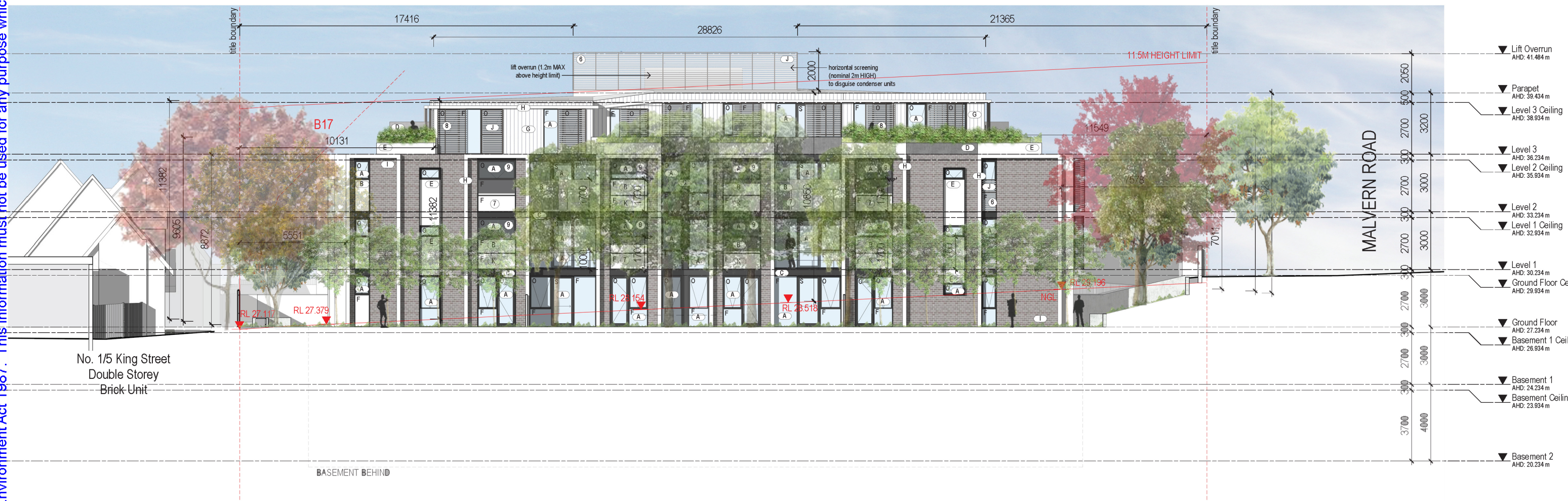
SCREEN LEGEND

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- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
- (D) DARK RENDER
- (E) LIGHT RENDER
- (G) GREY METAL FINISH
- (H) LIGHT METAL FINISH
- (I) BRICK TYPE FINISH
- (J) HORIZONTAL METAL LOUVRE
- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 NORTH-WEST ELEVATION
Scale 1:100

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MATERIAL LEGEND:

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ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SOUTH-WEST ELEVATION
Scale 1:100

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- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
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ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SOUTH-EAST ELEVATION
Scale 1:100

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RESIDENTIAL/ CONCEPT
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PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

SOUTH-EAST ELEVATION

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1:100 @ A1

DRAWING NO:
TP 203

31/12/2021 5:26:11 PM

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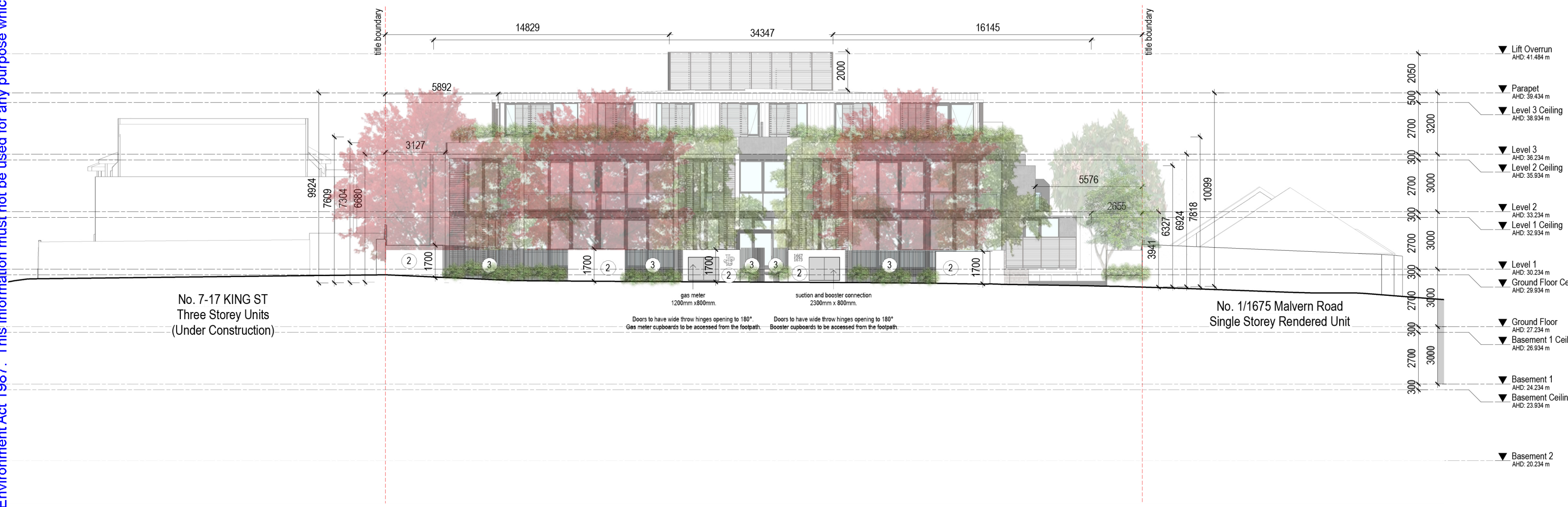
SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
- (D) DARK RENDER
- (E) LIGHT RENDER
- (G) GREY METAL FINISH
- (H) LIGHT METAL FINISH
- (I) BRICK TYPE FINISH
- (J) HORIZONTAL METAL LOUVRE
- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SOUTH-WEST FENCE
Scale 1:100

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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

SOUTH-WEST ELEVATION (FENCE)

REVISION: B SHEET DATE: DEC' 2021 SCALE: 1:100 @ A1

FOR DISCUSSION

DRAWING NO:
TP 205

31/12/2021 5:18:19 PM

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SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
- (D) DARK RENDER
- (E) LIGHT RENDER
- (G) GREY METAL FINISH
- (H) LIGHT METAL FINISH
- (I) BRICK TYPE FINISH
- (J) HORIZONTAL METAL LOUVRE
- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

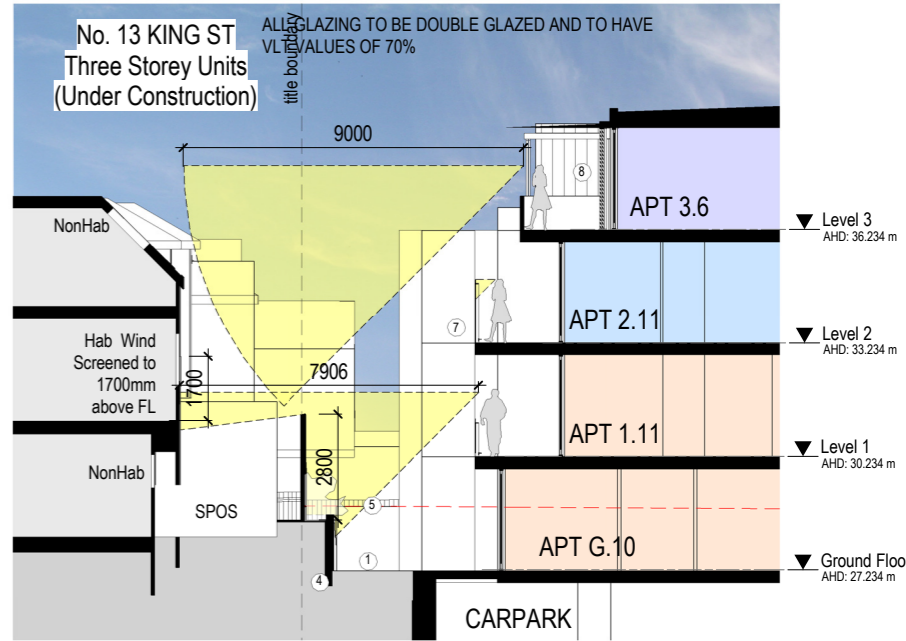


*Neighbouring proposed Townhouse have obscured views to 1700mm to Habitable room windows.

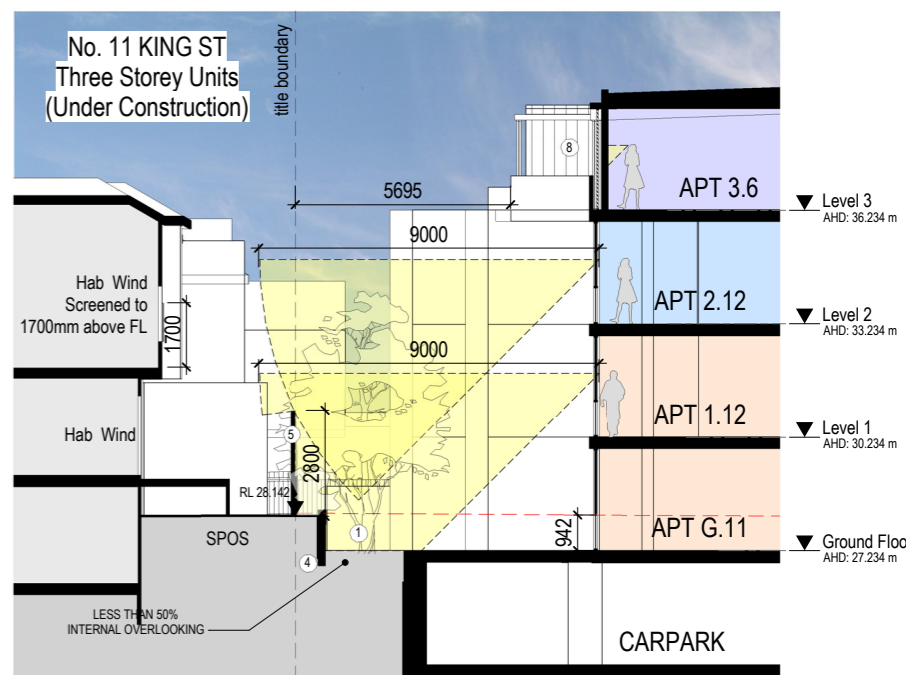
④ Neighbouring Townhouses 7-17 King St Rear Elevation
Scale 1:100



① NORTH-WEST Elevation - Overlooking Detail
Scale 1:100



② OVERLOOKING SECTION 1
TP 101 Scale 1:100



③ OVERLOOKING SECTION 2
TP 101 Scale 1:100

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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

OVERLOOKING DIAGRAMS

REVISION: B SHEET DATE: DEC '2021

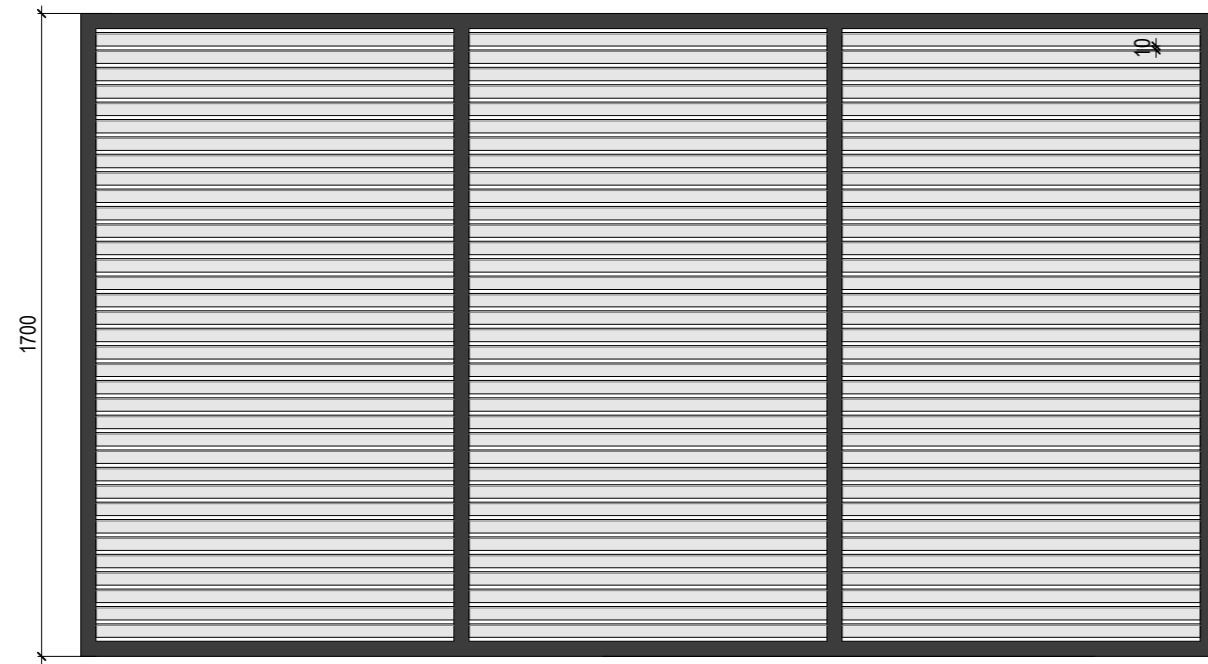
FOR DISCUSSION

DRAWING NO: TP 211

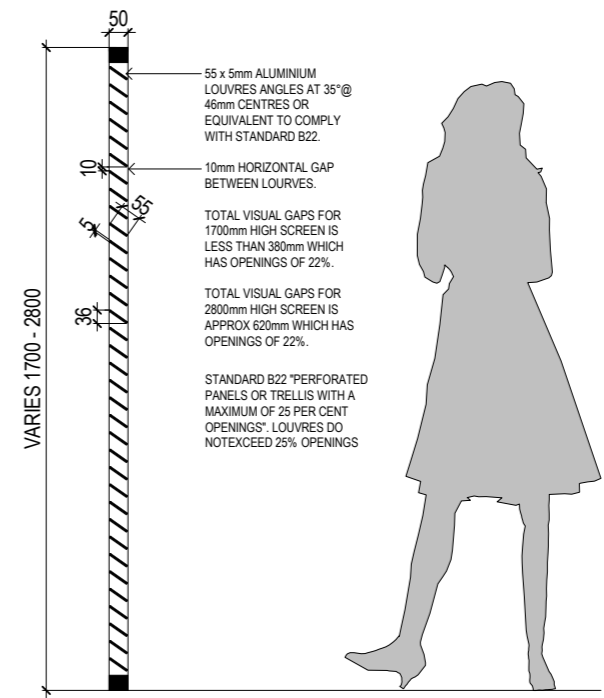
SCALE: 1:100 @ A1

31/12/2021 1:20:21 PM

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TYPICAL HIGH VERTICAL SCREEN ELEVATION



TYPICAL HIGH VERTICAL SCREEN SECTION

1 1.7m HIGH VERTICAL PRIVACY SCREENS
Scale 1:10

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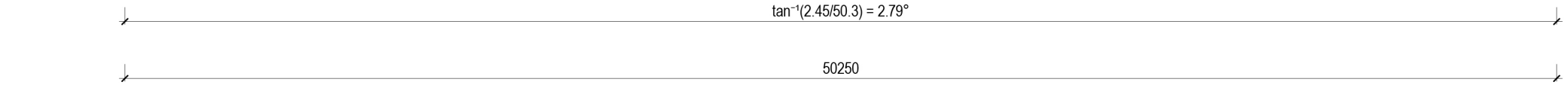
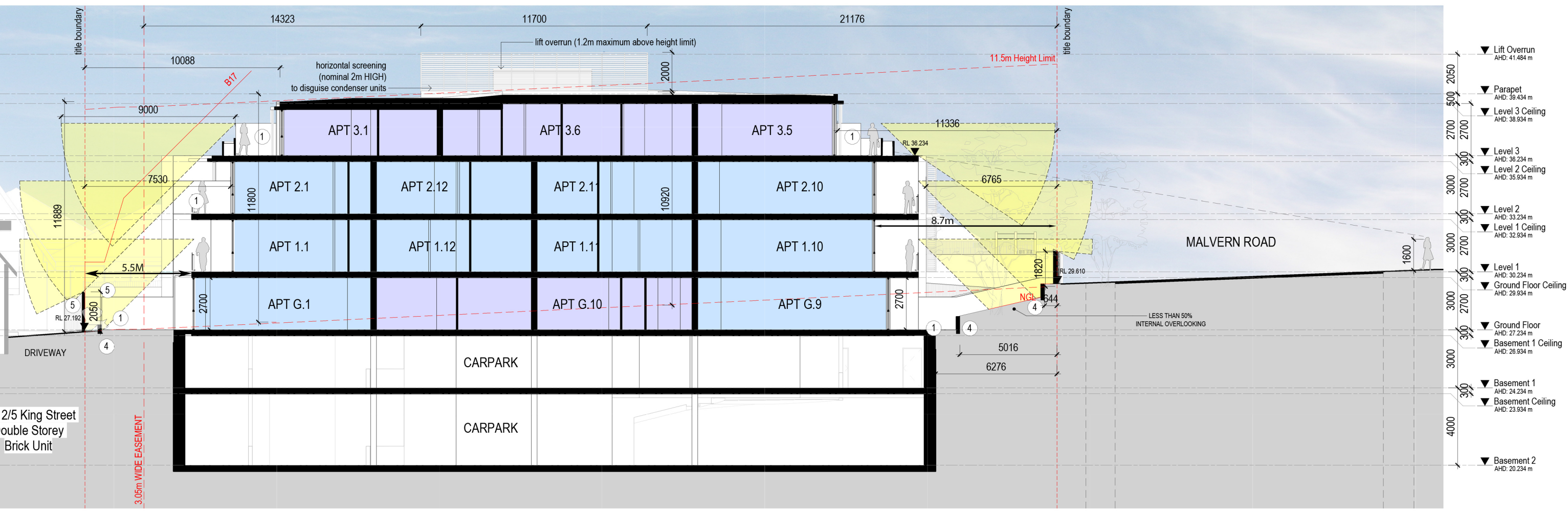
SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

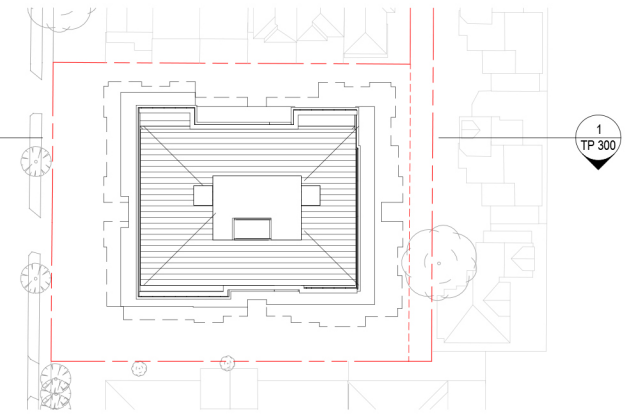
MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
- (D) DARK RENDER
- (E) LIGHT RENDER
- (G) GREY METAL FINISH
- (H) LIGHT METAL FINISH
- (I) BRICK TYPE FINISH
- (J) HORIZONTAL METAL LOUVRE
- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



SECTION 1
TP 100 Scale 1:100



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

SECTION 1

REVISION: B SHEET DATE: DEC' 2021

FOR DISCUSSION

SCALE: 1:100 @ A1

DRAWING NO: TP 300

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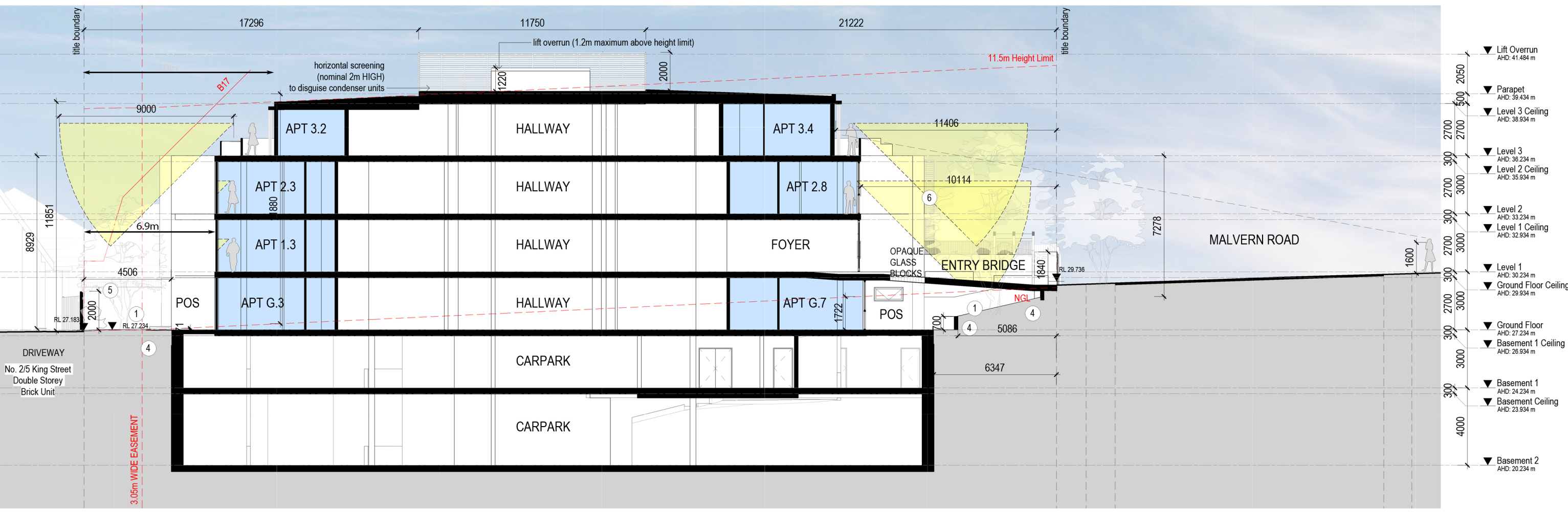
SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
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- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

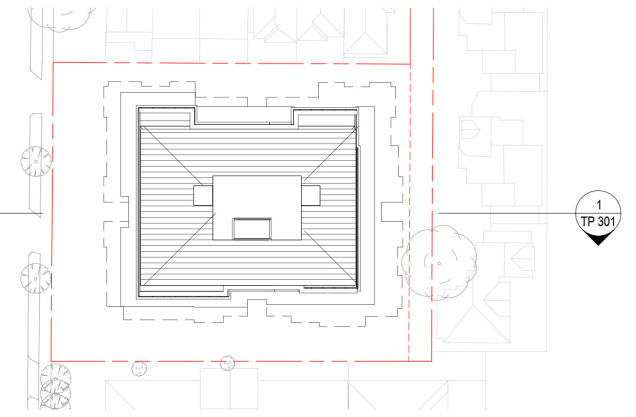
MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
- (D) DARK RENDER
- (E) LIGHT RENDER
- (G) GREY METAL FINISH
- (H) LIGHT METAL FINISH
- (I) BRICK TYPE FINISH
- (J) HORIZONTAL METAL LOUVRE
- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SECTION 2
TP 100 Scale 1:100



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO: 3-19-0053 PROJECT DATE: Issue Date REASON FOR ISSUE: TOWN PLANNING

SECTION 2

REVISION: B SHEET DATE: DEC' 2021

FOR DISCUSSION

SCALE: 1:100 @ A1

DRAWING NO: TP 301

31/12/2021 1:20:58 PM

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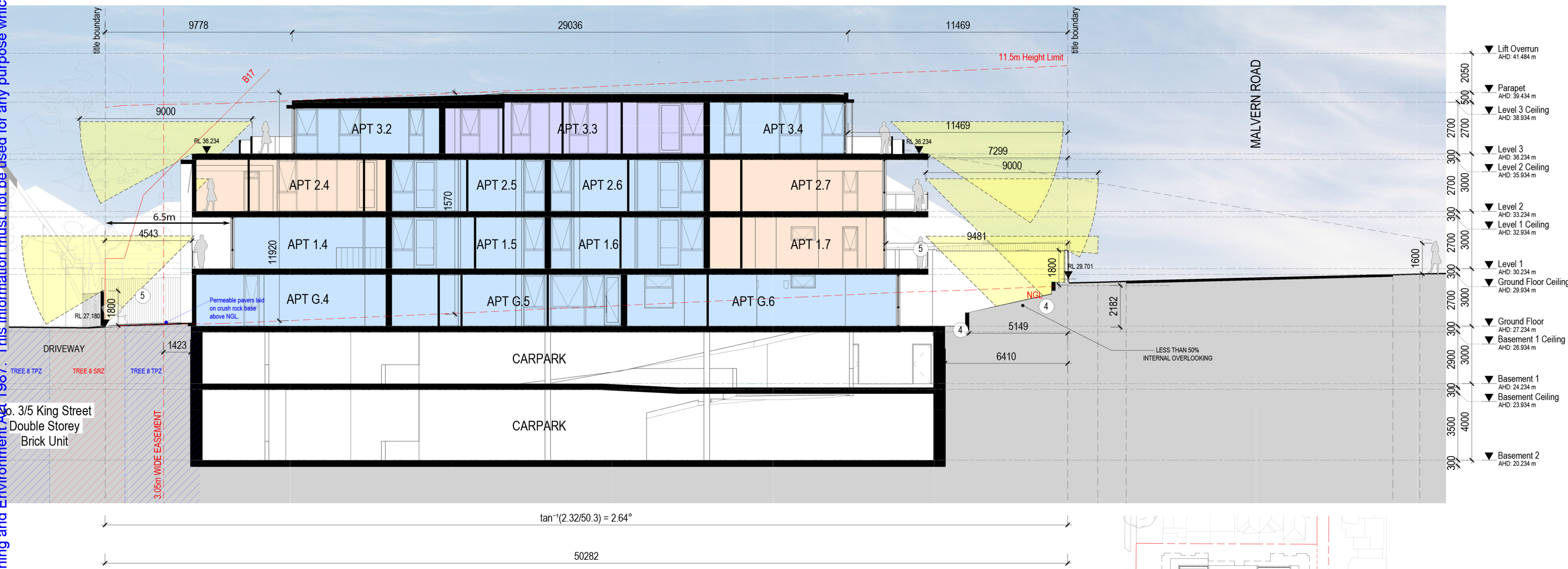
SCREEN LEGEND

- 1 1.7 HIGH PRIVACY SCREEN
- 2 1.7 HIGH RENDERED FENCE
- 3 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- 4 RETAINING WALL
- 5 EXISTING FENCE
- 6 FIXED METAL HORIZONTAL LOUVRES
- 7 FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- 8 SLIDING METAL SCREENS
- 9 MECHANICALLY OPERATED SUNSHADING BLINDS

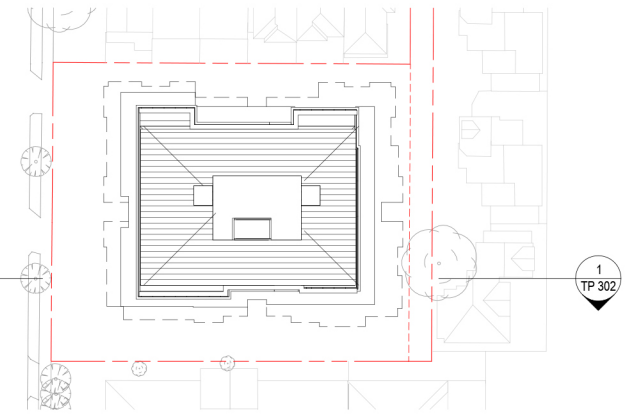
MATERIAL LEGEND:

- A CLEAR GLAZING
- B FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- C ALUMINIUM - DARK FINISH
- D DARK RENDER
- E LIGHT RENDER
- G GREY METAL FINISH
- H LIGHT METAL FINISH
- I BRICK TYPE FINISH
- J HORIZONTAL METAL LOUVRE
- K LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SECTION 3
TP 100 Scale 1:100



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO:
3-19-0053

PROJECT DATE:
Issue Date

REASON FOR ISSUE:
TOWN PLANNING

SECTION 3

REVISION:
B

SHEET DATE:
DEC' 2021

SCALE:
1:100 @ A1

FOR DISCUSSION

DRAWING NO:
TP 302

31/12/2021 5:21:14 PM

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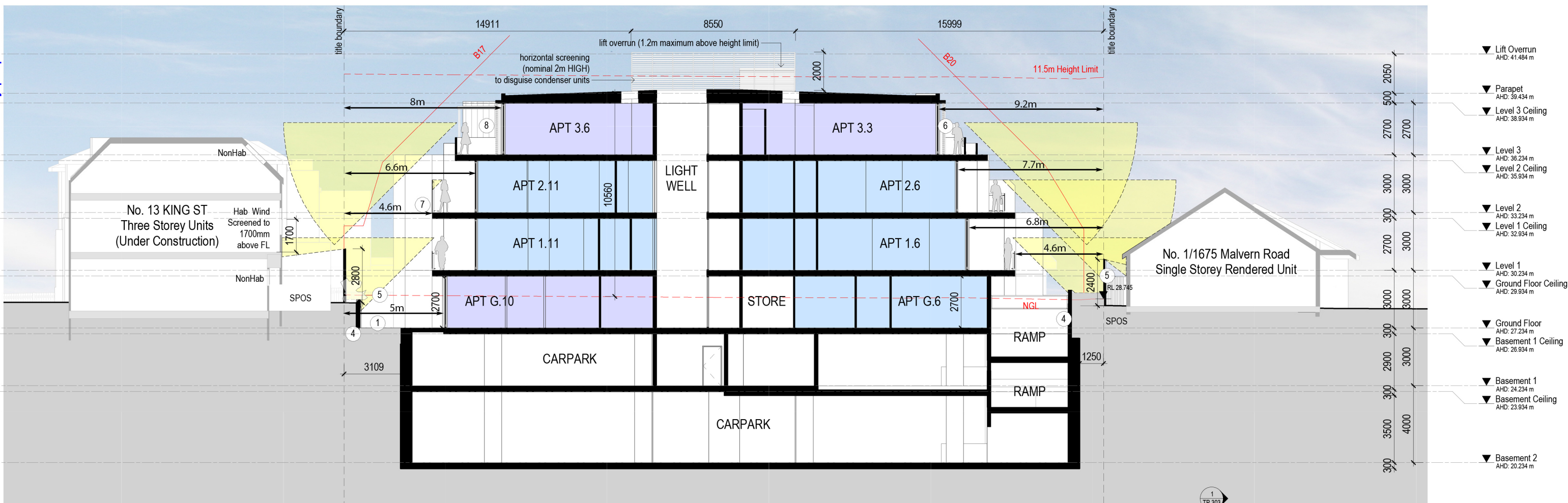
SCREEN LEGEND

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

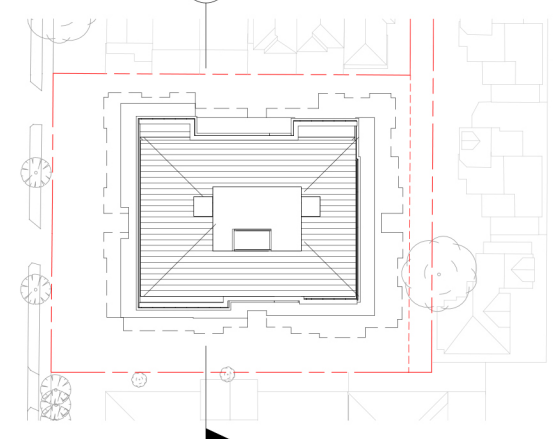
MATERIAL LEGEND:

- (A) CLEAR GLAZING
- (B) FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- (C) ALUMINIUM - DARK FINISH
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- (I) BRICK TYPE FINISH
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- (K) LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SECTION A
TP 100 Scale 1:100



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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO:
3-19-0053

PROJECT DATE:
Issue Date

REASON FOR ISSUE:
TOWN PLANNING

SECTION A

REVISION:
B

SHEET DATE:
DEC' 2021

FOR DISCUSSION

SCALE:
1:100 @ A1

DRAWING NO:
TP 303

31/12/2021 5:21:32 PM

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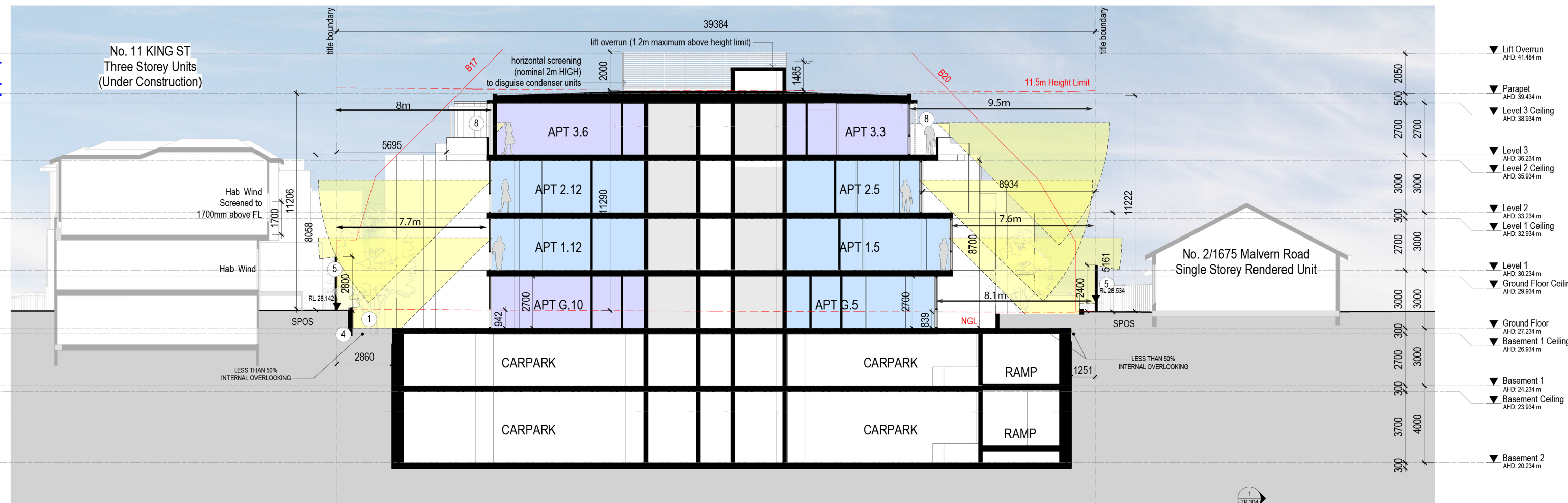
SCREEN LEGEND:

- ① 1.7 HIGH PRIVACY SCREEN
- ② 1.7 HIGH RENDERED FENCE
- ③ 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- ④ RETAINING WALL
- ⑤ EXISTING FENCE
- ⑥ FIXED METAL HORIZONTAL LOUVRES
- ⑦ FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- ⑧ SLIDING METAL SCREENS
- ⑨ MECHANICALLY OPERATED SUNSHADING BLINDS

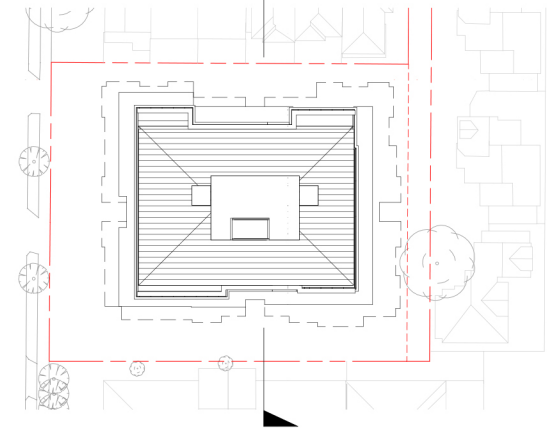
MATERIAL LEGEND:

- A CLEAR GLAZING
- B FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- C ALUMINIUM - DARK FINISH
- D DARK RENDER
- E LIGHT RENDER
- G GREY METAL FINISH
- H LIGHT METAL FINISH
- I BRICK TYPE FINISH
- J HORIZONTAL METAL LOUVRE
- K LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



1 SECTION B
TP 100 Scale 1:100



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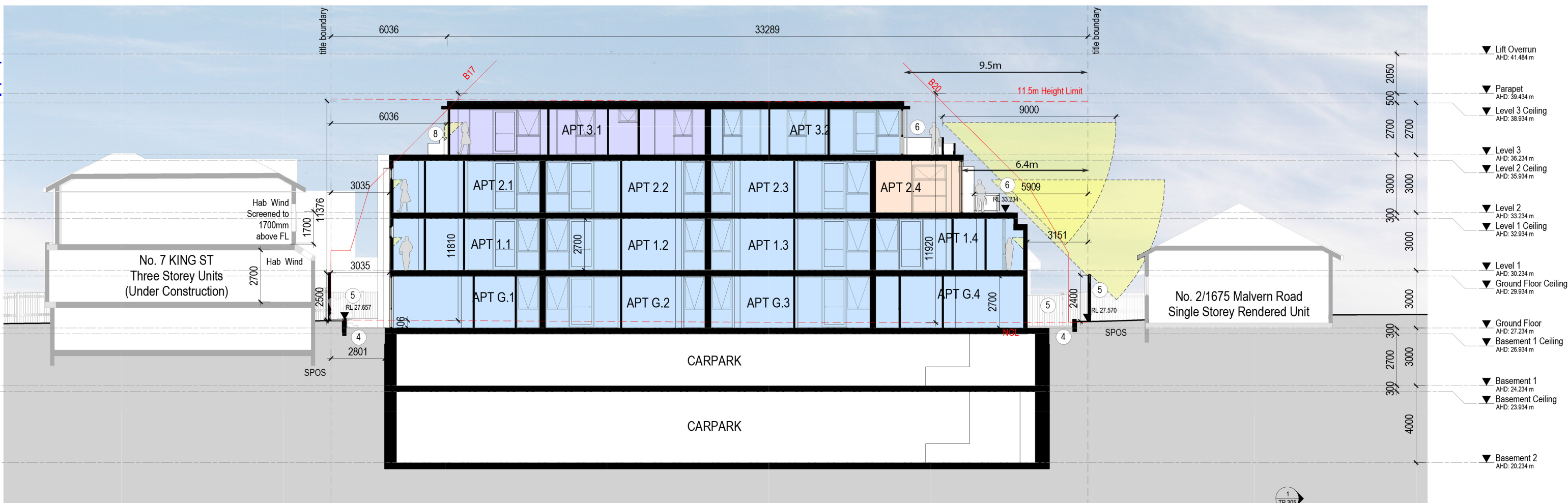
SCREEN LEGEND

- 1 1.7 HIGH PRIVACY SCREEN
- 2 1.7 HIGH RENDERED FENCE
- 3 1.7 HIGH SLATTED VERTICAL METAL PRIVACY SCREEN
- 4 RETAINING WALL
- 5 EXISTING FENCE
- 6 FIXED METAL HORIZONTAL LOUVRES
- 7 FROSTED GLAZING TO 1700mm AFL MIN. MAXIMUM TRANSPARENCY OF 25%
- 8 SLIDING METAL SCREENS
- 9 MECHANICALLY OPERATED SUNSHADING BLINDS

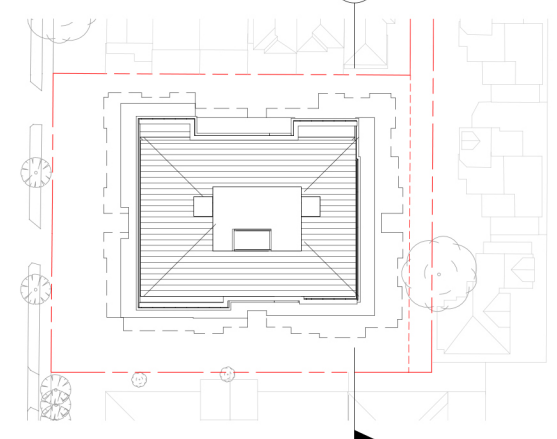
MATERIAL LEGEND:

- A CLEAR GLAZING
- B FROSTED GLAZING MAXIMUM TRANSPARENCY OF 25%
- C ALUMINIUM - DARK FINISH
- D DARK RENDER
- E LIGHT RENDER
- G GREY METAL FINISH
- H LIGHT METAL FINISH
- I BRICK TYPE FINISH
- J HORIZONTAL METAL LOUVRE
- K LIGHT COLOUR INSULATED - SPANDREL PANEL
- O OPERABLE GLAZING
- F FIXED GLAZING
- S SLIDING WINDOW

ALL GLAZING TO BE DOUBLE GLAZED AND TO HAVE VLT VALUES OF 70%



SECTION C
Scale 1:100



FOR DISCUSSION

DRAWING NO:
TP 305

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RESIDENTIAL/ CONCEPT
1667-1673 Malvern Road Glen Iris

PROJECT NO:
3-19-0053

PROJECT DATE:
Issue Date

REASON FOR ISSUE:
TOWN PLANNING

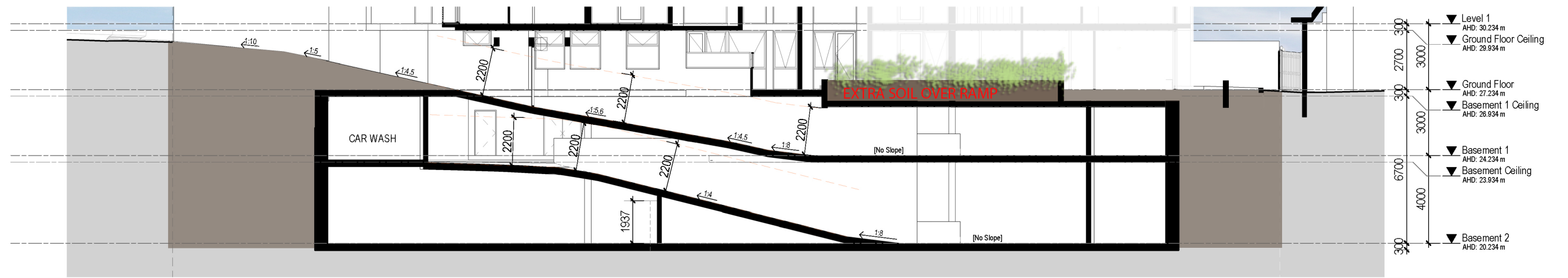
SECTION C

REVISION:
B

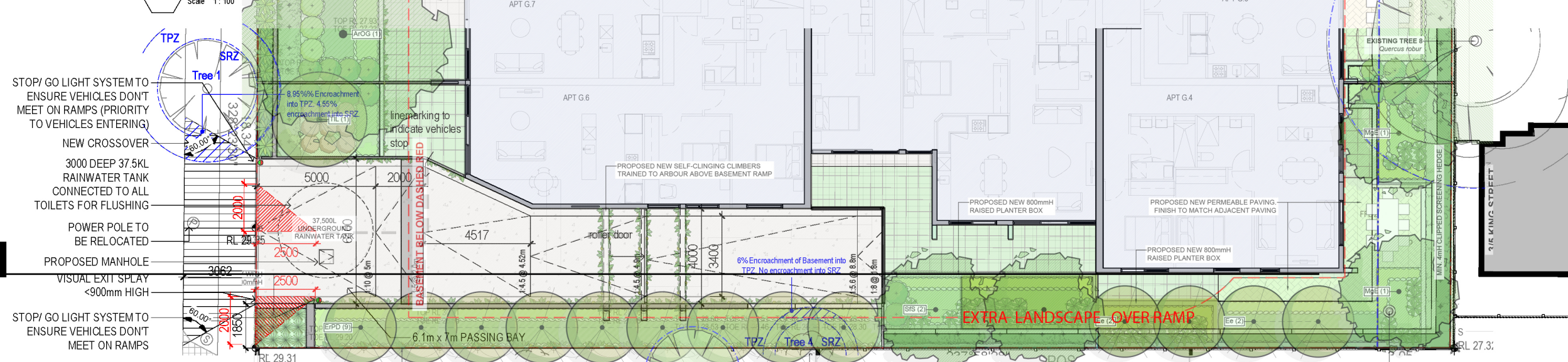
SHEET DATE:
DEC' 2021

SCALE:
1:100 @ A1

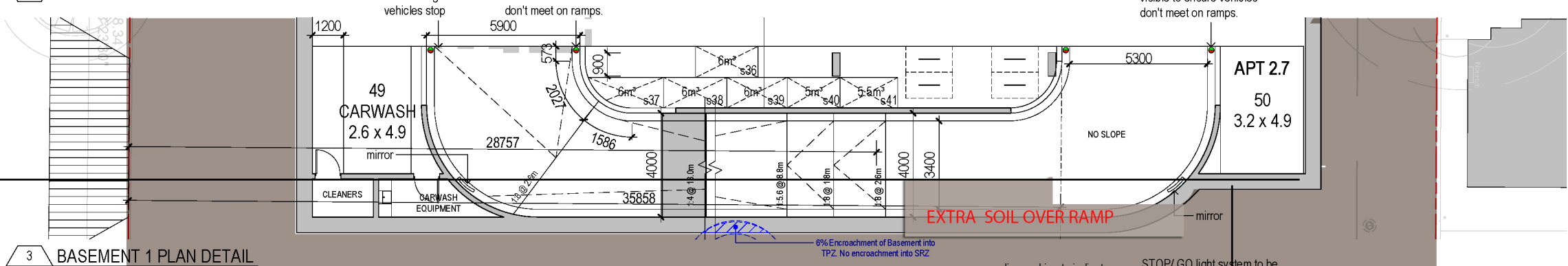
31/12/2021 5:22:05 PM



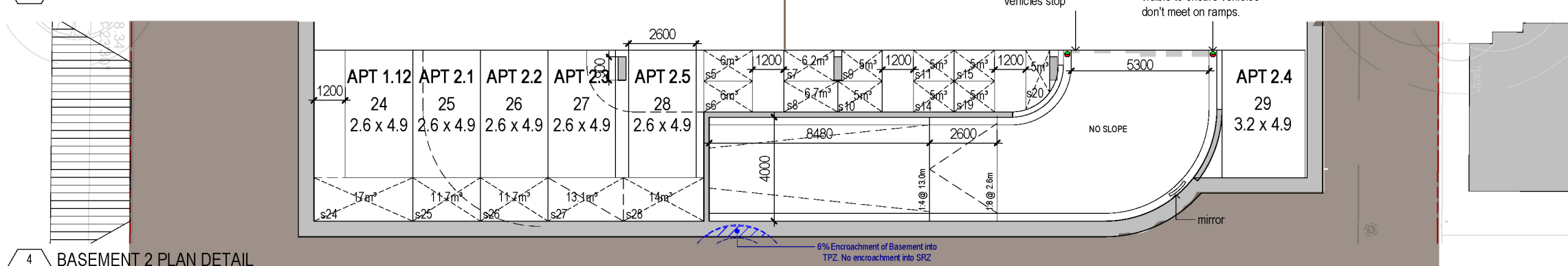
1 DRIVEWAY SECTION
Scale 1:100



2 GROUND FLOOR PLAN DETAIL
Scale 1:100



3 BASEMENT 1 PLAN DETAIL
Scale 1:100



4 BASEMENT 2 PLAN DETAIL
Scale 1:100

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RESIDENTIAL/ CONCEPT
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PROJECT NO:
3-19-0053

PROJECT DATE:
Issue Date

REASON FOR ISSUE:
TOWN PLANNING

DRIVEWAY SECTION

REVISION:
B

SHEET DATE:
DEC' 2021

SCALE:
1:100 @ A1

FOR DISCUSSION

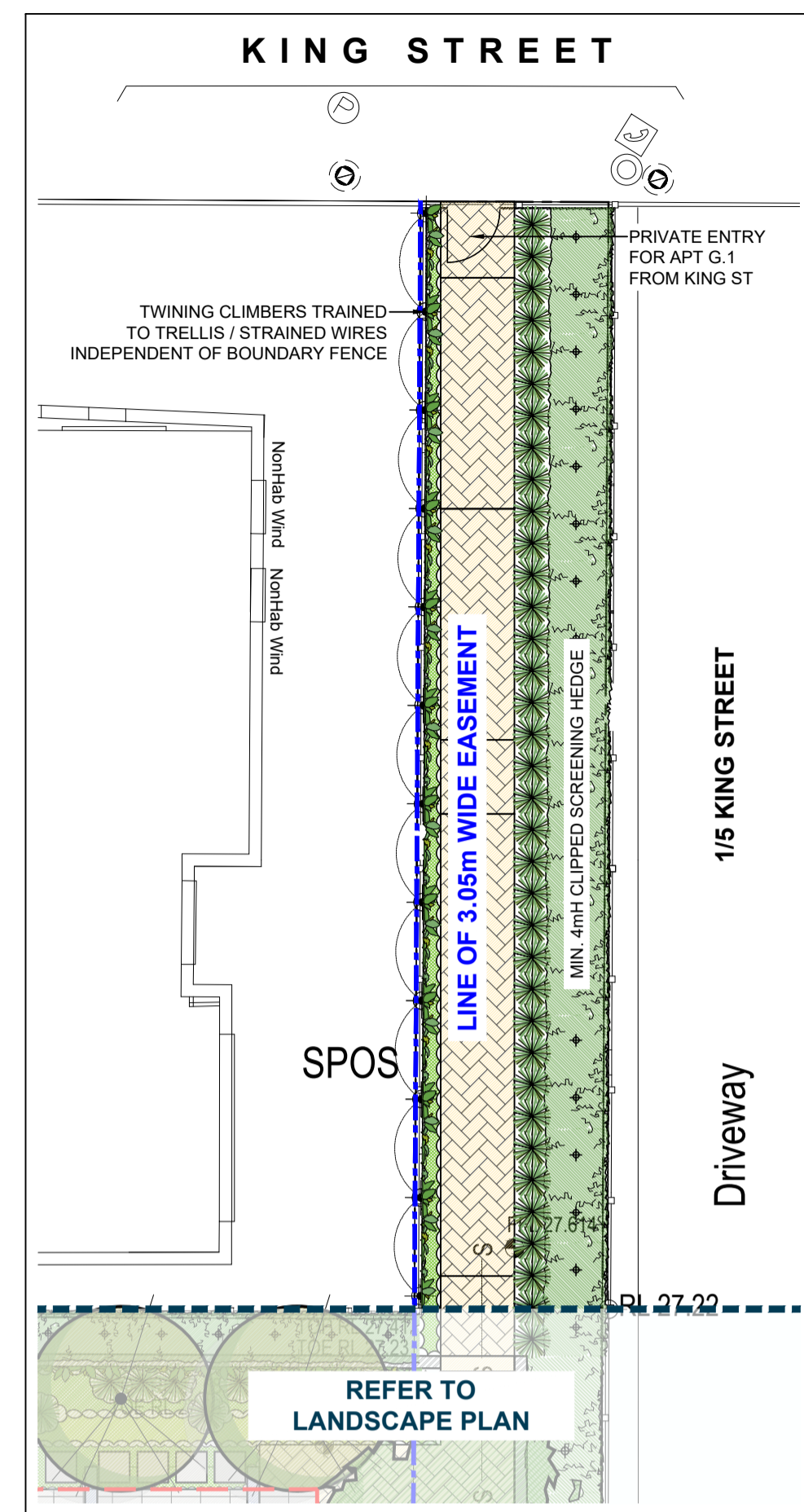
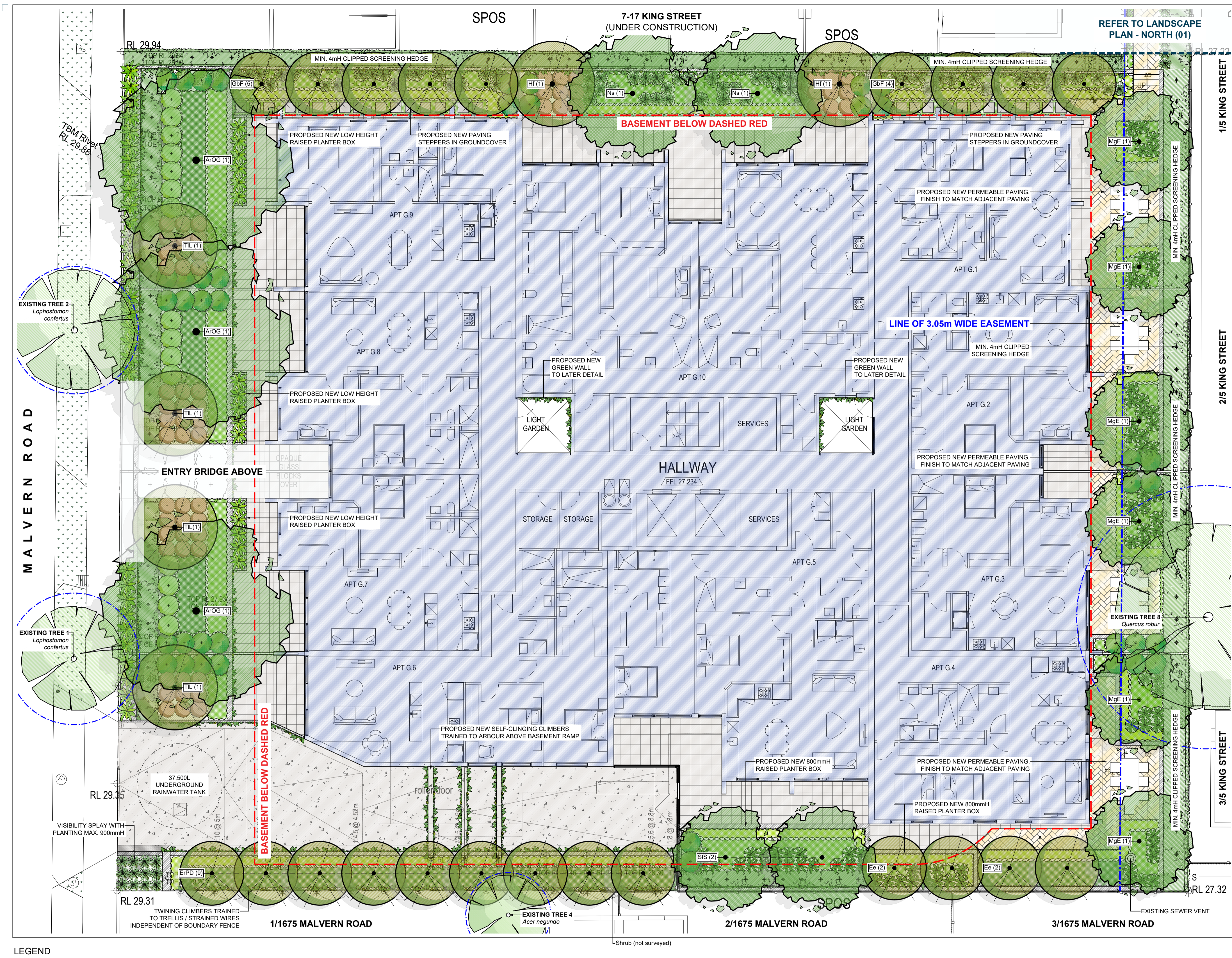
DRAWING NO:
TP 306



- (A) Clear Glazing
- (B) Frosted Glazing
MAXIMUM TRANSPARENCY OF 25%
- (C) Dark Render
- (D) Light Render
- (E) Dark Metal Finish
- (F) Light Metal Finish
- (G) Brick Type Finish
- (H) Horizontal Metal Louvre
- (I) Light Colour Insulated Spandrel Panel



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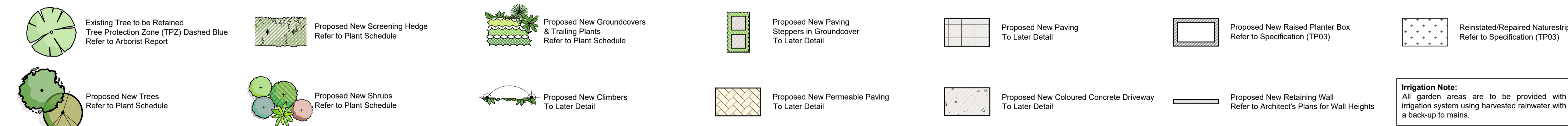
01 LANDSCAPE PLAN - NORTH
Scale 1:100 @ A1

PLANT SCHEDULE - GROUND FLOOR

SYM	BOTANICAL NAME	COMMON NAME	D/E N/Ex	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
TREES						
A/OG	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	D/Ex	12 x 9m	3.0mH	3
Ee	<i>Elaeocarpus eumundi</i>	Eumundi Quandong	E/N	6 x 3m	1.5mH	4
EPD	<i>Elaeocarpus reticulatus</i> 'Prima Donna'	Pink Flowering Blueberry Ash	E/N	8 x 3m	2.0mH	9
GbF	<i>Ginkgo biloba</i> 'Fastigiata'	Fastigate Maidenhair Tree	D/Ex	10 x 3m	2.0mH	9
Hf	<i>Hymenosporum flavum</i>	Native Frangipani	E/N	8 x 4m	2.0mH	2
MgE	<i>Magnolia grandiflora</i> 'Ermouth'	Ermouth Bull Bay Magnolia	E/Ex	10 x 5m	2.0mH	6
Ns	<i>Nyssa sylvatica</i>	Black Tupelo	D/Ex	11 x 6m	3.0mH	2
SfS	<i>Syzygium floribundum</i> 'Sw eeper'	Sw eeper Weeping Lilly-illy	E/N	10 x 5m	2.0mH	2
TlL	<i>Tristramia laurina</i> 'Luscious'	Luscious Water Gum	E/N	8 x 4m	2.0mH	4
					TOTAL	41
SCREENING HEDGES						
LnFM	<i>Laurus nobilis</i> 'Flavour Master'	Flavour Master Bay Laurel	E/Ex	1.8 x 0.5m	250mm pot	
Mp	<i>Murraya paniculata</i>	Orange Jessamine	E/Ex	2 x 1m (Clipped)	250mm pot	
Pl	<i>Prunus lusitana</i>	Portugal Laurel	E/Ex	4 x 1m (Clipped)	250mm pot	
SaS	<i>Syzygium australe</i> 'Select Form'	Select Lilly-illy	E/N	4 x 1m (Clipped)	250mm pot	
VoA	<i>Viburnum odoratissimum</i> 'Aw abuki'	Aw abuki Sweet Viburnum	E/Ex	4 x 1m (Clipped)	250mm pot	
					TOTAL	
SHRUBS						
APO	<i>Agastache</i> 'Poquita Orange'	Hummingbird Mint	E/Ex	1 x 0.8m	200mm pot	
Fj	<i>Fatsia japonica</i>	Japanese Aralia	E/Ex	3 x 2m	200mm pot	
GaF	<i>Gardenia augusta</i> 'Florida'	Florist's Gardenia	E/Ex	1 x 1.5m	200mm pot	
HGN	<i>Hymenosporum flavum</i> 'Gold Nugget'	Dwarf Native Frangipani	E/N	1 x 1.5m	200mm pot	
HqS	<i>Hydrangea quercifolia</i> 'Snowflake'	Double Oak-leaf Hydrangea	D/Ex	1.5-2.5 x 1-1.5m	200mm pot	
Pc	<i>Phormium cookianum</i>	Mountain Flax	E/Ex	0.8 x 0.8	200mm pot	
RSP	<i>Rhaphiolepis indica</i> 'Spring Pearl'	Spring Pearl Indian Haw thorn	E/Ex	1 x 1m	200mm pot	
RSM	<i>Rhaphiolepis indica</i> 'Snow Maiden'	Snow Maiden Indian Haw thorn	E/Ex	0.75 x 0.5m	200mm pot	
					TOTAL	
GROUNDCOVERS & TRAILING PLANTS						
AcMB	<i>Arthropodium cirratum</i> 'Metapouri Bay'	Renga Lily	E/Ex	0.6 x 0.6m	140mm pot	
Cd	<i>Cotoneaster dammeri</i>	Bearberry Cotoneaster	E/Ex	0.2 x Trailing	140mm pot	
GaF	<i>Gardenia jasminoides</i> 'Radicans'	Ground Cover Gardenia	E/Ex	1 x 1.5m	140mm pot	
GI	<i>Goodenia lanata</i> 'Gold Cover'	Trailing Goodenia	E/N	0.2 x 0.8m	140mm pot	
Hs	<i>Hibertia scandens</i>	Guinea Flower	E/N	0.2 x Trailing	140mm pot	
LnEC	<i>Liriope muscari</i> 'Emerald Cascade'	Emerald Cascade Lily-turf	E/Ex	0.5 x 0.5m	140mm pot	
LnMW	<i>Liriope muscari</i> 'Monroe's White'	Monroe's White Lily-turf	E/Ex	0.4 x 0.4m	140mm pot	
Lp	<i>Libertia paniculata</i>	Grass Flag	E/N	0.5 x 0.5m	140mm pot	
LIT	<i>Lomandra longifolia</i> 'Tanika'	Tanika Mat-rush	E/N	0.6 x 0.6m	140mm pot	
Ta	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	E/Ex	0.2 x Trailing	140mm pot	
					TOTAL	
CLIMBERS						
Tj	<i>Trachelospermum jasminoides</i>	Star Jasmine	E/Ex	Twining Climber	140mm pot	
Ph	<i>Parthenocissus henryana</i>	Silver Vein Creeper	D/Ex	Self-clinging Climber	140mm pot	
					TOTAL	
					<i>D/E = Deciduous/Evergreen</i>	
					<i>N/Ex = Native/Exotic</i>	

TO LATER DETAIL

LEGEND



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DATE: 28.01.2022

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REVISION	DATE	BY
A Architectural Amendment	13.08.2021	PK
B Architectural Amendment	16.08.2021	PK
C Architectural Amendment	28.01.2022	MGR

CLIENT
JP Sinha P/L
(atf) Sinha Family Trust
PROJECT
Proposed Development

DRAWING
- Ground Floor -
Landscape Plan for Town Planning



SCALE	DATE	CHECKED	JOB NO	DWG NO	CAD FILE
1:100 @ A1	DECEMBER 2021	KD	21-005	L-TP01	21-005-LP-REV0.dwg

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SPECIFICATION NOTES

Soil Preparation
Crushed rock, concrete spillage and any other material restrictive to plant growth (e.g. large rocks) shall be removed from the site of any planting beds and semi-advanced trees. All trees to be removed shall be stump ground and all rubbish/vegetative spoil is to be removed from site. Existing top soil in planting areas is to be preserved so that it does not receive additional compaction from site machinery and so that no rubble or building supplies are stored in these areas.

No imported top soil is to be used within the root zones of trees to be protected. Any preparation of existing soil for planting within these areas is to be done by hand only. Holes (e.g. as the result of plant removal) and uneven soil levels may be patched using topsoil as specified below.

Any imported topsoil is to be free of weeds, rubble and other materials damaging to plant growth and is to be of a medium texture (sandy loam) with a pH of 6.0-7.0. Top soil is to be laid over a prepared sub-base which has had any materials damaging to plant growth (e.g. rubble and large rocks) removed, spread to the appropriate depth and cultivated into the existing site soil to a minimum depth of 150mm.

Imported top soil is to be lightly and uniformly compacted in 150mm layers to a minimum depth of 100mm on lawn areas and 300mm on excavated planting beds.

Weed Removal
All weeds shall be thoroughly removed. All vegetative material, including roots and rhizomes of non-woody perennials and woody suckering weeds, is to be removed or appropriately controlled using chemical means. The stumps of non-suckering woody perennials are to be stump ground. All vegetative material shall be appropriately disposed of off site in a manner which will not allow their re-establishment elsewhere. Any chemical controls are to be used in accordance with manufacturer's instructions and standard occupational health and safety procedures.

Care must be taken to ensure that all trees to be retained are not damaged during weed removal. This also implies that any herbicides used are suitable for use around the vegetation to be retained.

Planting
Planting shall be carried out using accepted horticultural practices with all plants conforming to the species, size and quantities indicated on the Landscape Plan and Plant Schedule. Plants shall be thoroughly soaked during immersion in water prior to planting and if the planting soil is very dry then the planting hole is also to be filled with water and allowed to drain completely.

All plants shall be appropriately hardened off in the nursery. Use plants with the following characteristics: Large healthy root systems with no evidence of root cut or pot bound restriction or damage, vigorous, well established, free from disease and pests and of good form, consistent with the species or variety.

Planting holes for shrubs and groundcovers are to be of minimum size 75mm larger than the planting pot in all directions. Semi-advanced tree planting holes are to be the same depth as the rootball and 2-3 times its diameter, with the top of the rootball being at grade. A 75mm high berm is to be constructed at edge of root-ball to hold water. All plants are to be thoroughly watered after planting and slow release fertiliser added at the quantities specified by the manufacturer.

Mulch
Mulch is to be supplied to all garden beds and is to be an organic type laid to a minimum depth of 75mm, consisting of fine dark coloured chipped or shredded pine bark or hardwood with not more than 5% fines content by volume (preferably zero fines). The average size of the woodchips must be approximately 10mm x 20mm x 5mm and the maximum length is not to exceed 30mm. Mulch shall be free of damaging matter such as soil, weeds and sticks and is to be stockpiled and thoroughly weathered prior to delivery. Mulch is to be kept back 100mm from the stems of all plants to prevent collar rot.

Aggregate Gravel Surface
Aggregate gravel is to be installed where shown comprising of a 50mm layer of gravel (7-14mm granite screenings or similar, no fines) over a base course of 75mm deep gently compacted Fine Crushed Rock. The subgrade is to be appropriately compacted.

Timber Edges
Provide 75 x 25mm treated pine edges to all borders between gravel mulch paths and garden beds using 75x25x300mm long treated pine stakes at 1200mm maximum centres. An additional stake is to be provided at joins in the plinth.

Irrigation
An approved drip irrigation system is to be supplied to all planter boxes & garden beds. It is the responsibility of the contractor to ensure that all irrigation meets manufacturers specifications. The system is to be connected to mains supply and include a rain-shut off device. All dripline is to be buried with approx. 50mm of topsoil cover and shall be anchored at regular intervals to ensure the tubing cannot be dislodged.

Raised Planter Boxes
Raised planter construction is to include, but not necessarily be limited to, the supply and installation of agricultural drains, drainage cells at base, filter fabric, planting medium, mulch and irrigation. Planter boxes must be effectively tanked and lined with coreflute to prevent leaking.

Drainage cells are to be provided at the base of the planter and are to be covered with a layer of filter fabric. A drainage outlet is to be installed in the base of the planter with the floor of the planter sloped towards it. Provide a root anchor if trees are to be planted in a windy location.

Supply and spread evenly a special planter mix. (to be advised) Compact evenly in 100mm layers. Avoid differential subsidence and excess compaction and produce a finished surface that is graded evenly and ready for planting. Allow for 50mm layer of specified mulch to top of beds and a finished level 25-50mm below the planter rim. Drip irrigation as specified is to be installed beneath the mulch layer.

Repair/Restoration of damaged Nature-strips
Nature strips are to be restored to current grades with any depressions filled with topsoil to specifications above and lightly compacted in 150mm layers. Areas are then to be re-seeded using an appropriate and matching turf type and the area fenced off to allow the re-establishment of lawn. Re-seeded areas are to be well irrigated and the area supplied with a slow release fertiliser at the quantities recommended by the manufacturer.

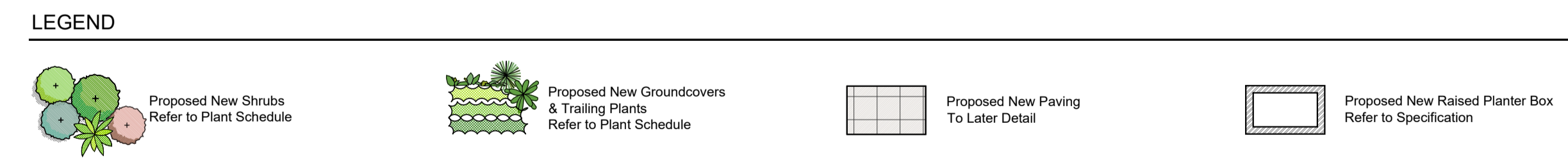
Any areas of lawn which have failed to germinate (achieve an even green 95% covering of a consistent height) are to be re-seeded within one month of original sowing date.

Plant Establishment Period
There shall be a 13 weeks Plant Establishment Period following the approval of Practical Completion by the responsible authority. During this period the landscape contractor shall make good all defects in his/her scope of works. Maintenance and Establishment means the care and maintenance of the contract area by accepted horticultural practices, as well as rectifying any defects that become apparent in the work under normal use. This shall include, but shall not be limited to watering, fertilising, weeding, pruning, pest and disease control, cultivation, re-staking and replacement of any plants that fail with plants of the same species and size.

PLANT SCHEDULE - LEVEL 3

SYM	BOTANICAL NAME	COMMON NAME	D/E	HEIGHT X WIDTH AT MATURITY	MIN SUPPLY SIZE	QTY
SHRUBS						
Ca	<i>Correa alba</i>	White Correa	EN	1 x 1m (Clipped)	200mm pot	
MMX	<i>Metrosideros excelsa</i> 'Mini Xmas'	Dwarf NZ Xmas Tree	E/Ex	1 x 1.5m	200mm pot	
MpM	<i>Murraya paniculata</i> 'Min-a-min'	Dwarf Orange Jessamine	E/Ex	1 x 0.8m (Clipped)	200mm pot	
RSM	<i>Rhapidolepis indica</i> 'Snow Maiden'	Snow Maiden Indian Haw thorn	E/Ex	0.75 x 0.5m	200mm pot	
RSP	<i>Rhapidolepis indica</i> 'Spring Pearl'	Spring Pearl Indian Haw thorn	E/Ex	1 x 0.8m (Clipped)	200mm pot	
RCC	<i>Rosmarinus officinalis</i> 'Chef's Choice'	Chef's Choice Rosemary	E/Ex	1 x 0.8m (Clipped)	200mm pot	
WBG	<i>Westringia fruticosa</i> 'Blue Gem'	Blue Gem Coastal Rosemary	EN	1 x 0.8m (Clipped)	200mm pot	
						TOTAL
GROUNDCOVERS & TRAILING PLANTS						
Cs	<i>Convolvulus sabatius</i> 'Early Blue'	Moroccan Bellflower	E/Ex	0.3 x Trailing	140mm pot	
Ta	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine	E/Ex	0.2 x Trailing	140mm pot	
						TOTAL

*D/E = Deciduous/Evergreen N/Ex = Native/Exotic



Irrigation Note:
All garden areas are to be provided with irrigation system using harvested rainwater with a back-up to mains.

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REVISION
A Architectural Amendment
B Architectural Amendment
C Architectural Amendment

DATE BY
13.08.2021 PK
16.08.2021 PK
28.01.2022 MGR

CLIENT
JP Sinha P/L (atf) Sinha Family Trust
PROJECT
Proposed Development
1667-1673 Malvern Road, Glen Iris

DRAWING
- Level 1 -
Landscape Plan for Town Planning

SCALE 1:100 @ A1
DATE DECEMBER 2021
DRAWN MGR
CHECKED KD
JOB NO 21-005
DWG NO L-TP02
CAD FILE 21-005 L-TP-REVC.dwg